



CITY OF PORT WENTWORTH

PLANNING COMMISSION

JULY 9, 2018

Council Meeting Room

Regular Meeting

6:30 PM

**305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GA 31407**

1. CALL MEETING TO ORDER

2. PRAYER AND PLEDGE OF ALLEGIANCE

3. ROLL CALL - SECRETARY

4. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - Jun 11, 2018 6:30 PM

5. ZONING MAP AMENDMENTS (REZONING)

A. Application to Amend the Zoning Map submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Greenland Developers, Inc., for PIN #'s 7-0977-01-027 and 7-0977-01-028 to rezone the properties from P-C-3 (Planned Community Business) to P-I-2 (Planned Industrial) Zoning district.

- Public Hearing
- Action

6. ZONING TEXT AMENDMENTS (ORDINANCES)

7. SITE PLAN/SUBDIVISION APPROVAL

A. Site Plan Review Application submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Greenland Developers, Inc., for PIN #'s: 7-0977-01-027 and 7-0977-01-028 (Hendley Road) for a General Development Site Plan to allow Warehouses in a P-I-2 (Planned Industrial) Zoning District

- Public Hearing
- Action

B. Subdivision Application submitted by Travis G. Burke, Coleman Company Inc., on behalf of Bald Eagle Partners for PIN # 7-0906-04-062 (Rice Hope Road) located in a M-P-O (Master Plan Overlay) Zoning District for a Preliminary Plat of a Major Subdivision (Mulberry Tract Phase I) for the purpose of Single-Family Homes

- Public Hearing
- Action

C. Site Plan Review Application submitted by Bald Eagle Partners for PIN #: 7-0906-04-062 (Rice Hope Road) for a Specific Development Plan to allow a Single Family Residential Development in a MPO (Master Plan Overlay) Zoning District

- Public Hearing
- Action

8. ADJOURNMENT



CITY OF PORT WENTWORTH

PLANNING COMMISSION

JUNE 11, 2018

Council Meeting Room

Regular Meeting

6:30 PM

305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

Chairman Jerry Bogus called the meeting to order.

2. PRAYER AND PLEDGE OF ALLEGIANCE

Chairman Jerry Bogus led in Prayer and the Pledge of Allegiance.

3. ROLL CALL - SECRETARY

Attendee Name	Title	Status	Arrived
Jerry Bogus	Chairman	Present	
Larry Longo	Planning Commissioner	Present	
Rufus Bright	Planning Commissioner	Present	
Rosetta Franklin	Planning Commissioner	Present	
Donna Blalock	Planning Commissioner	Present	
Wanda Rolf	Planning Commissioner	Absent	
Andy Quinney	Planning Commissioner	Absent	
Maurice Rahn	Planning Commissioner	Present	
Brian Harvey	Director of Development Services	Present	
Melanie Ellis	Administrative Secretary	Present	

4. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - May 14, 2018 6:30 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Larry Longo, Planning Commissioner
SECONDER:	Donna Blalock, Planning Commissioner
AYES:	Longo, Bright, Franklin, Blalock, Rahn
ABSENT:	Rollf, Quinney

5. ZONING MAP AMENDMENTS (REZONING)

A. Application to Amend the Zoning Map submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Inter Metro Properties (GA), LLC., for PIN #'s 7-0002-01-001A, 7-0002-01-001, 7-0002-01-002, 7-0002-01-002A, & 7-0002-01-003 (6520, 5630, 6532, & 6548 Highway 21) to rezone the properties from P-C-3 (Planned Community Business) & RA (Residential Agriculture) to P-I-2 (Planned Industrial)

Mr. Harvey informed the Commission that the application was complete. The applicant, Phillip McCorkle, was present and gave a brief presentation and offered to answer any questions the Commission may have. The Commission asked several questions regarding stormwater run-off and traffic concerns. After several minutes of discussion Larry Longo made the motion to approve the application with the following conditions: item 3 B-4 be corrected, and engineer report on the traffic study be favorable to the City. Rosetta

Franklin seconded the motion to approve with the listed conditions. The vote was unanimous.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Larry Longo, Planning Commissioner
SECONDER:	Rosetta Franklin, Planning Commissioner
AYES:	Longo, Bright, Franklin, Blalock, Rahn
ABSENT:	Rollf, Quinney

6. ZONING TEXT AMENDMENTS (ORDINANCES)

7. SITE PLAN/SUBDIVISION APPROVAL

- A. Site Plan Review Application submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Inter Metro Properties (GA), LLC., for PIN #'s 7-0002-01-001A, 7-0002-01-001, 7-0002-01-002, 7-0002-01-002A, & 7-0002-01-003 (6520, 6530, 6532, 6546, & 6548 Highway 21) for a General Development Site Plan to allow warehouses in a P-C-3 (Planned General Business) Zoning District

Mr. Harvey informed the Commission that the application was complete. The applicant, Phillip McCorkle, was present and gave a brief presentation and offered to answer any questions the Commission may have. The Commission asked several questions regarding stormwater detention. After several minutes of discussion Larry Longo made the motion to approve the application. Rufus Bright seconded the motion to approve. The vote was unanimous.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Larry Longo, Planning Commissioner
SECONDER:	Rufus Bright, Planning Commissioner
AYES:	Longo, Bright, Franklin, Blalock, Rahn
ABSENT:	Rollf, Quinney

- B. Site Plan Review Application submitted by Sherry Davis for PIN # 7-0020-01-010 (409 Grange Rd) for a General Development Site Plan to allow a trucking facility with an office in a P-I-2 (Planned Industrial) Zoning District

Mr. Harvey informed the Commission that the application was complete. The applicant, Sherry Davis, was present and gave a brief presentation and offered to answer any questions the Commission may have. The Commission asked several questions about which site plan in the packet was correct. After several minutes of discussion Rufus Bright made the motion to approve the application. Rosetta Franklin seconded the motion to approve. The vote was unanimous.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Rufus Bright, Planning Commissioner
SECONDER:	Rosetta Franklin, Planning Commissioner
AYES:	Longo, Bright, Franklin, Blalock, Rahn
ABSENT:	Rollf, Quinney

- C. Site Plan Review Application submitted by Haydon Rollins, Hussey, Gay, & Bell, on behalf of CRN Development, LLC., for PIN # 7-0037-01-012 (Coldbrook Station Cir) for a Specific Development Site Plan to allow a multi-family apartment development in a P-R-M (Planned Residential Multi-Family) Zoning District

Mr. Harvey informed the Commission that the application was complete. C.J. Change was present on behalf of the applicant and gave a brief presentation and offered to answer

Minutes Acceptance: Minutes of Jun 11, 2018 6:30 PM (ADOPTION OF MINUTES)

any questions the Commission may have. The Commission asked several questions regarding the engineer approval, property maintenance, wetland permits and pumpstation access. After several minutes of discussion Larry Longo made the motion to approve the application with the following conditions: a maintenance agreement be executed, easements and all permits be applied for and approved. Rosetta Franklin seconded the motion to approve with the listed conditions. The vote was unanimous.

RESULT: APPROVED [UNANIMOUS]
MOVER: Larry Longo, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Longo, Bright, Franklin, Blalock, Rahn
ABSENT: Rollf, Quinney

- D. Subdivision Application submitted by Joshua Akins, Coleman Company, INC., on behalf of Bald Eagle Partners, for PIN # 7-0906B-14-003 (Birch Circle) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Parkside Subdivision, Phase 1-C) for the purpose of Single-Family Homes

Mr. Harvey informed the Commission that the application was complete. Greg Colman and Murray Marshall was present on behalf of the applicant and gave a brief presentation and offered to answer any questions the Commission may have. The Commission asked several questions regarding stormwater run-off and the maintenance bond. After several minutes of discussion Rufus Bright made the motion to approve the application with the following conditions: the drainage will work properly and if not the owner / developer will fix at their expense. Donna Blalock seconded the motion to approve with the listed conditions. The vote was unanimous.

RESULT: APPROVED [UNANIMOUS]
MOVER: Rufus Bright, Planning Commissioner
SECONDER: Donna Blalock, Planning Commissioner
AYES: Longo, Bright, Franklin, Blalock, Rahn
ABSENT: Rollf, Quinney

8. NEW BUSINESS

- A. Carl Vinson Institute of Government Training Opportunities

Mr. Harvey explained the training opportunities to the Commission. Mr. Harvey also informed the Commission that Andy Quinney has resigned from the Planning Commission due to health concerns.

9. ADJOURNMENT

There being no further business to discuss, Commissioner Franklin made a motion to adjourn the meeting. Commissioner Bright seconded the motion to adjourn. The vote was unanimous.

Jerry Bogus, Chairman

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2018.

Minutes Acceptance: Minutes of Jun 11, 2018 6:30 PM (ADOPTION OF MINUTES)

Larry Longo, Secretary

Minutes Acceptance: Minutes of Jun 11, 2018 6:30 PM (ADOPTION OF MINUTES)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 07/09/18 06:30 PM
Department: Public Services
Category: Ordinance
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 1945)

DOC ID: 1945

Application to Amend the Zoning Map submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Greenland Developers, Inc., for PIN #'s 7-0977-01-027 and 7-0977-01-028 to rezone the properties from P-C-3 (Planned Community Business) to P-I-2 (Planned Industrial) Zoning district.

Issue/Item: Application to Amend the Zoning Map submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Greenland Developers, Inc., for PIN #'s 7-0977-01-027 and 7-0977-01-028 to rezone the properties from P-C-3 (Planned Community Business) to P-I-2 (Planned Industrial) Zoning district.

Background: The subject properties are currently undeveloped land.

Facts and Findings: The property owner has requested to change the zoning of these properties from P-C-3 (Planned Community Business) to P-I-2 (Planned Industrial) for the purpose of warehouses. The owner intends to construct six (6) buildings having a total 1,050,800 square feet of warehouse space. The Development Impact Assessment is under review by City engineers Goodwyn, Cawood, & Mills.

Funding: N/A

Recommendation: The Planning Commission will hear this application on July 9, 2018 at 6:30 PM.

ATTACHMENTS:

- Hendley Rd 7-0977-01-027,028 Rezoning Application JULY 2018 (PDF)
- Hendley Rd 7-0977-01-027,028 Rezoning Site Plan JULY 2018 (PDF)
- PW Monteith Industrial DIA Submittal 1 (Revised) (PDF)

APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

Name of Applicant: Phillip R. McCorkle Phone #: 912-232-6000

Mailing Address: 319 Tattnell Street, Savannah, Georgia 31401

Name of Property Owner: Greenland Developers, Inc. Phone #: 912-657-7377 (Use back if more than one owner)

Address of Property: Hendley Road

PIN #: 7-0977-01-027, 7-0977-01-028 Number of Acres: 101.88

Zoning Classification: Present P-C-3 Requested P-I-2 Use of Property: Present Vacant Requested Warehousing

If the requested change is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

X If the requested change is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

The local use for the property is warehouse distribution. There is a great demand for such a use and no demand for uses allowed in the current zoning designations, with proper buffering and site design the impact on surrounding properties will be minimal.

Attach the following documents:

- 1. Written legal description of the property (e.g. copy of deed) – full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of owners of all properties within 250 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale. Submit fifteen (15) copies of the plat in 11"x17" or larger and one copy in 8.5"x11".
4. Site Plan of proposed use of property. Submit fifteen (15) copies in 11"x17" or larger and one copy in 8.5"x11".
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form.
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorization of Attorney form.
8. Filing fee of \$356 + \$50 per acre + \$50 Administrative Fee, payable to the City of Port Wentworth.

APPLICATION MUST BE FILED 20 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 24th day of June, 2018.

Notary Public signature



Signature of Applicant-Phillip R. McCorkle

Attachment: Hendley Rd 7-0977-01-027,028 Rezoning Application JULY 2018 (1945 : Zoning Map Amendment PIN #'s 7-0977-01-027, 028

6/7/2018

GSCCCA.org - Image Index

EXHIBIT A

Legal Description

BOOK 393 P 969
PAGE

PARCEL 1

ALL THAT CERTAIN TRACT OF LAND KNOWN AS PARCEL 1 OF THE COHEN HESTER FARM PLACE, LOCATED IN THE 8TH G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A RIGHT-OF-WAY CONCRETE MONUMENT MARKING THE INTERSECTION OF THE SOUTHERN RIGHT-OF-WAY OF HENDLEY DRIVE AND THE WESTERN RIGHT-OF-WAY OF STATE ROUTE 21; THENCE ALONG THE WESTERN RIGHT-OF-WAY OF STATE ROUTE 21 S18°06'26"E A DISTANCE OF 538.62' TO A CONCRETE MONUMENT; THENCE ALONG AN OUTPARCEL OF LAND BELONGING NOW OR FORMERLY JOHNNY LANDING & CECIL HENDLEY S72°41'29"W A DISTANCE OF 42.96' TO A CONCRETE MONUMENT, THENCE S17°18'31"E A DISTANCE OF 150.00' TO A CONCRETE MONUMENT, THENCE N72°41'29"E A DISTANCE OF 50.72' TO A RIGHT-OF-WAY CONCRETE MONUMENT; THENCE ALONG THE WESTERN RIGHT-OF-WAY OF STATE ROUTE 21 FOLLOWING A CURVE TO THE LEFT HAVING A RADIUS OF 2970.69', AN ARC LENGTH OF 507.84', A TANGENT LENGTH OF 254.54', AN INTERIOR ANGLE OF 9°47'41", A CHORD DIRECTION OF S26°47'51"E AND CHORD LENGTH OF 507.22' TO A CONCRETE MONUMENT, THENCE S18°06'05"E A DISTANCE OF 1195.88' [TO A NAIL; THENCE ALONG THE NORTHERN RIGHT-OF-WAY OF STATE ROUTE 30 N89°00'16"W A DISTANCE OF 1179.82' TO A RIGHT-OF-WAY CONCRETE MONUMENT; THENCE ALONG THE EASTERN RIGHT-OF-WAY OF HENDLEY DRIVE N56°14'51"W A DISTANCE OF 63.09' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE N01°56'06"W A DISTANCE OF 157.91' TO A CONCRETE MONUMENT, THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 11,409.16', AN ARC LENGTH OF 684.83', TANGENT LENGTH OF 342.52', AN INTERIOR ANGLE OF 3°26'21", A CHORD DIRECTION OF N00°44'01"W AND CHORD LENGTH OF 684.73' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE N01°00'44"E A DISTANCE OF 860.12' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE ALONG A CURVE TO RIGHT HAVING A RADIUS 522.96', AN ARC LENGTH OF 646.98', A TANGENT LENGTH OF 372.22', AN INTERIOR ANGLE OF 70°52'59", A CHORD DIRECTION OF N36°27'34"E AND CHORD LENGTH OF 606.50' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE S86°01'06"E A DISTANCE OF 51.04' TO THE POINT OF BEGINNING; AND CONTAINING 41.544 ACRES.

PARCEL 2

ALL THAT CERTAIN TRACT OF LAND KNOWN AS PARCEL 2 OF THE COHEN HESTER FARM PLACE, LOCATED IN THE 8TH G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Attachment: Hendley Rd 7-0977-01-027, 028 Rezoning Application JULY 2018 (1945 : Zoning Map Amendment PIN #'s 7-0977-01-027, 028

GSCCCA.org - Image Index

EXHIBIT A, Page 2

BEGINNING AT A RIGHT-OF-WAY CONCRETE MONUMENT MARKING THE INTERSECTION OF WESTERN RIGHT-OF-WAY OF STATE ROUTE 21 AND THE NORTHERN RIGHT-OF-WAY OF HENDLEY DRIVE; THENCE S48°08'34"W A DISTANCE OF 51.66' TO A RIGHT-OF-WAY CONCRETE MONUMENT THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 622.96', AN ARC LENGTH OF 770.69, A TANGENT LENGTH OF 443.39', AN INTERIOR ANGLE OF 70°52'57", A CHORD DIRECTION OF S36°27'34"W AND CHORD LENGTH OF 722.47' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE S01°00'44"W A DISTANCE OF 860.17' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11509.16', AN ARC LENGTH OF 294.34', A TANGENT LENGTH OF 147.18', AN INTERIOR ANGLE OF 1°27'55", A CHORD DIRECTION OF S00°15'09"W AND CHORD LENGTH OF 294.33' TO A CONCRETE MONUMENT; THENCE ALONG THE NORTHERN LINE OF DRAKE PARK S76°14'29"W A DISTANCE OF 1054.77' TO A CONCRETE MONUMENT; THENCE ALONG THE EASTERN LINE OF A PORTION OF THE MONTEITH TRACT N15°45'31"W A DISTANCE OF 1381.21' TO A CONCRETE MONUMENT; THENCE ALONG THE SOUTHERN RIGHT-OF-WAY OF INTERSTATE 95 N34°48'44"E A DISTANCE OF 200.23' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE N35°01'34"E A DISTANCE OF 301.55' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE N38°03'01"E A DISTANCE OF 571.92' TO A CONCRETE MONUMENT; THENCE ALONG THE SOUTHERN LINE OF LITTLE HEARST BRANCH CANAL N88°08'08"E A DISTANCE OF 480.14' TO A CONCRETE MONUMENT, THENCE S79°06'42"E A DISTANCE OF 467.16' TO A CONCRETE MONUMENT, THENCE S88°49'42"E A DISTANCE OF 275.67' TO A CONCRETE MONUMENT; THENCE ALONG THE WESTERN RIGHT-OF-WAY OF STATE ROUTE 21 S17°56'13"E A DISTANCE OF 96.68' TO THE POINT OF BEGINNING; AND CONTAINING 59.019 ACRES.

393 P	BOOK	970	PAGE
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Attachment: Hendley Rd 7-0977-01-027, 028 Rezoning Application JULY 2018 (1945 : Zoning Map Amendment PIN #'s 7-0977-01-027, 028

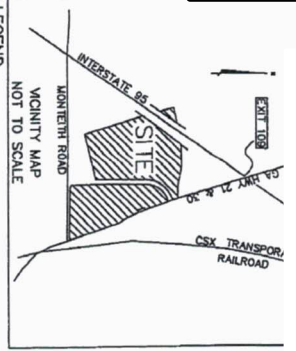
ADJACENT PROPERTY OWNERS

<u>PROPERTY</u>	<u>PIN</u>	<u>OWNER</u>	<u>ADDRESS</u>
1	7-0976-02-021	D.B. ASTER III LLC	250 GILBRALTAR ROAD, HORSHAM, PA 19044
2	7-0037-02-002A	PFJ SOUTHEAST LLC	PO BOX 54650, LEXINGTON, KY 40555
3	7-0037-02-002	PFJ SOUTHEAST LLC	PO BOX 54650 LEXINGTON, KY 40555
4	7-0037-01-043	ENMARK STATION INC	PO BOX 728 SAVANNAH, GA. 31402
5	1-0903-02-013	GEORGIA PORTS AUTHORITY	PO BOX 2406 SAVANNAH, GA. 31402
6	1-0903-02-003	GEORGIA PORTS AUTHORITY	PO BOX 2406 SAVANNAH, GA. 31402
7	1-0903-05-012	GEORGIA PORTS AUTHORITY	PO BOX 2406 SAVANNAH, GA. 31402
8	7-0979-01-001	MANER, FREDRICK D.	PO BOX 30032 SAVANNAH, GA. 31410
9	7-0979-01-002	ADAMS & DAISE SANDRA D & DARREL M.	26 DEVON DR WEST ORANGE NJ 07052
10	7-0979-01-003	STEELE, ALEXANDER	602 W. 45TH STREET SAVANNAH, GA. 31405
11	7-0979-01-004	WHITE OAK BAPTIST CHURCH	135 MONTEITH ROAD, SAVANNAH, GA. 31407
12	7-0979-01-005	HICKS, FANNIE MAE	143 MONTIETH ROAD, SAVANNAH, GA. 31407
13	7-0979-01-008	UTTERMOST SAVANNNAH LLC	PO BOX 16134 SAVANNAH, GA. 31416
14	7-0977-01-020	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308

Attachment: Hendley Rd 7-0977-01-027,028 Rezoning Application JULY 2018 (1945 : Zoning Map Amendment PIN #'s 7-0977-01-027, 028

15	7-0977-01-019	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308
16	7-0977-01-018	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308
17	7-0977-01-017	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308
18	7-0977-01-016	THOMAS, LEON	208 MONTIETH ROAD, SAVANNAH, GA. 31407
19	7-0977-01-015	BRYANT, MAE FRANCES	212 MONTIETH ROAD, SAVANNAH, GA. 31407
20	7-0977-01-014	BRYANT & JONES ROBERT L. & COTEA D.	216 MONTIETH ROAD, SAVANNAH, GA. 31407
21	7-0977-01-013	HURST, WILBERT	220 MONTIETH ROAD, SAVANNAH, GA. 31407
22	7-0977-01-012	STEWART, SHUBERT STEWART THELMA & ROBIN, RUTH & MARION	230 MONTIETH ROAD, SAVANNAH, GA. 31407
23	7-0977-01-011	MOUNT MARIA BAPTIST CHURCH	230 MONTIETH ROAD, SAVANNAH, GA. 31407
24	7-0977-01-010	BODY OF CHRIST CHURCH	201 BIRCH DRIVE, RINCON, GA. 31326
25	7-0977-01-008	UTTERMOST SAVANNAH LLC	PO BOX 16134, SAVANNAH, GA. 31416
26	7-0977-01-024	CZURA WALTER M.	PO BOX 6567, HILTON HEAD, SC 29938
27	7-0977-01-025	CZURA WALTER M.	PO BOX 6567, HILTON HEAD, SC 29938

Attachment: Hendley Rd 7-0977-01-027, 028 Rezoning Application JULY 2018 (1945 : Zoning Map Amendment PIN #'s 7-0977-01-027, 028



- LEGEND**
- CONCRETE FOUNDATION FOUND
 - ▣ CONCRETE FOUNDATION FOUND
 - IRON PIPE SET
 - IRON PIPE SET
 - PK NAIL FOUND
 - RIGHT-OF-WAY
 - DEED BOOK
 - SUBDIVISION MAP BOOK
 - PARCEL IDENTIFICATION NUMBER

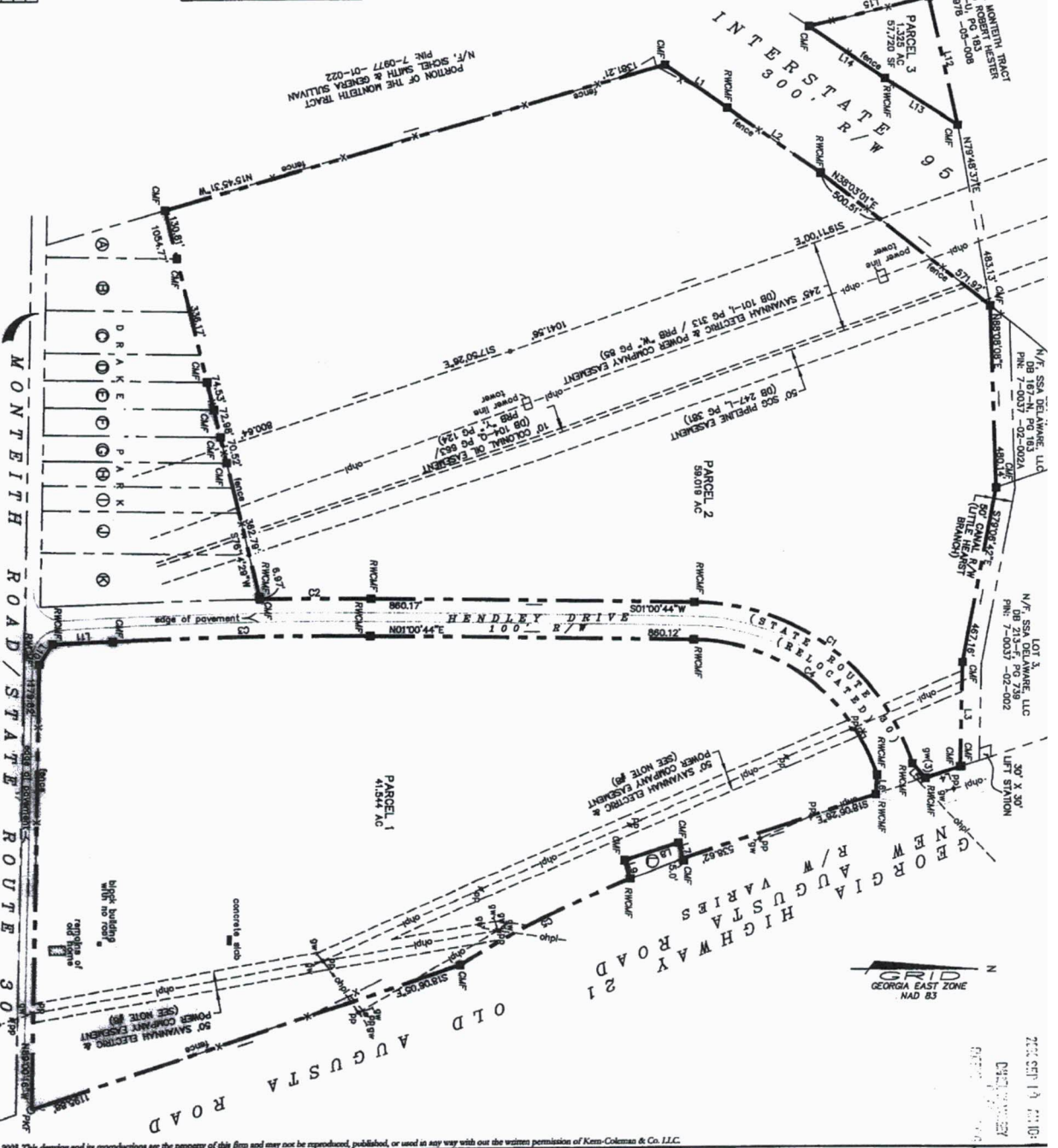
- NOTES:**
1. PARCELS 1 AND 2
 2. PARCEL IDENTIFICATION NUMBERS: 7-0037 -02-001 & 7-0977-01-022
 3. THESE PROPERTIES ARE CURRENTLY ZONED P-C-1
 4. PARCEL IDENTIFICATION NUMBER: 7-0977-02-002
 5. THIS PROPERTY IS CURRENTLY ZONED P-C-1, LOCATED IN ZONE X, DISTRICT 5, CITY OF PORT WENTWORTH, GA 31406
 6. THIS PROPERTY IS CURRENTLY ZONED P-C-1, LOCATED IN ZONE X, DISTRICT 5, CITY OF PORT WENTWORTH, GA 31406
 7. ALL BUILDING STRUCKS ARE TO CONFORM TO LOCAL ZONING
 8. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 9. THE HORIZONTAL DATA OF THIS PLAT IS BASED ON STATE PLANE
 10. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES AND ARE SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 11. WITHOUT PROPER PERMIT APPLICATION & APPROVAL, SAVANNAH ELECTRIC AND POWER COMPANY CLAIMS A 50' EASEMENT CENTERED AROUND THE POWER LINES.

①	LOT 11, N/F, PETER GARNIN PH: 197-1, PG 230	①	N/F, SAVANNAH ELECTRIC & POWER COMPANY PH: 7-0977-01-017
②	LOT 8 & 10, N/F, JOHNT MARRA BAPTIST CHURCH PH: 7-0977-01-011	②	N/F, SAVANNAH ELECTRIC & POWER COMPANY PH: 7-0977-01-018
③	LOT 8, N/F, SHERRI STEWART, ET AL, PH: 7-0977-01-012	③	N/F, SAVANNAH ELECTRIC & POWER COMPANY PH: 7-0977-01-019
④	LOT 7, N/F, WALTER HUBERT ET AL, PH: 7-0977-01-013	④	N/F, SAVANNAH ELECTRIC & POWER COMPANY PH: 7-0977-01-020
⑤	LOT 6, N/F, ROBERT L BRANT PH: 7-0977-01-014	⑤	N/F, JOHNT MARRA BAPTIST CHURCH PH: 7-0977-01-001
⑥	LOT 5, N/F, EDWARD & FRANCES MAE BRANT PH: 7-0977-01-015		
⑦	LOT 4, N/F, LEON THOMAS PH: 7-0977-01-016		

SURVEY DATE: 4/28/05
EQUIPMENT USED: SOKKIA TOTAL STATION
ANGULAR ERROR PER °: 0"
ADJUSTED BY COMPASS RULE
PARCEL 1, 1/4 INCH
PARCEL 2, 1/786,094
FIELD ERROR OR CLOSURE: 1/81,000
PLAT REFERENCE:
MAP BOOK 9-5, PAGE 88,
SUBDIVISION MAP BOOK 10-5, PAGE 14,
PLAY RECORD BOOK W, PAGE 53,
PLAY RECORD BOOK W, PAGE 54,
PLAY RECORD BOOK W, PAGE 54,
DEED BOOK 101-1, PAGE 311,
DEED BOOK 101-1, PAGE 683,
DEED BOOK 107-1, PAGE 837,
DEED BOOK 146-1, PAGE 196,
DEED BOOK 247-1, PAGE 281.

LINE TABLE

LINE	LENGTH	BEARING
L1	800.23	N44°48'44"E
L2	301.89	N89°01'24"E
L3	278.87	S88°48'42"E
L4	98.88	S17°08'13"E
L5	81.85	S88°08'24"E
L6	151.00	S88°01'21"E
L7	50.27	S17°08'13"E
L8	84.83	N02°51'21"E
L9	63.60	N01°56'08"E
L10	157.81	N01°56'08"E
L11	444.00	N72°42'44"E
L12	228.92	S32°08'42"E
L13	228.92	S32°08'42"E
L14	228.92	S32°08'42"E
L15	228.92	S32°08'42"E
L16	228.92	S32°08'42"E
L17	228.92	S32°08'42"E
L18	228.92	S32°08'42"E
L19	228.92	S32°08'42"E
L20	228.92	S32°08'42"E



CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	BEARING	CHORD
C1	770.67	822.87	44.30	70°02'57"	S82°24'44"E	224.47
C2	284.53	1108.16	147.18	172°35'	S02°07'50"W	284.53
C3	664.83	1108.16	147.18	172°35'	N02°07'50"W	664.83
C4	648.83	822.87	372.22	70°02'57"	N82°24'44"E	648.83
C5	807.81	822.87	284.54	97°21'	S82°24'44"E	807.81

1. CERTIFY THAT IN MY OPINION THIS IS A TRUE AND CORRECT PLAT OF THE LAND PLATTED AND HAS BEEN PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF GEORGIA LAW AND IS AVAILABLE FOR RECORDING.

Copyright Kern-Coleman & Co. LLC © 2018 This drawing and its reproductions are the property of this firm and may not be reproduced, published, or used in any way without the written permission of Kern-Coleman & Co. LLC.

BOUNDARY SURVEY

SCALE: 3/4" = 100'

PROJECT NO: 09023

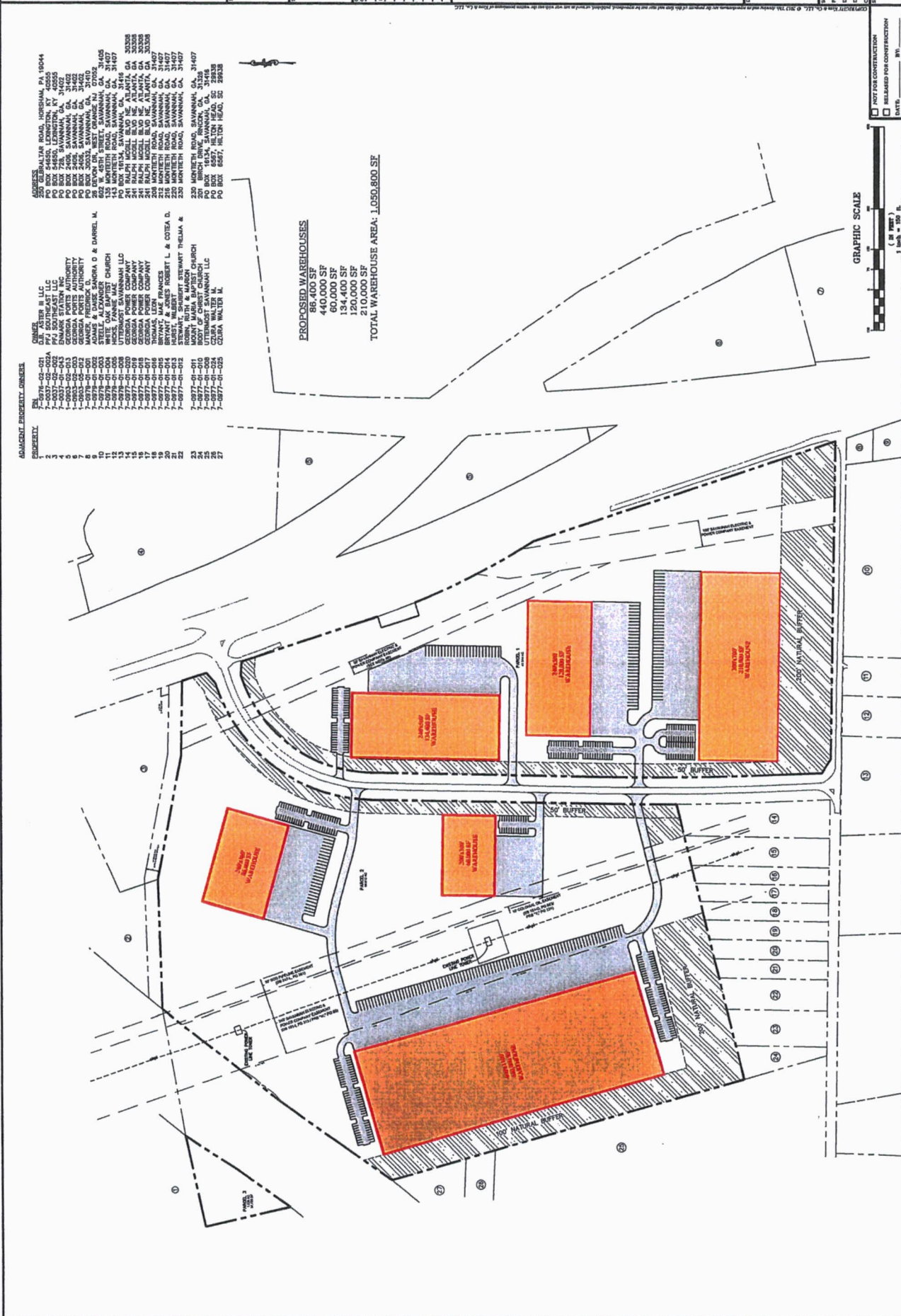
DATE: 5/18/05

DRAWN BY: TWA

CHECKED BY: JML

SHEET NO: 1/1

Kern-Coleman & Co. 1
Consulting Engineers • Land Surveyors • Land Plan Architects • Landscape Architects • Environmental Scientists
7 Mall Court (31406)-P.O. Box 15179 Savannah, Georgia 31416
Telephone: (912) 354-8400 • Fax: (912) 356-1865 • E-mail: info@kerncoleman.com



Attachment: Hendley Rd 7-0977-01-027,028 Rezoning Application JULY 2018 (1945 : Zoning Map Amendment PIN #'s 7-0977-01-027, 028

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on June 8, 2018, to rezone real property described as follows: See Exhibit "A" attached hereto

Within the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each such campaign contribution.

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this

6th day of June, 2018.

Brandi Griffin
Notary Public



Phillip R. McCorkle
Signature of Applicant
Phillip R. McCorkle

Attachment: Hendley Rd 7-0977-01-027,028 Rezoning Application JULY 2018 (1945 : Zoning Map Amendment PIN #'s 7-0977-01-027, 028

EXHIBIT A
Legal Description

PARCEL 1

ALL THAT CERTAIN TRACT OF LAND KNOWN AS PARCEL 1 OF THE COHEN HESTER FARM PLACE, LOCATED IN THE 8th G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A RIGHT-OF-WAY CONCRETE MONUMENT MARKING THE INTERSECTION OF THE SOUTHERN RIGHT-OF-WAY OF HENDLEY DRIVE AND THE WESTERN RIGHT-OF-WAY OF STATE ROUTE 21; THENCE ALONG THE WESTERN RIGHT-OF-WAY OF STATE ROUTE 21 S18°06'26"E A DISTANCE OF 538.62' TO A CONCRETE MONUMENT; THENCE ALONG AN OUTPARCEL OF LAND BELONGING NOW OR FORMERLY JOHNNY LANDING & CECIL HENDLEY S72°41'29"W A DISTANCE OF 42.96' TO A CONCRETE MONUMENT, THENCE S17°18'31"E A DISTANCE OF 150.00' TO A CONCRETE MONUMENT, THENCE N72°41'29"E A DISTANCE OF 50.72' TO A RIGHT-OF-WAY CONCRETE MONUMENT; THENCE ALONG THE WESTERN RIGHT-OF-WAY OF STATE ROUTE 21 FOLLOWING A CURVE TO THE LEFT HAVING A RADIUS OF 2970.69', AN ARC LENGTH OF 507.84', A TANGENT LENGTH OF 254.54', AN INTERIOR ANGLE OF 9°47'41", A CHORD DIRECTION OF S26°47'51"E AND CHORD LENGTH OF 507.22' TO A CONCRETE MONUMENT, THENCE S18°06'05"E A DISTANCE OF 1195.88' [TO A NAIL; THENCE ALONG THE NORTHERN RIGHT-OF-WAY OF STATE ROUTE 30 N89°00'16"W A DISTANCE OF 1179.82' TO A RIGHT-OF-WAY CONCRETE MONUMENT; THENCE ALONG THE EASTERN RIGHT-OF-WAY OF HENDLEY DRIVE N56°14'51"W A DISTANCE OF 63.09' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE N01°56'06"W A DISTANCE OF 157.91' TO A CONCRETE MONUMENT, THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 11,409.16', AN ARC LENGTH OF 684.83', TANGENT LENGTH OF 342.52', AN INTERIOR ANGLE OF 3°26'21", A CHORD DIRECTION OF N00°44'01"W AND CHORD LENGTH OF 684.73' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE N01°00'44"E A DISTANCE OF 860.12' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE ALONG A CURVE TO RIGHT HAVING A RADIUS 522.96', AN ARC LENGTH OF 646.98', A TANGENT LENGTH OF 372.22', AN INTERIOR ANGLE OF 70°52'59", A CHORD DIRECTION OF N36°27'34"E AND CHORD LENGTH OF 606.50' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE S86°01'06"E A DISTANCE OF 51.04' TO THE POINT OF BEGINNING; AND CONTAINING 41.544 ACRES.

PARCEL 2

ALL THAT CERTAIN TRACT OF LAND KNOWN AS PARCEL 2 OF THE COHEN HESTER FARM PLACE, LOCATED IN THE 8th G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A RIGHT-OF-WAY CONCRETE MONUMENT MARKING THE INTERSECTION OF WESTERN RIGHT-OF-WAY OF STATE ROUTE 21 AND THE NORTHERN RIGHT-OF-WAY OF HENDLEY DRIVE; THENCE S48°08'34"W A DISTANCE OF 51.66' TO A RIGHT-OF-WAY CONCRETE MONUMENT THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 622.96', AN ARC LENGTH OF 770.69', A TANGENT LENGTH OF 443.39', AN INTERIOR ANGLE OF 70°52'57", A CHORD DIRECTION OF S36°27'34"W AND CHORD LENGTH OF 722.47' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE S01°00'44"W A DISTANCE OF 860.17' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11509.16', AN ARC LENGTH OF 294.34', A TANGENT LENGTH OF 147.18', AN INTERIOR ANGLE OF 1°27'55", A CHORD DIRECTION OF S00°15'09"W AND CHORD LENGTH OF 294.33' TO A CONCRETE MONUMENT; THENCE ALONG THE NORTHERN LINE OF DRAKE PARK S76°14'29"W A DISTANCE OF 1054.77' TO A CONCRETE MONUMENT; THENCE ALONG THE EASTERN LINE OF A PORTION OF THE MONTEITH TRACT N15°45'31"W A DISTANCE OF 1381.21' TO A CONCRETE MONUMENT; THENCE ALONG THE SOUTHERN RIGHT-OF-WAY OF INTERSTATE 95 N34°48'44"E A DISTANCE OF 200.23' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE N35°01'34"E A DISTANCE OF 301.55' TO A RIGHT-OF-WAY CONCRETE MONUMENT, THENCE N38°03'01"E A DISTANCE OF 571.92' TO A CONCRETE MONUMENT; THENCE ALONG THE SOUTHERN LINE OF LITTLE HEARST BRANCH CANAL N88°08'08"E A DISTANCE OF 480.14' TO A CONCRETE MONUMENT, THENCE S79°06'42"E A DISTANCE OF 467.16' TO A CONCRETE MONUMENT, THENCE S88°49'42"E A DISTANCE OF 275.67' TO A CONCRETE MONUMENT; THENCE ALONG THE WESTERN RIGHT-OF-WAY OF STATE ROUTE 21 S17°56'13"E A DISTANCE OF 96.68' TO THE POINT OF BEGINNING; AND CONTAINING 59.019 ACRES.

DISCLOSURE OF FINANCIAL INTERESTS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

The undersigned official of the City of Port Wentworth has a property interest (Note 1) in said property as follows:

The undersigned official of the City of Port Wentworth has financial interest (Note 2) in a business entity (Note 3) which has property interest in said property, which financial interest is as follows:

The undersigned official of the City of Port Wentworth has a member of the family (Note 4) having a property interest said property or a financial interest in a business entity which has a property interest in said property, which family member and property interest or financial interest are as follows:

Note 1: Property Interest – Direct ownership of real property, including any percentage of ownership less than total ownership

Note 2: Financial Interest – All direct ownership interests of the total assets or capital stock of a business entity where such ownership interest is 10 percent or more

Note 3: Business Entity – Corporation, partnership, limited partnership, firm, enterprise, franchise, association or trust

Note 4: Member of the family – Spouse, mother, father, brother, sister, son or daughter

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this _____ day of _____, 20_____.

Signature of Official

Notary Public

Attachment: Hendley Rd 7-09777-01-027,028 Rezoning Application JULY 2018 (1945 : Zoning Map Amendment PIN #'s 7-09777-01-027, 028

AUTHORIZATION OF PROPERTY OWNER
Application for Rezoning or Variance

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Phillip R. Melorkle

Address: 319 Tattnell Street
Savannah, Georgia 31401

Telephone Number: 912-232-6000

Greenland Developers, Inc.
By: [Signature]
Signature of Owner
Its: Managing member

Personally appeared before me

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

[Signature]
Notary Public

6/7/18
Date

JoAnn C. Duff
Notary Public
Effingham County, Georgia
My Commission Expires
03-22-22

Attachment: Hendley Rd 7-0977-01-027,028 Rezoning Application JULY 2018 (1945 : Zoning Map Amendment PIN #'s 7-0977-01-027, 028

DEVELOPMENT IMPACT ASSESSMENT

MONTIETH INDUSTRIAL DEVELOPMENT

PROJECT NO. 150110.00

PREPARED BY:

**KERN & CO., LLC.
P.O. BOX 15179
7 MALL COURT
SAVANNAH, GA 31406
(912)-354-8400
FAX (912)-356-1865**

May 15, 2018

I. *Executive Summary-*

Montieth Industrial, Inc. is requesting to rezone 100.4 acres. The property is currently zoned P-C-3 and is being requested to be rezoned to P-I-2. The property is adjacent to the Jimmy Deloach Parkway expansion which connects I-95 to the Georgia Ports Authority and has recently been approved for funding by the State of Georgia.

II. *Introduction, Project Description, Objective, Environmental Setting-*

Montieth Industrial, Inc. is proposing to phase out the development of approximately 100.4 acres to for warehouse / distribution system. The property has letters of approval from the Georgia Department of Natural Resources and United States Army Corps of Engineers for the development of this property.

III. *Project Impacts and Mitigation Alternatives-*

A. Fiscal-

The estimated value of this project at the proposed 2022 completion date is \$50,000,000.

B. Community Facilities-

1. Water Supply and Distribution- The development intends to connect to existing City of Port Wentworth Water Supply System. The estimated demand for this site will be 2,000 GPD.
2. Wastewater Collection and Treatment- The development intends to connect to existing City of Port Wentworth Sanitary Sewer Collection System utilizing a pumping station and force main. The estimated demand for this site will be 2,000 GPD.
3. Solid Waste- No amount of hazardous waste will be generated by this facility. The amount of solid waste generated annually from the site is projected to be less than 5 tons.
4. Stormwater Management- The parcel drains directly into a tributary of St. Augustine Creek. Post-development run-off is not required to meet pre-development run-off. However, detention will be provided to improve the quality of the run-off prior to discharging from out site.
5. Stormwater Quality- The parcel will meet all state and local ordinances to comply with stormwater regulations.
6. Schools - he parcel will meet all state and local ordinances to comply with stormwater regulations.
7. Park and Recreation- The development of this project will not have an impact on the local parks and recreation facilities.

8. Public Safety (Police and Fire)- The development of this project should have minimal impact on the police and fire departments.
9. Traffic Impact Study- see below

C. Environmental Quality

1. Noise- The noise created by the proposed development will be generated by vehicles traveling to and from the site. It is estimated the noise levels should range from 65 to 75 decibels as trucks arrive and depart. Buffers residential properties provided to minimize noise impact.
 2. Jurisdictional and Non-Jurisdictional Wetlands- A currently being reviewed by USACE.
 3. Floodplain- Based on my observation these properties are located .in Federal Emergency Management Agency, Insurance Rate Map Number 13051C0045F, Dated 9/26/08, Base Flood Elevation: 11', NAVD 88.
 4. Water of the State- No impact on state waters.
 5. Historic Resources- No evidence of historical site observed.
- D. Comprehensive Plan- The proposed development complies with the City of Port Wentworth's Comprehensive Plan.
- E. Proposed Operating Plan- Will Follow

CITY OF PORT WENTWORTH

(912) 964-4379

REC#: 00198596 7/02/2018 3:22 PM

OPER: SD TERM: 003

REF#: 1154

TRAN: 112.0000 BLDG PERMIT
 141107 5,500.00CR
 GREENLAND DEVELOPERS, INC
 HENDLEY ROAD
 DEV-ZMA 5,500.00CR

TENDERED: 5,500.00 CHECK

APPLIED: 5,500.00-

CHANGE:
0.00

Attachment: Hendley Rd 7-0977-01-

RECEIVED FOR RECORD
2008 SEP 19 10:00 AM
COUNTY CLERK
GEORGIA

Kern-Coleman & Co.
Consulting Engineers & Land Surveyors • Land Title
Architects • Landscape Architects • Environmental
7 N.W. Corner (31.866° P.O. Box 151) 7th Street, Georgia, 314
Telephone: (912) 354-8160 • Fax: (912) 356-1866 • E-mail: info@kern-coleman.com



A PLAT OF PARCELS 1, 2 & 3
OF THE COHEN HESTER FARM PLACE,
8th G.M. DISTRICT, CITY OF PORT WENTWORTH
CHATHAM COUNTY, STATE OF GEORGIA

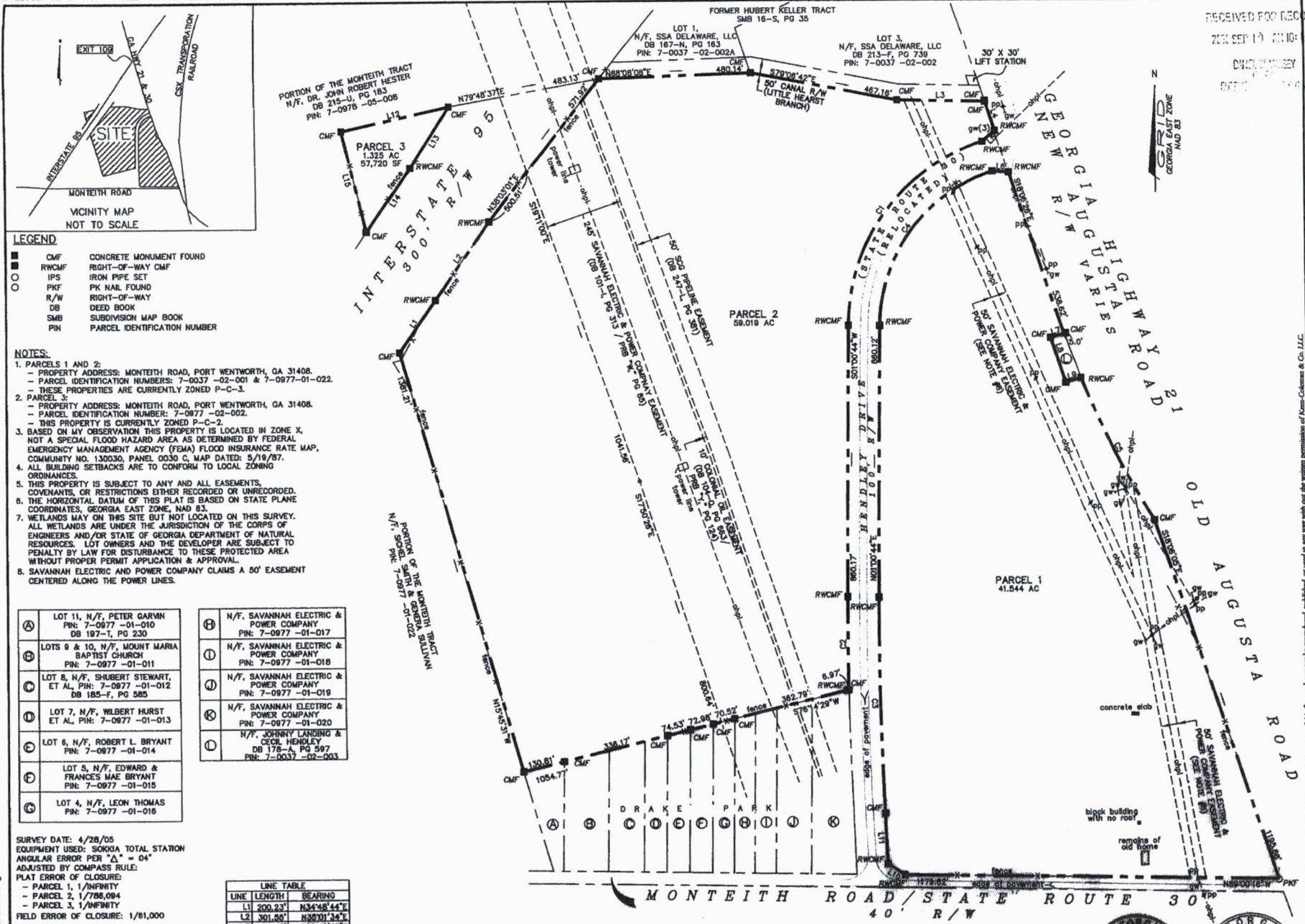
DRAWING TITLE:

BOUNDARY SURVEY

34Ppg
SCALE: 1" = 40'
PROJECT NO: 08
DATE: 5/1
DRAWN BY: TS
CHECKED BY: JA
SHEET NO:

1/1

Attachment: Hendley Rd 7-0977-01-027,028 Rezoning Site Plan JULY 2018 (1945 : Zoning Map



- LEGEND**
- CMF CONCRETE MONUMENT FOUND
 - RWCMF RIGHT-OF-WAY CMF
 - IPS IRON PIPE SET
 - PKF PK NAIL FOUND
 - R/W RIGHT-OF-WAY
 - DB DEED BOOK
 - SMB SUBDIVISION MAP BOOK
 - PN PARCEL IDENTIFICATION NUMBER

- NOTES:**
1. PARCELS 1 AND 2:
 - PROPERTY ADDRESS: MONTEITH ROAD, PORT WENTWORTH, GA 31408.
 - PARCEL IDENTIFICATION NUMBERS: 7-0037 -02-001 & 7-0977-01-022.
 - THESE PROPERTIES ARE CURRENTLY ZONED P-C-3.
 2. PARCEL 3:
 - PROPERTY ADDRESS: MONTEITH ROAD, PORT WENTWORTH, GA 31408.
 - PARCEL IDENTIFICATION NUMBER: 7-0977 -02-002.
 - THIS PROPERTY IS CURRENTLY ZONED P-C-2.
 3. BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, COMMUNITY NO. 130030, PANEL 0030 C, MAP DATED: 5/19/87.
 4. ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ZONING ORDINANCES.
 5. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 6. THE HORIZONTAL DATUM OF THIS PLAT IS BASED ON STATE PLANE COORDINATES, GEORGIA EAST ZONE, NAD 83.
 7. WETLANDS MAY ON THIS SITE BUT NOT LOCATED ON THIS SURVEY. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND FOR STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREA WITHOUT PROPER PERMIT APPLICATION & APPROVAL.
 8. SAVANNAH ELECTRIC AND POWER COMPANY CLAIMS A 50' EASEMENT CENTERED ALONG THE POWER LINES.

(A)	LOT 11, N/F, PETER GARMN PIN: 7-0977 -01-010 DB 197-1, PG 230	(H)	N/F, SAVANNAH ELECTRIC & POWER COMPANY PIN: 7-0977 -01-017
(B)	LOTS 9 & 10, N/F, MOUNT MARIA BAPTIST CHURCH PIN: 7-0977 -01-011	(I)	N/F, SAVANNAH ELECTRIC & POWER COMPANY PIN: 7-0977 -01-018
(C)	LOT 8, N/F, SHUBERT STEWART, ET AL. PIN: 7-0977 -01-012 DB 185-F, PG 585	(J)	N/F, SAVANNAH ELECTRIC & POWER COMPANY PIN: 7-0977 -01-019
(D)	LOT 7, N/F, WLBERT HURST ET AL. PIN: 7-0977 -01-013	(K)	N/F, SAVANNAH ELECTRIC & POWER COMPANY PIN: 7-0977 -01-020
(E)	LOT 6, N/F, ROBERT L. BRYANT PIN: 7-0977 -01-014	(L)	N/F, JOHNNY LANDING & COOL HENDLEY DB 178-A, PG 597 PIN: 7-0037 -02-003
(F)	LOT 5, N/F, EDWARD & FRANCES MAE BRYANT PIN: 7-0977 -01-015		
(G)	LOT 4, N/F, LEON THOMAS PIN: 7-0977 -01-016		

SURVEY DATE: 4/28/05
EQUIPMENT USED: SOKKIA TOTAL STATION
ANGULAR ERROR PER "Δ" = 04"
ADJUSTED BY COMPASS RULE:
PLAT ERROR OF CLOSURE:
- PARCEL 1, 1/INFINITY
- PARCEL 2, 1/786,094
- PARCEL 3, 1/INFINITY
FIELD ERROR OF CLOSURE: 1/61,000

LINE TABLE

LINE	LENGTH	BEARING
L1	200.23'	N34°48'44"E
L2	301.58'	N39°01'34"E
L3	275.67'	S88°48'42"E
L4	98.88'	S17°38'13"E
L5	51.88'	S49°38'34"W
L6	51.04'	S88°31'08"E
L7	42.98'	S72°41'28"W
L8	150.00'	S17°18'31"E
L9	50.72'	N72°41'28"E
L10	63.06'	N88°14'51"W
L11	187.81'	N01°56'08"W
L12	348.08'	N77°21'44"E
L13	229.87'	S32°39'42"W
L14	248.17'	S34°49'01"W
L15	327.47'	N15°36'40"W

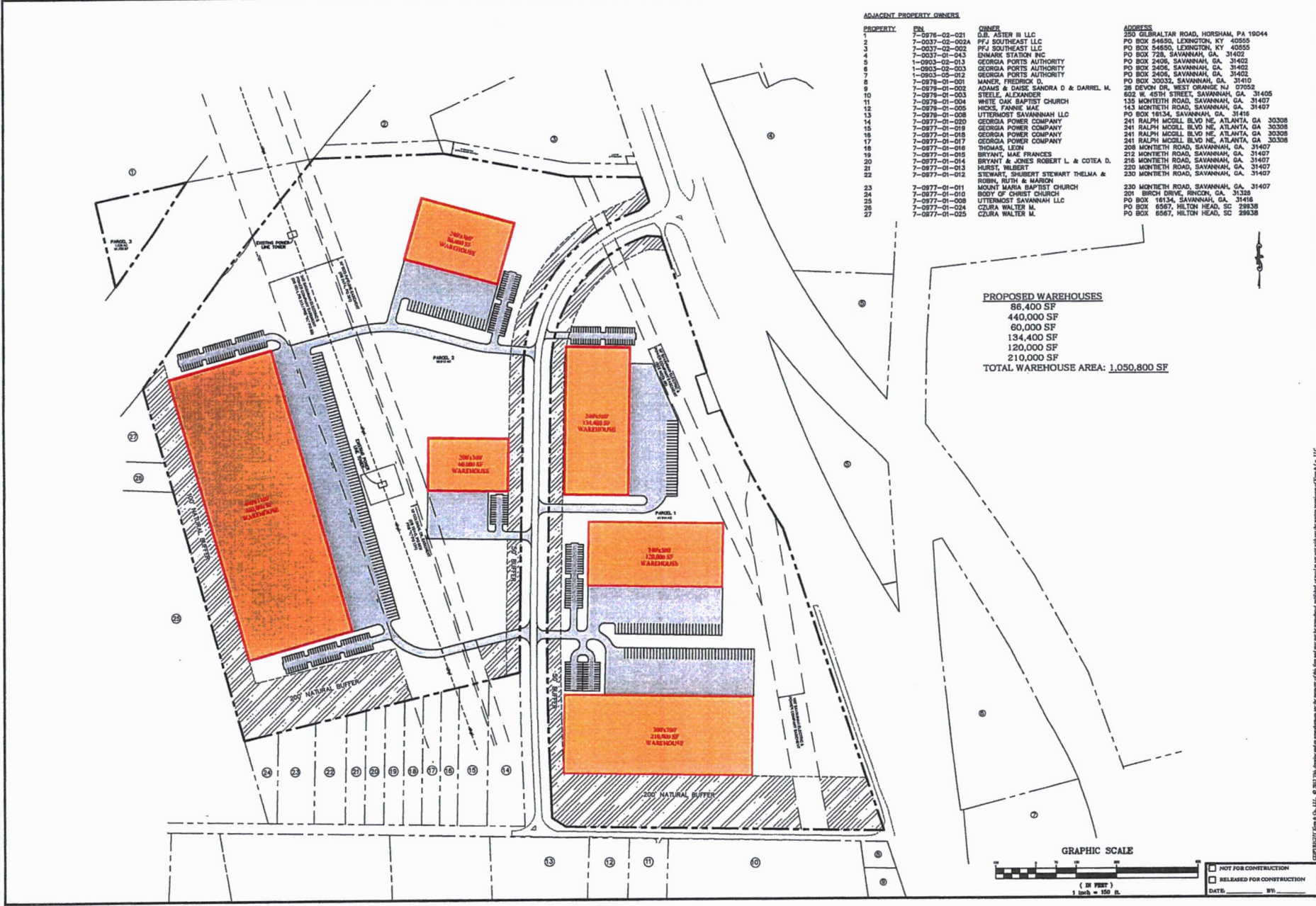
CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	S38°27'34"W	CHORD
C1	770.69'	822.98'	443.39'	70°32'57"	S38°27'34"W	222.47'
C2	284.34'	11808.18'	147.18'	1°27'30"	S90°15'09"W	284.33'
C3	884.82'	11408.18'	342.82'	3°28'21"	N83°41'01"W	884.73'
C4	646.80'	892.98'	372.22'	70°32'58"	N38°27'34"E	806.80'
C5	807.84'	2870.69'	254.54'	9°47'41"	S26°47'51"E	807.22'

I CERTIFY THAT IN MY OPINION THIS IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF GEORGIA LAW AND IS SUITABLE FOR RECORDING.



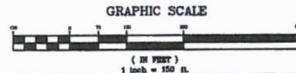
GRAPHIC SCALE: 1" = 200'



ADJACENT PROPERTY OWNERS

PROPERTY	PARCEL	OWNER	ADDRESS
1	7-0976-02-021	D.B. ASTER III LLC	250 GIBRALTAR ROAD, HORSHAM, PA 19044
2	7-0037-02-002A	P.F.J. SOUTHEAST LLC	PO BOX 54650, LEXINGTON, KY 40555
3	7-0037-02-002	P.F.J. SOUTHEAST LLC	PO BOX 54650, LEXINGTON, KY 40555
4	7-0037-01-043	ENMARK STATION INC	PO BOX 728, SAVANNAH, GA, 31402
5	1-0903-02-013	GEORGIA PORTS AUTHORITY	PO BOX 2406, SAVANNAH, GA, 31402
6	1-0903-02-003	GEORGIA PORTS AUTHORITY	PO BOX 2406, SAVANNAH, GA, 31402
7	1-0903-05-012	GEORGIA PORTS AUTHORITY	PO BOX 2406, SAVANNAH, GA, 31402
8	7-0978-01-001	MANER, FREDRICK D.	PO BOX 30033, SAVANNAH, GA, 31410
9	7-0978-01-002	ADAMS & DASE SANDRA D & DARREL M.	28 DEVON DR, WEST ORANGE NJ 07052
10	7-0978-01-003	STEELE, ALEXANDER	802 W. 45TH STREET, SAVANNAH, GA, 31405
11	7-0978-01-004	WHITE OAK BAPTIST CHURCH	135 MONTIETH ROAD, SAVANNAH, GA, 31407
12	7-0978-01-005	HICKS, FANNIE MAE	143 MONTIETH ROAD, SAVANNAH, GA, 31407
13	7-0978-01-008	UTTERMOST SAVANNAH LLC	PO BOX 18134, SAVANNAH, GA, 31416
14	7-0977-01-020	GEORGIA POWER COMPANY	241 RALPH MCCLL BLVD NE, ATLANTA, GA 30308
15	7-0977-01-018	GEORGIA POWER COMPANY	241 RALPH MCCLL BLVD NE, ATLANTA, GA 30308
16	7-0977-01-019	GEORGIA POWER COMPANY	241 RALPH MCCLL BLVD NE, ATLANTA, GA 30308
17	7-0977-01-017	GEORGIA POWER COMPANY	241 RALPH MCCLL BLVD NE, ATLANTA, GA 30308
18	7-0977-01-016	THOMAS, LEON	208 MONTIETH ROAD, SAVANNAH, GA, 31407
19	7-0977-01-015	BRYANT, MAE FRANCES	212 MONTIETH ROAD, SAVANNAH, GA, 31407
20	7-0977-01-014	BRYANT & JONES ROBERT L. & COTEA D.	216 MONTIETH ROAD, SAVANNAH, GA, 31407
21	7-0977-01-013	HURST, WILBERT	220 MONTIETH ROAD, SAVANNAH, GA, 31407
22	7-0977-01-012	STEWART, SHARBERT STEWART THELMA & ROBIN, RUTH & MARION	230 MONTIETH ROAD, SAVANNAH, GA, 31407
23	7-0977-01-011	MOUNT MARIA BAPTIST CHURCH	230 MONTIETH ROAD, SAVANNAH, GA, 31407
24	7-0977-01-010	BODY OF CHRIST CHURCH	201 BIRCH DRIVE, RINCON, GA, 31328
25	7-0977-01-009	UTTERMOST SAVANNAH LLC	PO BOX 18134, SAVANNAH, GA, 31416
26	7-0977-01-022	CZURA WALTER M.	PO BOX 6567, HILTON HEAD, SC 29938
27	7-0977-01-025	CZURA WALTER M.	PO BOX 6567, HILTON HEAD, SC 29938

PROPOSED WAREHOUSES
 86,400 SF
 440,000 SF
 60,000 SF
 134,400 SF
 120,000 SF
 210,000 SF
TOTAL WAREHOUSE AREA: 1,050,800 SF



NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: BY:

Kern & Co., LLC
 Consulting Engineers & Land Planners
 Architects & Landscape Architects & Environmental Scientists

DATE: _____
 ORIGINAL NEXUS CONSTRUCTION ID: _____
 HO DATE: _____

PLANS OF MONTIETH INDUSTRIAL DEV.
 CREDIT AND ADJUSTMENT RECORD

DATE: _____
 PROJECT NO: _____
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____

SITE PLAN

SHEET NO. **C1**

Attachment: Hendley Rd 7-0977-01-027,028 Rezoning Site Plan JULY 2018 (1945 : Zoning Map



July 5, 2018

Mr. Brian Harvey
 Director of Development Services
 City of Port Wentworth
 305 South Coastal Highway
 Port Wentworth, GA 31407

RE: Monteith Industrial Development
 Development Impact Assessment (1st Submittal REVISED)

Dear Mr. Harvey:

We have reviewed the 1st submittal of the Development Impact Assessment (DIA) for the referenced project. We have reviewed the DIA for general compliance with the requirements of "Appendix B – Zoning" of the City Code of Ordinances. The following comments need to be addressed prior to our recommending approval:

- 1) Item III, Letter A – Fiscal – Complete a Fiscal Analysis. Submittal does not quantify additional revenues and costs to the City, See Code of Ordinances for detailed requirements.
- 2) Item III, Letter B, Number 2 – Wastewater Collection and Treatment - Does the City want to accept a site-specific pump station or require it to be private?
- 3) Item III, Letter B, Number 4 – Stormwater Management - Must comply with the City's C.D.M. Provide a discussion of the adequacy of the receiving stormwater conveyance.
- 4) Item III, Letter B, Number 5 – Stormwater Quality - Must comply with the City's C.D.M. Provide a narrative discussing measures that will be used to preserve and/or improve the physical, chemical, biological or radiological integrity of stormwater runoff from the proposed development.
- 5) Item III, Letter B, Number 9 – Traffic Impact Study - This application does not address the requirements as specified for the traffic study. Acceleration and deceleration lanes into and out of the development sites along Hendley Rd. for a posted 45 mph road. These two roads (Monteith and Hendley) appear to have a lot of vehicular traffic and appears to be a cut thru from the west side of I-95 along Monteith Rd. to and from SR 21. A study should be performed for the traffic impacts at Hendley Rd. and SR 21. Coordination and input from GDOT is needed at this intersection. This intersection is currently not signalized. Due to the high truck traffic to and from the proposed site, and due to the traffic volumes and speeds on SR 21 at this

Goodwyn Mills Cawood

424 East Oglethorpe Avenue
 Savannah, GA 31401

T (912) 655-6790
 F (770) 955-1064

www.gmcnetwork.com



intersection, trucks trying to cross the median unsignalized could cause traffic impacts and safety concerns on Hendley Rd. and SR 21. Because of an uphill grade on SR 21 eastbound at Hendley Rd., trucks turning right from Hendley Rd. to go east on SR 21 may need a lengthy accel lane in order for trucks to gain enough speed uphill to merge safely onto SR 21. Turning left from Hendley Rd. to go west on SR 21 may require a median accel lane. Provide a compliant study.

- 6) Item III, Letter C, Number 1 – Noise – City Code requires, if noise levels are expected to exceed 55 dB at any point along the property line, noise reductions measures are to be implemented. The application says noise levels should range between 65-75 dB, which exceeds the standard. Provide noise study or plan on how noise levels will be reduced to meet the standard (55 db).
- 7) Item III, Letter C, Number 2 – Jurisdictional and Non-Jurisdictional Wetlands - The application states a “jurisdictional letter of approval has been provided from the USACE”, however it isn’t attached and it appears there are wetlands impacts proposed as part of the development. Provide USCOE approval letter.
- 8) Item III, Letter C, Number 3 – Floodplain – Attach Flood Map.
- 9) Item III, Letter C, Number 4 – Waters of the State – It appears that Waters of the State will be impacted by this project. Provide DNR approval letter if applicable.
- 10) Item III, Letter C, Number 5 – Historic Resources - The application states no evidence of historical site was observed. Provide documentation from SHPO or an archeologist stating the site is clear of cultural resources.
- 11) Item III, Letter D – Comprehensive Plan - Include an analysis of whether the proposed development either meets or does not conform to the goals and objectives set forth in the Comprehensive Plan, Short-Term Work Program, the Port Wentworth Water Supply Management Plan, and the Solid Waste Management Plan. Include specific examples how the development meets or furthers the goals and objectives of these plans.
- 12) Item III, Letter E – Provide the Proposed Operating Plan.
- 13) Provide a “Preliminary General Site Plan” as described in the Code of Ordinances.

Let us know if there are questions.

Sincerely,

GOODWYN MILLS CAWOOD, INC.

James C. Vaughn, Jr, P.E.
Project Manager

Cc: Kern & Company (via email)
Jimmy Coursey (via email)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 07/09/18 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 1944)

DOC ID: 1944

Site Plan Review Application submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Greenland Developers, Inc., for PIN #'s: 7-0977-01-027 and 7-0977-01-028 (Hendley Road) for a General Development Site Plan to allow Warehouses in a P-I-2 (Planned Industrial) Zoning District

Issue/Item: Site Plan Review Application submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Greenland Developers, Inc., for PIN #'s: 7-0977-01-027 and 7-0977-01-028 (Hendley Road) for a General Development Site Plan to allow Warehouses in a P-I-2 (Planned Industrial) Zoning District

Background: The subject property is currently undeveloped land on both sides of Hendley Road. The property is currently zoned P-C-3.

Facts and Findings: The owner has filed a conceptual site plan showing six (6) Warehouses to be constructed on these properties which will total 1,050,800 square feet of warehouse space. An application to rezone this property from P-C-3 (Planned General Business) to P-I-2 (Planned Industrial) has also been filed.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, July 9, 2018 at 6:30 PM.

ATTACHMENTS:

- Hendley Rd 7-0977-01-027,028 Site Plan Application JULY 2018 (PDF)
- Hendley Rd 7-0977-01-027,028 Site Plan JULY 2018 (PDF)

RECEIVED

JUL 02 2018

City of Port Wentworth
Site Plan Review Application

City of Port Wentworth

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Name of Site Plan: Montieth Industrial Development

Site Plan Address: Hendley Road

PIN #: 7-0977-01-027, 7-0977-01-028 Existing- P-C-3
Zoning: Proposed- P-I-2

Type of Construction: Distribution/Warehousing

Estimated Cost of Construction: \$ 50,000,000.00

Applicant's Name: Phillip R. McCorkle

Address: 319 Tattnall Street, Savannah, Georgia 31401

Phone #: 912-232-6000 Fax #: 912-232-4080

Owner's Name (If Different from Applicant): Greenland Developers, Inc.

Address: c/o Wilson Burns, P.O. Box 1628, Springfield, Georgia 31329

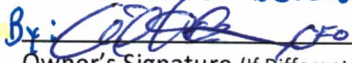
Phone #: 912-657-7377 Fax #: _____

I hereby acknowledge that the above information is true and correct.



Applicant's Signature - Phillip R. McCorkle
Greenland Developers, Inc.

Date 6/27/18

By: 

Owner's Signature (If Different from Applicant)

Date 6/27/18

- Please submit the following with completed application:**
1. Name, address & PIN # for all adjacent property owners.
 2. Fifteen (15) copies in 11"x17" or larger of your site plan & one 8.5"x11".

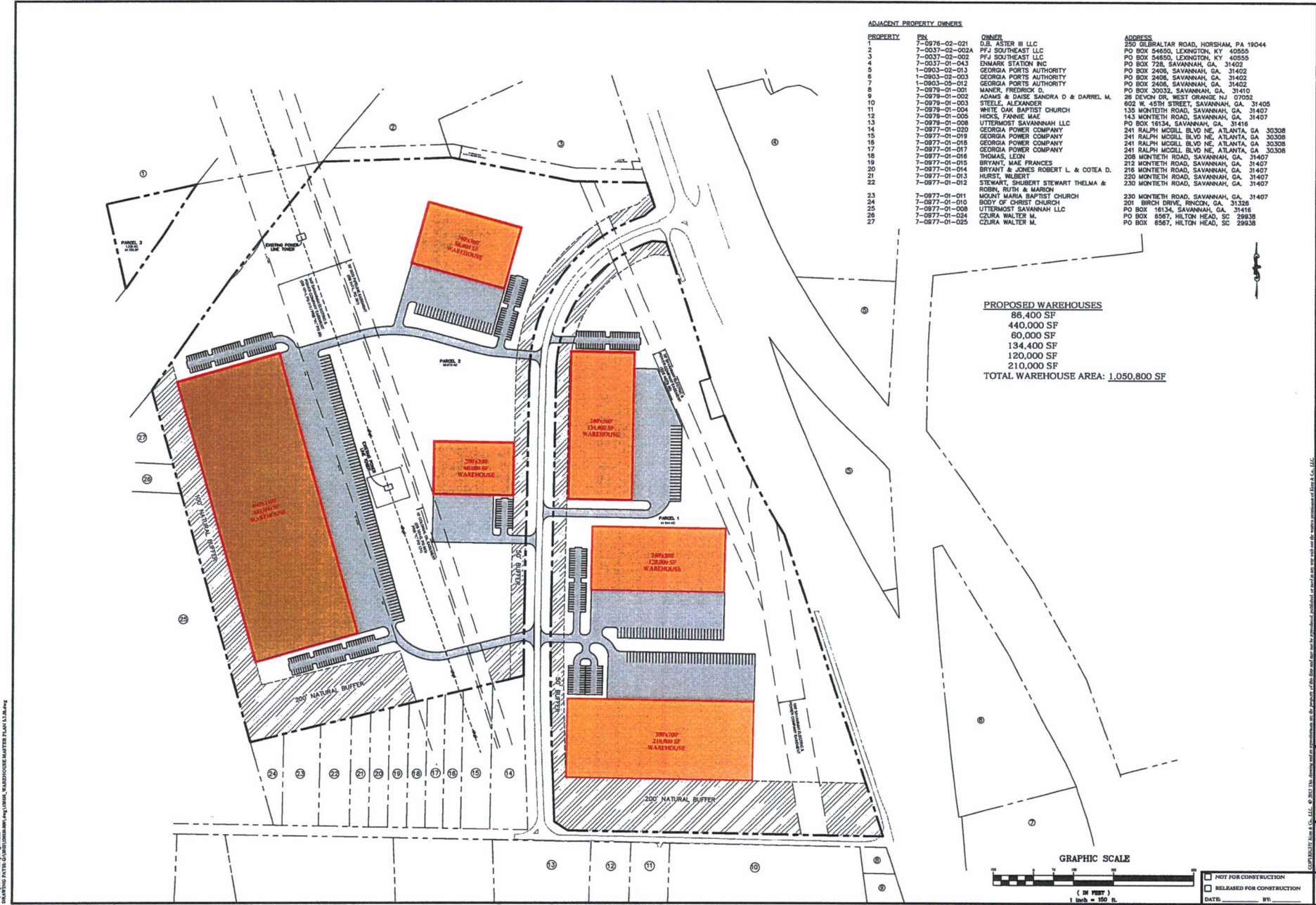
Attachment: Hendley Rd 7-0977-01-027,028 Site Plan Application JULY 2018 (1944 : Site Plan Review Application Hendley Rd 7-0977-01-027,

ADJACENT PROPERTY OWNERS

<u>PROPERTY</u>	<u>PIN</u>	<u>OWNER</u>	<u>ADDRESS</u>
1	7-0976-02-021	D.B. ASTER III LLC	250 GILBRALTAR ROAD, HORSHAM, PA 19044
2	7-0037-02-002A	PFJ SOUTHEAST LLC	PO BOX 54650, LEXINGTON, KY 40555
3	7-0037-02-002	PFJ SOUTHEAST LLC	PO BOX 54650 LEXINGTON, KY 40555
4	7-0037-01-043	ENMARK STATION INC	PO BOX 728 SAVANNAH, GA. 31402
5	1-0903-02-013	GEORGIA PORTS AUTHORITY	PO BOX 2406 SAVANNAH, GA. 31402
6	1-0903-02-003	GEORGIA PORTS AUTHORITY	PO BOX 2406 SAVANNAH, GA. 31402
7	1-0903-05-012	GEORGIA PORTS AUTHORITY	PO BOX 2406 SAVANNAH, GA. 31402
8	7-0979-01-001	MANER, FREDRICK D.	PO BOX 30032 SAVANNAH, GA. 31410
9	7-0979-01-002	ADAMS & DAISE SANDRA D & DARREL M.	26 DEVON DR WEST ORANGE NJ 07052
10	7-0979-01-003	STEELE, ALEXANDER	602 W. 45TH STREET SAVANNAH, GA. 31405
11	7-0979-01-004	WHITE OAK BAPTIST CHURCH	135 MONTEITH ROAD, SAVANNAH, GA. 31407
12	7-0979-01-005	HICKS, FANNIE MAE	143 MONTIETH ROAD, SAVANNAH, GA. 31407
13	7-0979-01-008	UTTERMOST SAVANNNAH LLC	PO BOX 16134 SAVANNAH, GA. 31416
14	7-0977-01-020	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308

Attachment: Hendley Rd 7-0977-01-027,028 Site Plan Application JULY 2018 (1944 : Site Plan Review Application Hendley Rd 7-0977-01-027,

15	7-0977-01-019	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308
16	7-0977-01-018	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308
17	7-0977-01-017	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308
18	7-0977-01-016	THOMAS, LEON	208 MONTIETH ROAD, SAVANNAH, GA. 31407
19	7-0977-01-015	BRYANT, MAE FRANCES	212 MONTIETH ROAD, SAVANNAH, GA. 31407
20	7-0977-01-014	BRYANT & JONES ROBERT L. & COTEA D.	216 MONTIETH ROAD, SAVANNAH, GA. 31407
21	7-0977-01-013	HURST, WILBERT	220 MONTIETH ROAD, SAVANNAH, GA. 31407
22	7-0977-01-012	STEWART, SHUBERT STEWART THELMA & ROBIN, RUTH & MARION	230 MONTIETH ROAD, SAVANNAH, GA. 31407
23	7-0977-01-011	MOUNT MARIA BAPTIST CHURCH	230 MONTIETH ROAD, SAVANNAH, GA. 31407
24	7-0977-01-010	BODY OF CHRIST CHURCH	201 BIRCH DRIVE, RINCON, GA. 31326
25	7-0977-01-008	UTTERMOST SAVANNAH LLC	PO BOX 16134, SAVANNAH, GA. 31416
26	7-0977-01-024	CZURA WALTER M.	PO BOX 6567, HILTON HEAD, SC 29938
27	7-0977-01-025	CZURA WALTER M.	PO BOX 6567, HILTON HEAD, SC 29938



Kern & Co., LLC
 Consulting Engineers & Land Planners
 Architects & Landscape Architects & Environmental Scientists

PLANS OF MONTIETH INDUSTRIAL DEV. FOR CREDIT AND ADJUTY CORRECT 1910

SITE PLAN

C1

SCALE: PROJECT NO. 18 DATE: 1/11 DRAWN BY: 2/12 CHECKED BY: 2/12

LEGEND:
 NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: BY:

Attachment: Hendley Rd 7-0977-01-027, 028 Site Plan JULY 2018 (1944 : Site Plan Review Application



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 07/09/18 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 1947)

DOC ID: 1947

**Subdivision Application submitted by Travis G. Burke,
Coleman Company Inc., on behalf of Bald Eagle Partners for
PIN # 7-0906-04-062 (Rice Hope Road) located in a M-P-O
(Master Plan Overlay) Zoning District for a Preliminary Plat of
a Major Subdivision (Mulberry Tract Phase I) for the purpose
of Single-Family Homes**

Issue/Item: Subdivision Application submitted by Travis G. Burke, Coleman Company Inc., on behalf of Bald Eagle Partners for PIN # 7-0906-04-062 (Rice Hope Road) located in a M-P-O (Master Plan Overlay) Zoning District for a Preliminary Plat of a Major Subdivision (Mulberry Tract Phase I) for the purpose of Single-Family Homes

Background: This is the Preliminary Plat submittal for Mulberry Tract Phase I Subdivision of the Rice Hope Subdivision. Mulberry Tract Phase I includes thirty (30) single family lots on approximately 32 acres. The lots will be accessed off of Mulberry Ave.

Facts and Findings: The application appears to be complete. The Subdivision will be connected to City water and sewer utilities and will include a new road. The application is currently under review by the City engineers, Goodwyn, Mills, & Cawood.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, July 9, 2018 at 6:30 P.M.

ATTACHMENTS:

- Mulberry Tract PH I Subdivision Application JULY 2018 (PDF)
- Mulberry Tract PH I Subdivision Preliminary Plat JULY 2018 (PDF)

**SUBDIVISION APPLICATION FORM
FOR THE
CITY OF PORT WENTWORTH**

Application Form Required

This application form is to accompany all subdivisions submitted for Port Wentworth Planning Commission review and to be filled out in its entirety. Plats/subdivisions not accompanied by this application will not be accepted for processing. All subdivisions with their completed applications must be received by the City of Port Wentworth at least 20 business days prior to the Planning Commission meeting at which they are to be considered. Revisions to a subdivision under review by the Port Wentworth Planning Commission must be received 10 business days prior to the Port Wentworth Planning Commission at which each subdivision is scheduled to be heard.

Subdivision Name: Mulberry Tract Phase I

Location: Rice Hope Road

Number of Lots: 30

Number of Acres: 32 (disturbed)

PIN #: 7-0906-04-062

Current Zoning: M-P-O

Type of Subdivision: (Check applicable blanks from each column)

- A. Sketch Plan
- Master Plan
- Preliminary Plat
- Final Plat
- Revision to a Recorded Plat

- B. Major Subdivision
(4 or more lots or a new road)
- Minor Subdivision
(3 or less lots & no new road)

Purpose of Subdivision:

- Single-Family
- Multi-Family
- Retail
- Other Business

- Industrial
- Institutional
- Other
- Sign

Variances: (List all variances being requested)

Attachment: Mulberry Tract PH I Subdivision Application JULY 2018 (1947 : Subdivision Application Mulberry Tract Phase I JULY 2018)

Georgia DOT Review

In all applications in which property being subdivided lies along a State Highway or access is needed from a State Highway, all applicants are required to submit a plat to the Georgia Department of Transportation for review. The subdivision application will not be considered by the Port Wentworth Planning Commission until the Georgia Department of Transportation has commented on the subdivision. The comments must accompany the application.

Previous Submittal

Has this tract of land being proposed for subdividing been submitted to the Port Wentworth Planning Commission under a different subdivision name?

Yes _____ No _____

If yes, what name? _____

Date Submitted: _____ PWPC File No: _____

Number of Required Prints

All submittals, regardless of type, shall include fifteen (15) prints. **Final Plats must include a copy of the plat scanned to a CD along with the fifteen (15) printed copies. Stamp must be in contrasting ink.**

Statements as to Covenants/Deed Restrictions: (Check One)

- _____ A copy of all existing deed restrictions or subdivision covenants applicable to this property are attached.
- There are no added restrictions or subdivision covenants on this property.

Contact Person (s): (Type or Print Legibly)

Engineer/Surveyor: _____ Travis G. Burke, PE (Coleman Company, Inc.)

Address: _____ 17 Park of Commerce, Suite 201 _____ Zip Code: _____ 31405

Phone #: _____ 912-200-3041 _____ Fax #: _____ 912-200-3056

Owner: _____ Bald Eagle Partners _____

Address: _____ 3071 Slate Mills Road, Sperryville, VA _____ Zip Code: _____ 22740

Phone #: _____ 540-987-3164 _____ Fax #: _____

Date of Submittal: _____ 6/6/2018 _____


Attachment: Mulberry Tract PH I Subdivision Application JULY 2018 (1947 : Subdivision Application Mulberry Tract Phase I JULY 2018)

Please list all property owners that are adjacent to the parcel to be subdivided including those across the public right-of-way:

- _____ BEP Rice Hope, LLC (Bald Eagle Partners-Rice Hope Plantation, LLC)
- _____ Savannah Electric & Power Co. (Electric Easement)
- _____ City of Savannah (Water Main Easement)
- _____
- _____
- _____
- _____
- _____
- _____

Certifications

1. I hereby certify that this proposed subdivision/plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided.
2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding.
3. I hereby certify that I am the owner of the property being proposed for subdivision.
4. I hereby certify that all the information pertained in this application is true and correct.



 Signature of Owner

Comments: Place any pertinent comments you wish to make in the following space:

Submit this form along with the proposed subdivision and any accompanying information to:

CITY OF PORT WENTWORTH
305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GEORGIA 31407

Attachment: Mulberry Tract PH I Subdivision Application JULY 2018 (1947 : Subdivision Application Mulberry Tract Phase I JULY 2018)

Adjacent Property Owners for Mulberry Phase 1 @ Rice Hope Plantation

- Portion of Tract A-2 Rice Hope Plantation
N/F: BEP RICE HOPE, LLC (Bald Eagle Partners-Rice Hope Plantation, LLC)
PIN: 7-0906-04-063
- Portion of Tract A-2 Rice Hope Plantation
N/F: RICE HOPE PLANTATION COMMUNITY
PIN: 7-0906-04-091
- Portion of Tract A-2 Rice Hope Plantation
N/F: ARDMORE PARTNERS, LLC
PIN: 7-0906-04-092

BEP RICE HOPE, LLC
124 Birch Circle
Port Wentworth, GA 31407

BANK OF AMERICA, NA
22 Bull Street
Savannah, GA 31405
64-005610

1289

6/7/2018

PAY TO THE ORDER OF City of Port Wentworth

\$ **1,966.00

One Thousand Nine Hundred Sixty-Six and 00/100*****

DOLLARS

City of Port Wentworth

MEMO CopPW Subdivision Application Form

Aude Smith

Intuit® CheckLock™ Secure Check Details on Back

BEP RICE HOPE, LLC

City of Port Wentworth

Date 6/7/2018 Type Bill Reference

Original Amt. 1,966.00

Balance Due 1,966.00

6/7/2018

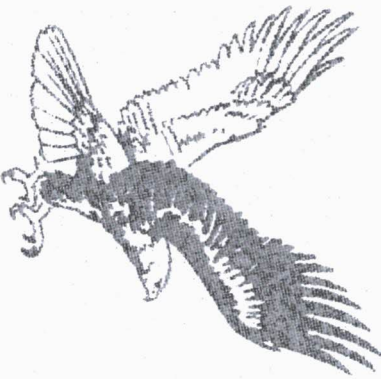
Discount

Payment 1,966.00

1289

Check Amount

1,966.00



City of Port Wentworth

RECEIVED
JUN 07 2018

Cash - Bank of Ameri CopPW Subdivision Application Form

1,966.00

Revised June 2015

[Empty box]

For Official Use Only

NOTICE OF INTENT

VERSION June 2015

State of Georgia
Department of Natural Resources
Environmental Protection Division

For Coverage Under the 2013 Re-Issuance of the NPDES General Permits
To Discharge Storm Water Associated With Construction Activity

THESE PERMITS EXPIRE JULY 31, 2018

PRIMARY PERMITTEE

****Instructions for this form are included on Page 6.****

NOTICE OF INTENT (Check Only One):

- Initial Notification - (New Facility/Construction Site)
- Change of Information - (Existing Facility/Construction Site)

COVERAGE DESIRED (Select Only One):

- GAR 100001 Stand Alone
- GAR 100002 Infrastructure
- GAR 100003 Common Development

I. SITE/OWNER/OPERATOR INFORMATION

Project Construction Site Name: Mulberry Tract Phase 1

For **GAR100001 Stand Alone** or **GAR 100003 Common Development** Project, enter GPS Location of Construction Exit in dec de
To convert to Decimal Degrees, please see <http://www.fcc.gov/encyclopedia/degrees-minutes-seconds-tofrom-decimal-degr>

Latitude (Dec Deg) Longitude (Dec Deg)

For **GAR100002 Infrastructure** Project, enter GPS Locations of the Beginning and End of the Infrastructure Project in dec deg:

Latitude Longitude

Latitude Longitude

Construction Site Location (e.g., street address): Rice Hope Road, Port Wentworth, GA 31407

Attachment: Mulberry Tract PH I Subdivision Application JULY 2018 (1947 : Subdivision Application Mulberry Tract Phase I JULY 2018)

Revised June 2015

City (applicable if the site is located within the jurisdictional boundaries of the municipality): Port Wentworth

County or Counties: Chatham

Common Development Name (applicable only to General NPDES Permit No. GAR100003): _____

Owner's Name: Bald Eagle Partners Phone: 540-987-3164

Email Address: murraymarshall@comcast.net

Address: 3071 Slate Mills Road City: Sperryville State: VA Zip Code: 22740

Duly Authorized Representative(s) (optional): Travis Burke Phone: 912-200-3041

Email Address: tburke@cci-sav.com

Operator's Name (optional): _____ Phone: _____

Email Address: _____

Address : _____ City: _____ State: _____ Zip Code: _____

Facility/Construction Site Contact: Murray Marshall Phone: 540-987-3164

Email Address: murraymarshall@comcast.net

II. CONSTRUCTION SITE ACTIVITY INFORMATION AND FEE CALCULATIONS

Start Date: September 2018

Completion Date: September 2019

Is this construction activity regulated by a certified Local Issuing Authority? Yes No

If Yes, Name of Local Issuing Authority:

NOTE: Instructions for fee calculations have been provided on Pages 6 - 7

					TOTAL FEE	
<input checked="" type="radio"/> Acres Disturbed (to the nearest 1/10th acre) regulated by a certified Local Issuing Authority	Acres	<input type="text"/>	X	<input type="text"/>	Fee	<input type="text"/>
<input type="radio"/> Acres Disturbed (to the nearest 1/10th acre) in an area with no certified Local Issuing Authority	Acres	<input type="text" value="32"/>	X	<input type="text" value="80"/>	Fee	<input type="text" value="2560"/>
<input type="radio"/> Acres Disturbed (to the nearest 1/10th acre) By an entity or activity exempt from a certified Local Issuing Authority's regulation pursuant to statute	Acres	<input type="text" value="0"/>	X	<input type="text" value="80"/>	Fee	<input type="text"/>

PLEASE MAKE CHECKS PAYABLE TO: Department of Natural Resources - EPD

Do not mail cash.

NAME ON CHECK/MONEY ORDER

Do not include fees payable to the Local Issuing Authority.

CHECK/MONEY ORDER NUMBER

CHECK/MONEY ORDER AMOUNT

Revised June 2015

Number of Secondary Permittees (applicable only to General NPDES Permit No. GAR100003): 3

Does the Erosion, Sedimentation and Pollution Control Plan (Plan) provide for disturbing more than 50 acres at any one time for each individual permittee (i.e., primary, secondary or tertiary permittees), or more than 50 contiguous acres total at any one time ? (Check Only One):

YES Date of EPD Written Authorization

NO

NA - If construction activities are covered under the General NPDES Permit No. GAR100002 for Infrastructure construction projects.

Construction Activity Type:

- Commercial Industrial Municipal/Institutional Mixed Use Water Quality/Aquatic Habitat Restoration
 Linear Utility Residential Agricultural Buildings Other

III. RECEIVING WATER INFORMATION

A. Name of Initial Receiving Water(s): unnamed marshy wetland
 Trout Stream Water Supporting Warm Water Fisheries

B. Name of MS4 Owner/Operator (if applicable)
Name of Receiving Water(s): Savannah River
 Trout Stream Water Supporting Warm Water Fisheries

C. Sampling of Receiving Stream(s): NA Trout Stream Water Supporting Warm Water Fisheries
Delta 10 NTU Delta 25 NTU

D. Sampling of Outfall(s): NA Trout Stream Water Supporting Warm Water Fisheries

A summary chart (if applicable) delineating the following information for each outfall must be attached:

Number of Sampling Outfalls: 1 Construction Site Size (acres): 32

Appendix B NTU Value: 50 Surface Water Drainage Area (square miles): 4.99

E. Does the facility/construction site discharge storm water into an Impaired Stream Segment, or within one (1) linear mile upstream of and within the same watershed as, any portion of an Impaired Stream Segment identified as "not supporting" its designated use(s), as shown on Georgia's most current "305(b)/303(d) List Documents (Final)" listed for the criteria violated, "Bio F" (Impaired Fish Community) and/or "Bio M" (Impaired Macroinvertebrate Community), within Category 4a, 4b or 5, and the potential cause is either "NP" (nonpoint source) or "UR" (urban runoff)? (Check Only One): ** See http://epd.georgia.gov/georgia-305b303d-list-documents for EPD's Impaired Waters List.

Yes Name of Impaired Stream Segment(s):
 No

Attachment: Mulberry Tract PH I Subdivision Application JULY 2018 (1947 : Subdivision Application Mulberry Tract Phase I JULY 2018)

Revised June 2015

- F. Does the facility/construction site discharge storm water into an Impaired Stream Segment where a Total Maximum Daily Load (TMDL) Implementation Plan for "sediment" was finalized at least six (6) months prior to the submittal of the Initial NOI? (Check Only One): ** See <http://epd.georgia.gov/total-maximum-daily-loadings> for the list of waters with TMDL Implementation Plans.

Yes Name of Impaired Stream Segment(s):

No

IV. ATTACHMENTS (*Applicable Only to Initial Notifications for New Facilities/Construction Sites*)

Indicate if the items listed below are attached to this Notice of Intent:

- Location map identifying the receiving water(s), outfall(s) or combination thereof to be monitored. Include a written description and location map identifying the Impaired Stream Segment(s) when applicable.
- Erosion, Sedimentation and Pollution Control Plan (if the project is greater than 50 acres regardless of the existence of a certified Local Issuing Authority in the jurisdiction *OR* if the project is in a jurisdiction where there is no certified Local Issuing Authority regulating that project regardless of acreage). May be submitted via DVD/CD.
- Written authorization from the appropriate EPD District Office if the Plan disturbs more than 50 acres at any one time for each individual permittee (i.e., primary, secondary or tertiary permittees), or more than 50 contiguous acres total at any one time (applicable only to General NPDES Permits No. GAR100001 and No. GAR100003).

ATTACHMENTS (*Applicable Only to Change of Information Notifications for Existing Facilities/Construction Sites*)

Indicate if the items listed below are attached to this Notice of Intent:

- Copy of NOI previously submitted for coverage under the 2013 re-issuance of the NPDES General Permits to Discharge Storm Water Associated With Construction Activity.
- Copy of the amended Plan as per Part IV.A.4.c. of the Permit for projects where the construction activity as indicated on the Notice of Intent has changed.

V. CERTIFICATIONS (Owner or Operator or Both to Sign as Applicable)

A. By signing below, I certify that to the best of my knowledge and belief, that the Erosion, Sedimentation and Pollution Control Plan (Plan) was prepared by a design professional, as defined by this permit, that has completed the appropriate certification course approved by the Georgia Soil and Water Conservation Commission in accordance with the provisions of O.C.G.A. 12-7-19 and that I will adhere to the Plan and comply with all applicable requirements of this permit.

AND

B. By signing below, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that certified personnel properly gather and evaluate the information submitted. Based upon my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fines and imprisonment for knowing violations.

Owner's Printed Name: M. Scott DeCain

Title: Manager

Signature: 

Date: 6/6/2018

and/or

Operator's Printed Name: _____

Title: _____

Signature: _____

Date: _____

IMPORTANT!!!

This NOI is not Valid if:

1. Form is incomplete or fields are missing information.
2. Signatures by owner and/or operator are missing in Section V Certifications.
3. Signed copies are not received at EPD District Address. See Pages 9-10 for addresses.
4. Check/money order not received at EPD P.O. Box address listed below.

DO NOT MAIL CASH.

HOW TO SUBMIT THIS NOTIFICATION

1. Complete this form electronically and then print and sign. You cannot save data typed into this form and you cannot submit this form electronically. Please retain a copy of the completed and signed form for your records.
2. Mail the signed copy with the applicable attachments to the appropriate EPD District Office (mailing addresses listed on Pages 9 - 10). Do not send checks/money orders to the EPD District Offices.
3. If fees are required, print and sign a second copy of this completed form. **DO NOT MAIL CASH.** Make check/money order payable to: **Department of Natural Resources - EPD.**
4. Mail the check/money order with the second copy of the completed and signed form to:

**EPD - Construction Land Disturbance Fees
P.O. Box 932858
Atlanta, GA 31193-2858**

Revised June 2015

INSTRUCTIONS

NOTICE OF INTENT - PRIMARY PERMITTEE

For Coverage Under the 2013 Re-Issuance of the NPDES General Permits To Discharge Storm Water Associated With Construction Activity

THESE PERMITS EXPIRE JULY 31, 2018

Please print or type the Notice of Intent (NOI) form. Any NOI that contains illegible or incomplete information will not be accepted, will be returned and the construction site will not be granted Permit coverage. All information requested on the NOI must be submitted in order for the NOI to be valid. Any information requested on the NOI that is not applicable to the primary permittee or to the construction site must be marked "N/A." Please do not leave any sections blank in the NOI.

Who must file a Notice of Intent Form - The Owner and/or Operator of a facility/construction site that has a discharge of storm water where construction activities occur must apply for a National Pollutant Discharge Elimination System (NPDES) Permit. The Georgia Environmental Protection Division (EPD) re-issued the General NPDES Permits for Storm Water Discharges Associated with Construction Activity on September 24, 2013. The Permits are available for review at the EPD District Offices and on the EPD website at epd.georgia.gov. It is highly recommended that the permittees read and understand the terms and conditions of the Permits prior to submitting a NOI. Please contact the appropriate EPD District Office listed on the following pages for assistance in completing the NOI.

Where to file a Notice of Intent Form - The NOI and the attachments, as applicable, must be submitted to the appropriate EPD District Office as listed on the following pages. Please submit only the first five pages of this document with the applicable attachments.

Section I - Site/Owner/Operator Information

The construction site name and location information (i.e., GPS location of construction exit, street address, city, county) must be sufficient to accurately locate the construction site. If the construction site does not have a street address, please provide sufficient information to accurately locate the construction site. If additional space is needed, attach the location information to the NOI.

A duly authorized representative may be either a named individual or any individual occupying a named position that the primary permittee has authorized to sign certification statements, inspection reports, sampling reports or other reports requested by EPD.

The facility/construction site contact is the person who the primary permittee has assigned the responsibility for the daily on-site operational control.

Please do not leave any blanks in this section. Any information requested on the NOI that is not applicable to the primary permittee or to the construction site must be mark "N/A."

Section II – Construction Site Activity Information and Fee Calculations

The Primary Permittee is solely responsible for the payment of fees for all **planned** land disturbing activities, including all land disturbing activities within a common development planned by the Secondary Permittees and/or Tertiary Permittees. Estimated disturbed acreage is the total number of acres, to nearest tenth (1/10th) acre. Only the Primary Permittee is responsible for paying the NPDES General Permit fees.

If the Primary Permittee has already paid the applicable fees, the Primary Permittee does not pay any additional NPDES General Permit fees, unless the scope of work covered under the NPDES General Permit so paid for is increased.

For land disturbing activities submitting an *Initial* Notice of Intent in an area with no certified Local Issuing Authority **OR** for land disturbing activities not regulated by a certified Local Issuing Authority, the Primary Permittee shall pay a fee of **\$80 per acres disturbed** to EPD (to the nearest tenth (1/10th) acre).

Land disturbing activities not regulated by a certified Local Issuing Authority include, but are not limited to:

- Construction of public water system reservoirs.
- Land disturbing activities conducted by any electric membership corporation or municipal electrical system or any public under the regulatory jurisdiction of the Public Service Commission, any utility under the regulatory jurisdiction of the Federal Energy Regulatory Commission, any cable television system as defined in O.C.G.A. §36-18-1, or any agency or instrumentality of the United States engaged in the generation, transmission or distribution power, except when the project is located within a common development as described in the NPDES General Permits.
- Construction of agricultural buildings (e.g., barns, poultry houses).
- Construction or maintenance projects undertaken or financed by the Department of Transportation, the Georgia Highway Authority, the State Road and Tollway Authority, or any county or municipality, except when the Department of Transportation, the Georgia Highway Authority or the State Road and Tollway Authority is a Secondary Permittee within a common development.
- Projects carried out under the technical supervision of the Natural Resources Conservation Service of the United States Department of Agricultural.

For land disturbing activities submitting an *Initial* Notice of Intent regulated by a certified Local Issuing Authority, the Primary Permittee shall pay a fee of **\$40 per acres disturbed** to EPD AND a fee of **\$40 per acres disturbed** to the Local Issuing Authority (to the nearest tenth (1/10th) acre). Payments to the Local Issuing Authority should be made in the manner specified by the Local Issuing Authority and should not be submitted to EPD. The NPDES General Permit fees are **in addition** to any local land disturbing activity fees that are required by the Local Issuing Authority.

Please do not leave any blanks in this section. Any information requested on the NOI that is not applicable to the primary permittee or to the construction site must be mark "N/A."

Make checks/money orders payable to: Department of Natural Resources - EPD

Section III - Receiving Water Information

"Trout Streams" are waters of the State classified as either primary trout waters or secondary trout waters, as designated in the Rules and Regulations for Water Quality Control, Chapter 391-3-6 at epd.georgia.gov. "Waters Supporting Warm Water Fisheries" are all waters of the State that sustain, or have the potential to sustain, aquatic life but exclude "Trout Streams."

If the facility/construction site discharges storm water directly or indirectly to the receiving water(s), and not through a municipal separate storm sewer system (MS4), enter the name of the receiving water(s) and indicate whether the water(s) is a trout stream or a warm water fisheries stream. Attach a written description and location map identifying the receiving water(s).

If the facility/construction site discharges storm water to a municipal separate storm sewer system (MS4), enter the name of the owner/operator of the MS4 (e.g., city name or county name) and the name of the receiving water(s) at the point of discharge from the MS4. A MS4 is defined as a conveyance or system of conveyances (including roads with drainage systems, municipal streets, catch basins, curbs, gutters, ditches, man-made channels or storm drains) that is owned and/or operated by a city or county which is designed or used for collecting or conveying storm water. It may be necessary to contact the city or county that owns and/or operates the MS4 to determine the name of the receiving water(s). Indicate whether the receiving water(s) is a trout stream or a warm water fisheries stream. Attach a written description and location map identifying the receiving water(s).

Any permittee who intends to obtain coverage under the Permits for storm water discharges associated with construction activity into an Impaired Stream Segment, or within one (1) linear mile upstream of and within the same watershed as, any portion of an Impaired Stream Segment identified as "not supporting" its designated use(s), as shown on Georgia's most current "305(b)/303(d) List Documents (Final)" at the time of NOI submittal, must satisfy the requirements of Part III.C. of the Permits if the Impaired Stream Segment has been listed for criteria violated, "Bio F" (Impaired Fish Community) and/or "Bio M" (Impaired Macroinvertebrate Community), within Category 4a, 4b or 5, and the potential cause is either "NP" (nonpoint source) or "UR" (urban runoff). Those discharges that are located within one (1) linear mile of an Impaired Stream Segment, but are not located within the watershed of any portion of that stream segment, are excluded from this requirement. Georgia's 2012 and subsequent "305(b)/303(d) List Documents (Final)" can be viewed on the EPD website at <https://epd.georgia.gov/georgia-305b303d-list-documents>. Attach a written description and location map identifying the Impaired Stream Segment(s).

Revised June 2015

If a Total Maximum Daily Load (TMDL) Implementation Plan for sediment has been finalized at least six (6) months prior to the submittal of the Initial NOI, the Erosion, Sedimentation and Pollution Control Plan (Plan) must address any site-specific conditions and requirements included in the TMDL Implementation Plan that are applicable to the permittee's discharge(s) to the Impaired Stream Segment within the timeframe specified in the TMDL Implementation Plan. If the TMDL Implementation Plan establishes a specific wasteload allocation that applies to the permittee's discharge(s) to the Impaired Stream Segment, then the permittee must incorporate that allocation into the Erosion, Sedimentation and Pollution Control Plan and implement all necessary measures to meet that allocation. TMDL Implementation Plans can be viewed on the EPD website at epd.georgia.gov.

Please do not leave any blanks in this section. Any information requested on the NOI that is not applicable to the primary permittee's construction site must be marked "N/A."

Section V – Certifications

The owner and/or operator (or both) must sign the Notice of Intent certification statements on the lines provided. Federal and State regulations provide specific requirements as to who is authorized to sign the Notice of Intent forms. A Notice of Intent form signed by an unauthorized person will not be valid. Please be aware that Federal and State statutes provide for severe penalties for submitting false information on a Notice of Intent form. Federal and State regulations require that the Notice of Intent form be signed as follows:

- For a corporation, by a responsible corporate officer;
- For a partnership or sole proprietorship, by a general partner or the proprietor; and
- For a municipality, State, Federal or other public facility, by either a principal executive officer or ranking elected official.

Attachment: Mulberry Tract PH I Subdivision Application JULY 2018 (1947 : Subdivision Application Mulberry Tract Phase I JULY 2018)

Revised June 2015

GEORGIA EPD DISTRICT OFFICES

All required correspondence, including but not limited to Notices of Intent, Notices of Termination, Erosion, Sedimentation and Pollution Control Plans, sampling reports and any other reports shall be sent to the following EPD District Offices:

A. For facilities/construction sites located in the following counties: Bibb, Bleckley, Chattahoochee, Crawford, Dooly, Harris, Houston, Jones, Lamar, Macon, Marion, Meriwether, Monroe, Muscogee, Peach, Pike, Pulaski, Schley, Talbot, Taylor, Troup, Twiggs, Upson

Information shall be submitted to: West Central District Office
Georgia Environmental Protection Division
2640 Shurling Drive
Macon, GA 31211-3576
(478) 751-6612

B. For facilities/construction sites located in the following counties: Burke, Columbia, Emanuel, Glascock, Jefferson, Jenkins, Johnson, Laurens, McDuffie, Montgomery, Richmond, Screven, Treutlen, Warren, Washington, Wheeler, Wilkinson

Information shall be submitted to: East Central District Office
Georgia Environmental Protection Division
3525 Walton Way Extension
Augusta, GA 30909-1821
(706) 667-4343

C. For facilities/construction sites located in the following counties: Baldwin, Banks, Barrow, Butts, Clarke, Elbert, Franklin, Greene, Hall, Hancock, Hart, Jackson, Jasper, Lincoln, Madison, Morgan, Newton, Oconee, Oglethorpe, Putnam, Stephens, Taliaferro, Walton, Wilkes

Information shall be submitted to: Northeast District Office
Georgia Environmental Protection Division
745 Gaines School Road
Athens, GA 30605-3129
(706) 369-6376

D. For facilities/construction sites located in the following counties: Carroll, Clayton, Coweta, DeKalb, Douglas, Fayette, Fulton, Gwinnett, Heard, Henry, Rockdale, Spalding

Information shall be submitted to: Mountain District - Atlanta Satellite
Georgia Environmental Protection Division
4244 International Parkway, Suite 114
Atlanta, GA 30354-3906
(404) 362-2671

E. For facilities/construction sites located in the following counties: Bartow, Catoosa, Chattooga, Cherokee, Cobb, Dade, Dawson, Fannin, Floyd, Forsyth, Gilmer, Gordon, Habersham, Haralson, Lumpkin, Murray, Paulding, Pickens, Polk, Rabun, Towns, Union, Walker, White, Whitfield

Information shall be submitted to: Mountain District - Cartersville Office
Georgia Environmental Protection Division
P.O. Box 3250
Cartersville, GA 30120-1705
(770) 387-4900

Attachment: Mulberry Tract PH I Subdivision Application JULY 2018 (1947 : Subdivision Application Mulberry Tract Phase I JULY 2018)

Revised June 2015

F. For facilities/construction sites located in the following counties: Appling, Atkinson, Bacon, Brantley, Bryan, Bulloch, Camden, Candler, Charlton, Chatham, Clinch, Coffee, Effingham, Evans, Glynn, Jeff Davis, Liberty, Long, McIntosh, Pierce, Tattnall, Toombs, Ware, Wayne

Information shall be submitted to: Coastal District - Brunswick Office
Georgia Environmental Protection Division
400 Commerce Center Drive
Brunswick, GA 31523-8251
(912) 264-7284

G. For facilities/construction sites located in the following counties: Baker, Ben Hill, Berrien, Brooks, Calhoun, Clay, Colquitt, Cook, Crisp, Decatur, Dodge, Dougherty, Early, Echols, Grady, Irwin, Lanier, Lee, Lowndes, Miller, Mitchell, Quitman, Randolph, Seminole, Stewart, Sumter, Telfair, Terrell, Thomas, Tift, Turner, Webster, Wilcox, Worth

Information shall be submitted to: Southwest District Office
Georgia Environmental Protection Division
2024 Newton Road
Albany, GA 31701-3576
(229) 430-4144

Attachment: Mulberry Tract PH I Subdivision Application JULY 2018 (1947 : Subdivision Application Mulberry Tract Phase I JULY 2018)

124 Birch Circle
Port Wentworth, GA 31407

Savannah, GA 31405
64-005/610

6/7/2018

PAY TO THE ORDER OF Department Natural Resources - EPD

\$**2,560.00

Two Thousand Five Hundred Sixty and 00/100*****

DOLLARS

Department Natural Resources - EPD

MEMO DNR - EPD (NOI) Notice of Intent

Carol Smith

© 2011 INTUIT INC. # 225 1-800-433-8810

Intuit® CheckLock™ Secure Check Details on Back

BEP RICE HOPE, LLC

Department Natural Resources - EPD

1292

Date 6/7/2018 Type Bill Reference

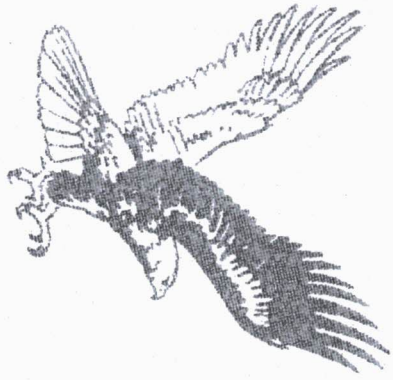
Original Amt. 2,560.00

Balance Due 2,560.00

6/7/2018 Discount

Payment 2,560.00

Check Amount 2,560.00



RECEIVED

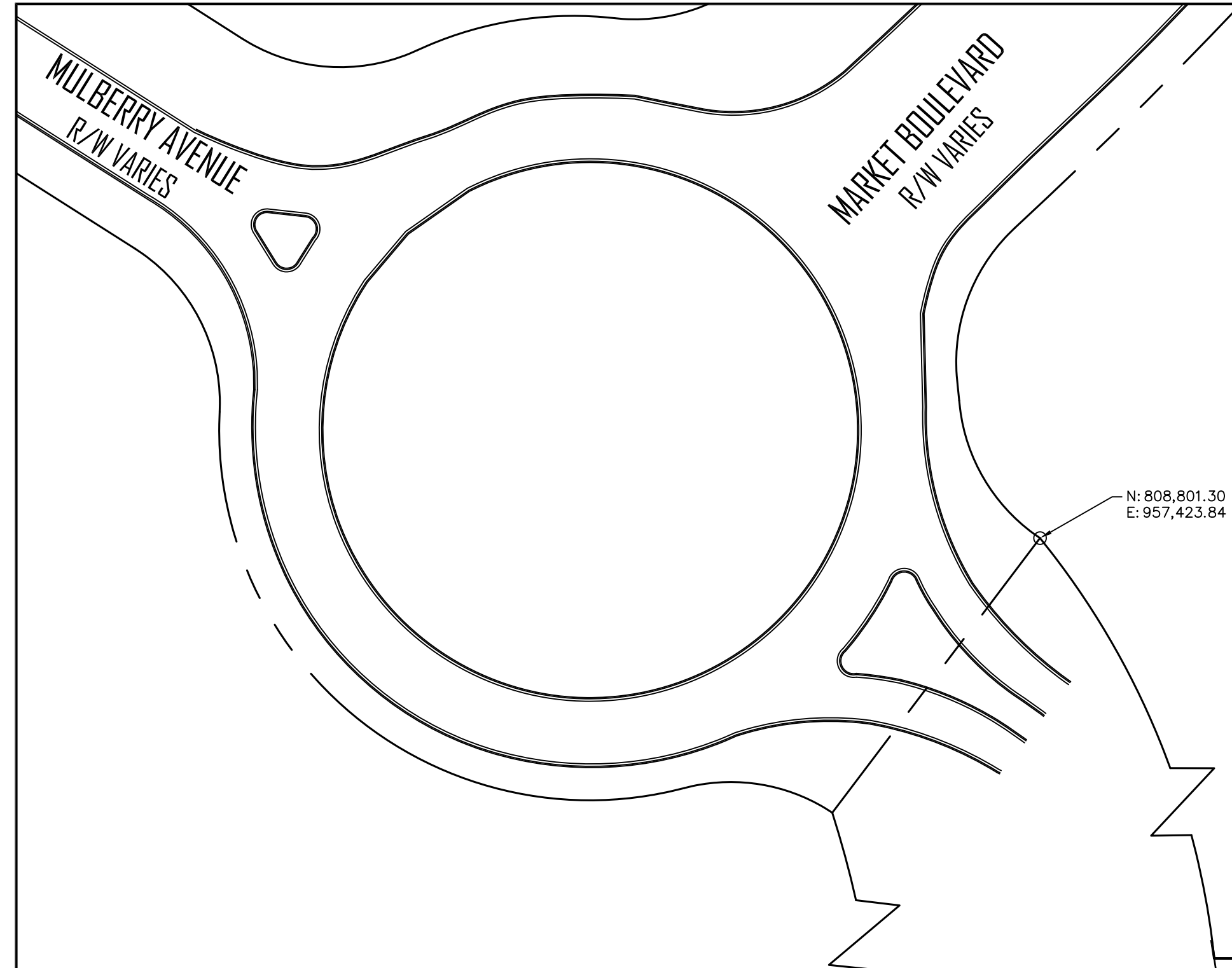
JUN 07 2018

2,560.00

Cash - Bank of Ameri DNR - EPD (NOI) Notice of Intent

City of Port Wentworth

Attachment: Mulberry Tract PH I Subdivision Application JULY 2018 (1947 : Subdivision Application Mulberry Tract Phase I JULY 2018)



- NOTES:**
1. THIS SUBDIVISION CONTAINS 30 LOTS.
 2. TOTAL AREA: 6.281 AC, 273,901 SF
 3. LOTS ARE TO BE SERVED BY CITY OF PORT WENTWORTH WATER AND SANITARY SEWER SYSTEMS.
 4. PROPERTY ADDRESS: RICE HOPE ROAD
 5. PARENT PARCEL IDENTIFICATION NUMBER: 7-0906-04-062.
 6. THIS PROPERTY IS CURRENTLY ZONED R-4.
 7. THE HORIZONTAL DATUM OF THIS PLAT IS BASED ON GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, NAD 83.
 8. BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBERS 13051C0030F & 13051C0035F, EFFECTIVE DATE: SEPTEMBER 26, 2008.
 9. ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ZONING ORDINANCES.
 10. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 11. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREA WITHOUT PROPER PERMIT APPLICATION & APPROVAL.
 12. WETLAND LOCATIONS ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED BY COLEMAN COMPANY, INC. ALL WETLANDS ARE SUBJECT TO CORPS OF ENGINEERS PERMIT NUMBER SAS-2003-07880 DATED OCTOBER 08, 2014 AND EXTENDED FROM SEPTEMBER 30, 2014, TO SEPTEMBER 30, 2019.
 13. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY PERMITS, THE BUILDING PERMIT APPLICANTS FOR ALL LOTS SHALL BE REQUIRED TO INSTALL A SIDEWALK ALONG THEIR RESPECTIVE LOTS ON ALL STREETS IN ACCORDANCE WITH THE CITY OF PORT WENTWORTH SUBDIVISION REGULATIONS AND APPROVED CONSTRUCTION PLANS.
 14. ALL STREETS, RIGHTS-OF-WAY, EASEMENTS, AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USE INTENDED.

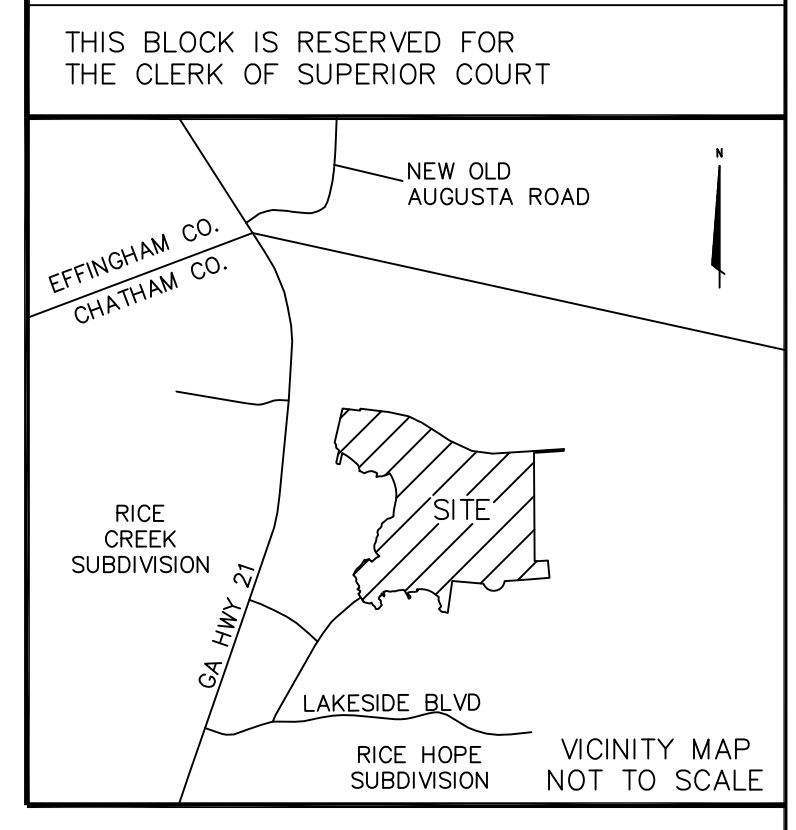
CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	21.89'	29.99'	41°49'08"	11.46'	N28°59'42"E	21.41'
C2	28.04'	30.00'	53°33'16"	15.14'	S18°41'23"E	27.03'
C3	10.65'	71.00'	8°35'46"	5.34'	S41°10'08"E	10.64'
C4	28.04'	30.00'	53°33'16"	15.14'	S63°38'53"E	27.03'
C5	27.27'	34.00'	45°57'14"	14.42'	N22°51'26"W	26.54'
C6	133.18'	71.00'	107°28'34"	96.79'	N7°54'14"E	114.50'
C7	6.15'	29.93'	11°46'13"	3.09'	N55°45'50"E	6.14'
C8	99.56'	70.00'	81°29'14"	60.30'	N48°49'52"E	91.37'
C9	23.08'	130.00'	10°10'24"	11.57'	S13°10'27"W	23.05'
C10	37.03'	130.00'	16°19'11"	18.64'	S26°25'15"W	36.90'
C11	124.78'	130.00'	54°59'39"	67.67'	S62°04'40"W	120.04'
C12	184.89'	130.00'	81°29'14"	111.99'	S48°49'52"W	169.70'
C13	28.04'	30.00'	53°33'16"	15.14'	S62°47'52"W	27.03'
C14	12.46'	71.00'	10°03'11"	6.24'	S41°02'49"W	12.44'
C15	27.27'	34.00'	45°57'13"	14.42'	S23°05'48"W	26.54'

LOT TABLE				
LOT #	ACRE	SF	ADDRESS	FFE
1	0.141	6,161		21.3'
2	0.126	5,489		21.1'
3	0.131	5,720		21.2'
4	0.131	5,720		21.4'
5	0.131	5,720		21.7'
6	0.131	5,720		21.9'
7	0.131	5,720		21.9'
8	0.131	5,720		21.7'
9	0.131	5,720		21.4'
10	0.111	4,840		21.1'
11	0.111	4,840		21.1'
12	0.131	5,720		21.4'
13	0.131	5,720		21.6'
14	0.131	5,720		21.6'
15	0.131	5,720		21.5'
16	0.131	5,720		21.2'
53	0.143	6,240		21.5'
54	0.143	6,240		21.7'
55	0.143	6,240		21.7'
56	0.143	6,240		21.5'
57	0.121	5,280		21.2'
58	0.143	6,240		21.2'
59	0.143	6,240		21.5'
60	0.143	6,240		21.7'
61	0.143	6,240		22.0'
62	0.143	6,240		22.0'
63	0.143	6,240		21.7'
64	0.143	6,240		21.5'
65	0.121	5,280		21.2'
66	0.234	10,186		21.1'

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	1.80'	N8°05'15"E
L2	60.00'	S81°19'59"E
L3	1.20'	S8°05'15"W
L4	54.90'	N0°07'12"E
L5	54.16'	S0°07'12"W
L6	70.38'	S21°22'11"W

LOT TOTAL	
4.110	179,356
OPEN SPACE 1	0.051 2,200
OPEN SPACE 2	0.051 2,200
OPEN SPACE 3	0.055 2,400
OPEN SPACE 4	0.055 2,400
OPEN SPACE TOTAL	0.212 9,200
RIGHT-OF-WAY	1.959 85,345
TOTAL AREA	6.281 273,901

MULBERRY SUBDIVISION PHASE 1



- LEGEND**
- BENCH MARK
 - 1" IRON PIPE FOUND WITH CAP (T&H)
 - 1" IRON PIPE SET
 - CONCRETE MONUMENT SET
 - ▨ WETLANDS PERMITTED FOR FILL

MINIMUM BUILDING SETBACKS
 FRONT SETBACK: 25'
 REAR SETBACK: 5'
 SIDE SETBACK: 20'

SURVEY DATE: 5/30/2018
 EQUIPMENT USED: ELECTRONIC TOTAL STATION
 ANGULAR ERROR PER "Δ" = 03"
 ADJUSTED BY LEAST SQUARES
 PLAT ERROR OF CLOSURE: 1/420,678
 FIELD ERROR OF CLOSURE: 1/137,870

- REFERENCE:**
1. SUBDIVISION MAP BOOK 195, PAGE 17.
 2. SUBDIVISION MAP BOOK 205, PAGE 33.
 3. SUBDIVISION MAP BOOK 275, PAGE 5.
 4. SUBDIVISION MAP BOOK 275, PAGE 11.
 5. SUBDIVISION MAP BOOK 405, PAGE 58.
 6. SUBDIVISION MAP BOOK 405, PAGE 59.
 7. SUBDIVISION MAP BOOK 42P, PAGE 61.
 8. PLAT RECORD BOOK 4P, PAGE 3.
 9. PLAT RECORD BOOK 6P, PAGE 23.
 10. PLAT RECORD BOOK 14P, PAGE 39.
 11. PLAT RECORD BOOK 14P, PAGE 178.
 12. PLAT RECORD BOOK 15P, PAGE 76.
 13. PLAT RECORD BOOK 28P, PAGE 55.
 14. PLAT RECORD BOOK 29P, PAGES 24A-L.
 15. PLAT RECORD BOOK 13, PAGE 270.
 16. DEED BOOK 794, PAGE 561.
 17. PLAT BOOK 51, PAGE 213.

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:

APPROVED BY MAYOR AND COUNCIL, PORT WENTWORTH

MAYOR _____ DATE _____

COUNCILMAN _____ COUNCILMAN _____

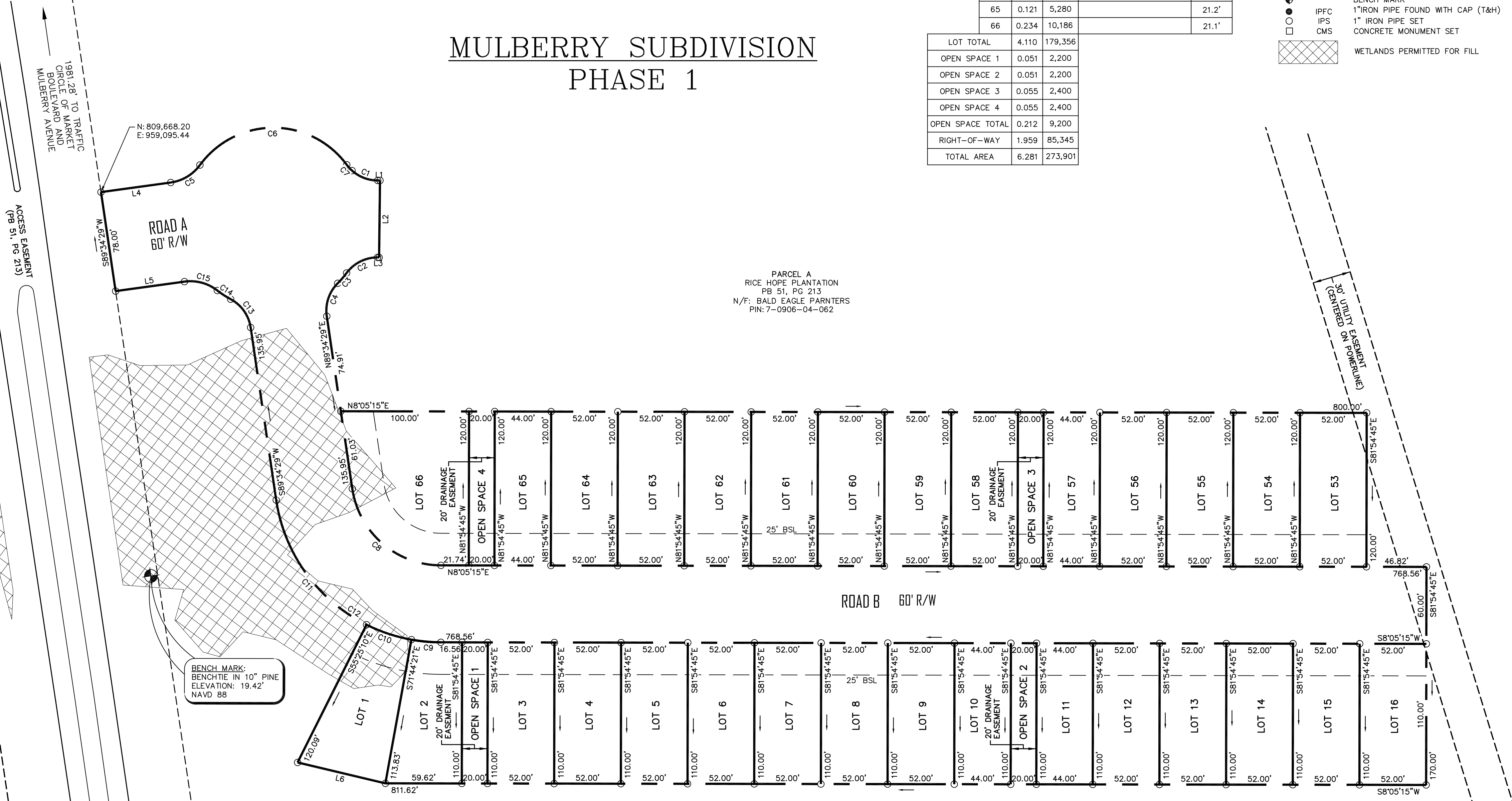
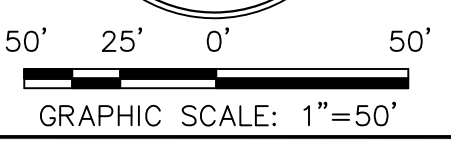
COUNCILMAN _____ COUNCILMAN _____

COUNCILMAN _____ COUNCILMAN _____

APPROVED BY THE CHATHAM COUNTY DEPARTMENT OF PUBLIC HEALTH, DIVISION OF ENVIRONMENTAL HEALTH

DIRECTOR _____ DATE _____

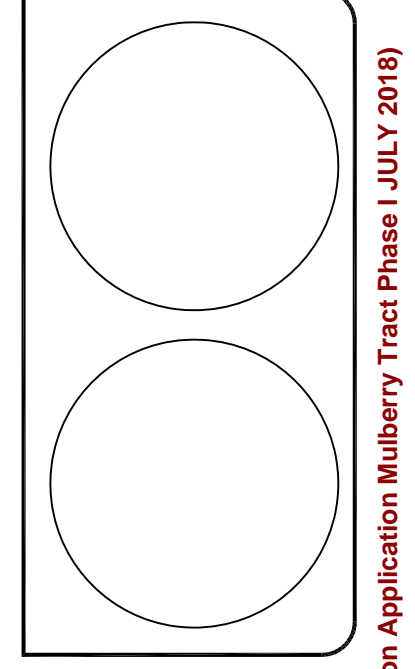
AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



PARCEL A
 RICE HOPE PLANTATION
 PB 51, PG 213
 N/F: BALD EAGLE PARTNERS
 PIN: 7-0906-04-062

PARCEL A
 RICE HOPE PLANTATION
 PB 51, PG 213
 N/F: BALD EAGLE PARTNERS
 PIN: 7-0906-04-062

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (404) 912.200.3041 (F) 912.200.3056



REVISION

NO.	DATE	DESCRIPTION

A MAJOR SUBDIVISION OF PARCEL A, BEING A MINOR SUBDIVISION OF A PORTION OF TRACT A-2 AND LOT 12, BEING A PORTION OF THE JULIAN R. CHISHOLM TRACT AND BEING A PORTION OF RICE HOPE PLANTATION, 8TH G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

MAJOR SUBDIVISION

DATE: 6/8/2018
 SCALE: 1"=50'
 JOB #: 17-100
 DRAWN BY: JPA
 CHECKED BY:

SHEET 1/1



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 07/09/18 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 1946)

DOC ID: 1946

Site Plan Review Application submitted by Bald Eagle Partners for PIN #: 7-0906-04-062 (Rice Hope Road) for a Specific Development Plan to allow a Single Family Residential Development in a MPO (Master Plan Overlay) Zoning District

Issue/Item: Site Plan Review Application submitted by Bald Eagle Partners for PIN #: 7-0906-04-062 (Rice Hope Road) for a Specific Development Plan to allow a Single Family Residential Development in a MPO (Master Plan Overlay) Zoning District

Background: The subject property is in the Rice Hope Subdivision. The development will connect to City water and sewer utilities.

Facts and Findings: The owner intends to create 30 new single family home lots. A new road will be built off of Mulberry Ave. The application is currently under review by the City's engineers, Goodwyn, Mills, & Cawood.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, July 9, 2018 at 6:30 P.M.

ATTACHMENTS:

- Mulberry Tract PH I Site Plan Application JULY 2018 (PDF)
- Mulberry Tract PH I Site Plan JULY 2018(PDF)
- PW Mulberry Tract PH I Submittal 1 (PDF)
- PW Mulberry Tract PH I Submittal 2 (PDF)

City of Port Wentworth
Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Name of Site Plan: Mulberry Tract Phase I

Site Plan Address: Rice Hope Road

PIN #: 7-0906-04-062 Zoning: M-P-O

Type of Construction: Site Development (roadways, sidewalks, utilities, lot grading, storm drainage)

Estimated Cost of Construction: \$

Applicant's Name: Bald Eagle Partners

Address: 3071 Slate Mills Road, Sperryville, VA 22740

Phone #: 540-987-3164 Fax #:

Owner's Name (If Different from Applicant): same

Address:

Phone #: Fax #:

I hereby acknowledge that the above information is true and correct.

 6/6/2018
Applicant's Signature Date

Owner's Signature (If Different from Applicant) Date

- Please submit the following with completed application:**
- 1. Name, address & PIN # for all adjacent property owners.**
 - 2. Fifteen (15) copies in 11"x17" or larger of your site plan & one 8.5"x11".**

Attachment: Mulberry Tract PH I Site Plan Application JULY 2018 (1946 : Site Plan Review Application Mulberry Tract Phase I JULY 2018)

Adjacent Property Owners for Mulberry Phase 1 @ Rice Hope Plantation

- Portion of Tract A-2 Rice Hope Plantation
N/F: BEP RICE HOPE, LLC (Bald Eagle Partners-Rice Hope Plantation, LLC)
PIN: 7-0906-04-063
- Portion of Tract A-2 Rice Hope Plantation
N/F: RICE HOPE PLANTATION COMMUNITY
PIN: 7-0906-04-091
- Portion of Tract A-2 Rice Hope Plantation
N/F: ARDMORE PARTNERS, LLC
PIN: 7-0906-04-092

CASH ONLY IF ALL CheckLock™ SECURITY FEATURES LISTED ON BACK INDICATE NO TAMPERING OR COPYING

BEP RICE HOPE, LLC
124 Birch Circle
Port Wentworth, GA 31407

BANK OF AMERICA, NA
22 Bull Street
Savannah, GA 31405
64-005/610

6/7/2018

1288

PAY TO THE ORDER OF City of Port Wentworth

\$ **886.00

DOLLARS

City of Port Wentworth

Eight Hundred Eighty-Six and 00/100*****

MEMO CopPW Site Plan Application

Audie Smith

BEP RICE HOPE, LLC

1288

City of Port Wentworth
Date 6/7/2018
Type Bill
Reference

Original Amt. 886.00

Balance Due 886.00

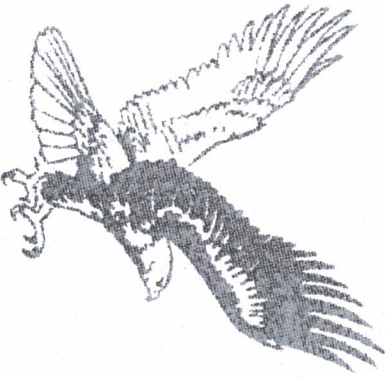
Check Amount

Payment 886.00

6/7/2018

Discount

886.00



City of Port Wentworth

RECEIVED
JUN 07 2018

Cash - Bank of Ameri CopPW Site Plan Application

886.00

Intuit® CheckLock™ Secure Check



Details on Back

WATER - SEWER NOTES:

- FOR ALL WATER, SANITARY SEWER LINES AND STORM DRAINAGE INSTALLATION, CONTACT UTILITIES PROTECTION CENTER A MINIMUM OF SEVENTY - TWO (72) HOURS PRIOR TO DIGGING CALL. ONE CALL LOCATE LINE 811.
- IN ADDITION TO THE SEDIMENTATION AND EROSION CONTROL MEASURES AS INDICATED ON THE PLANS THE CONTRACTOR SHALL TAKE WHATEVER ACTIONS AS ARE NECESSARY TO ENSURE THAT ALL SEDIMENTATION IS CONFINED TO THE SITE AND THAT NO OFFSITE EROSION IS CAUSED BY THE WORK EITHER DIRECTLY OR INDIRECTLY.
- HIGHLY CHLORINATED WATER USED IN THE DISINFECTION PROCESS SHALL BE DILUTED AND DISCHARGED INTO THE SANITARY SEWER SYSTEM.
- PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND OTHER FOREIGN MATTER AT ALL TIMES.
- ANY DEFECTIVE, DAMAGED OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND IT SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY APPROVED MEANS AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
- CLEAN THE INTERIORS OF ALL PIPE BY BRUSHING, SWABING OR WASHING OUT ALL DIRT BEFORE LAYING.
- FLUSH THE NEW PIPE LINES UNTIL WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE DONE AFTER THE PRESSURE TEST AND BEFORE DISINFECTION. A MINIMUM FLUSH TIME OF TWO MINUTES AND UNTIL THE WATER LINE RUNS CLEAR WITH A MINIMUM VELOCITY OF 2.5 FEET PER SECOND IN ORDER TO PURGE THE LINE OF ANY FOREIGN MATERIALS.
- DURING INSTALLATION, WHEN PIPE LAYING IS NOT IN PROGRESS, A MECHANICAL JOINT PLUG OR CAP, APPROVED EQUAL, WILL BE USED TO FORM A WATER TIGHT SEAL AT BOTH ENDS OF THE LINE BEING LAID.
- MAINTAIN A MINIMUM OF EIGHTEEN (18") INCH VERTICAL SEPARATION DISTANCE AND A MINIMUM TEN (10') FEET HORIZONTAL SEPARATION DISTANCE BETWEEN ALL WATER MAINS/LATERALS AND ALL STORM DRAIN LINES AND SANITARY SEWER MAINS/LATERALS.
- ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CITY OF PT. WENTWORTH WATER OPERATION DEPARTMENT.
- ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE DONE BY THE CORE DRILL METHOD.
- THE WATER SERVICE LATERAL SERVING THE FACILITY SHALL BE INSTALLED BY THE DEVELOPER/CONTRACTOR FROM THE WATER MAIN TO THE METERS.
- THE CONTRACTOR IS RESPONSIBLE TO BRING PROPOSED MANHOLE TOPS TO GRADE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL CERTIFICATIONS OF BACKFLOW DEVICES TO THE ENGINEER.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE CITY OF PT. WENTWORTH'S LATEST CONSTRUCTION SPECIFICATION AND DETAILS (DATED JANUARY 2011, REVISED JUNE 2012) AND THEY WILL PREVAIL IN THE EVENT OF CONFLICT WITH ANY SPECIFICATIONS SHOWN BY THE ENGINEER.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- CONTRACTOR TO VERIFY ALL INVERT ELEVATIONS OF SANITARY SEWER LATERALS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH INVERT DATA TO INSURE THERE ARE NO CONFLICTS.
- SEE ARCHITECTURAL PLUMBING PLAN FOR EXACT LOCATION & LINE SIZES.
- THE INDIVIDUAL REQUESTING WATER SERVICES SHALL BE RESPONSIBLE FOR EXCAVATION, COST OF WET TAPS, SERVICE LINE INSTALLATION AND BACKFILLING THE WATER MAIN FROM WHICH THE SERVICE IS REQUIRED.
- ALL TAPPING SLEEVES SHALL BE DUCTILE IRON, M.J. AND PRESSURE TESTED AT 150 PSI FOR A MINIMUM OF ONE HOUR WITH A PRESSURE LOSS NO GREATER THAN 1 PSI.
- THE CITY OF PT. WENTWORTH'S WATER DEPARTMENT SHALL INSPECT THE PRESSURE TEST, IF THE CITY DOES NOT INSPECT THE PRESSURE TEST, THE CITY WILL NOT ACCEPT ANY RESPONSIBILITY OF MAINTENANCE FOR THE TAPPING VALVE OR SLEEVE.
- THE TAPPING GATE VALVE SHALL BE RESILIENT SEAT, EPOXY COATED, M.J. BY FLANGE, DOMESTIC MADE.
- ALL MATERIAL USED AND WHICH COMES IN CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY OR PUBLIC HEALTH. MATERIALS MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61).
- A SAW CUT "S" SHALL BE CUT IN THE TOP OF THE CURB DIRECTLY OVER THE SANITARY SEWER LATERAL(S) LOCATION. TRACING WIRE SHALL BE ADHERED TO THE LATERAL FROM THE MAIN AND UP TO THE CLEAN OUT.
- A SAW CUT "W" SHALL BE CUT IN THE TOP OF CURB DIRECTLY OVER THE WATER LATERAL(S) LOCATION. TRACING WIRE SHALL BE #12 GAUGE INSULATED SINGLE STRAND COPPER WIRE, AND SHALL BE INSTALLED FROM THE MAIN TO THE METER AND SHALL PROVIDE CONTINUOUS ELECTRICAL CONDUCTIVITY.
- ALL SEWER CLEANOUTS LOCATED IN PAVEMENT OR CONCRETE SHALL BE FLUSH AND INSTALLED IN A TRAFFIC-RATED ENCLOSURE.
- ALL SANITARY SEWER MANHOLES LOCATED WITHIN PAVED AREAS SHALL BE FITTED WITH MANHOLE INFILTRATION PROTECTORS.
- ALL TIES TO THE EXISTING WATER MAIN SHOULD BE DONE IN THE PRESENCE OF REPRESENTATIVES OF THE WATER DEPARTMENT.
- ONE JOINT OF DUCTILE IRON PIPE SHOULD BE SHOWN AT ANY LOCATION WHERE THE PROPOSED WATER MAIN CROSSES OTHER PROPOSED UTILITIES.
- ALL DUCTILE IRON FITTINGS SHALL BE PRO-TECTO 401.
- PROVIDE MANHOLE MARKERS AT EACH MANHOLE. SET THE MARKER ON THE 20FT PRIVATE ACCESS EASEMENT LINE.

***CURRENT BUILDING CODE ALLOWS MAXIMUM OF 216' OF 4" SANITARY SEWER Ø 1X
 ***CURRENT BUILDING CODE ALLOWS MAXIMUM OF 700' OF 6" SANITARY SEWER Ø 1X
 ***CURRENT BUILDING CODE REQUIRES CLEANOUT EVERY 100' & AT TURNS > 45 DEGREES.

GENERAL NOTES:

- CONTRACTOR WILL BE REQUIRED TO ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE GOVERNMENTAL AGENCY IN CHARGE OF THE PROJECT.
- CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTIONS AS REQUIRED FOR APPROVAL OF THE WORK WITH THE GOVERNMENTAL AGENCY WITH JURISDICTION.
- CONTRACTOR WILL BE RESPONSIBLE FOR COST OF AND COORDINATION WITH LOCAL UTILITY COMPANIES OR AGENCIES FOR RELOCATION OF, OR CONNECTION TO, ALL EXISTING UTILITIES INCLUDING POWER AND TELEPHONE POLES AND WIRES.
- ALL ELEVATIONS ARE BASED ON DATUM, NAVD 88.
- A MINIMUM SHOULDER WIDTH OF 4 FEET WITH A MINIMUM TRANSVERSE SLOPE OF 5% WILL BE PROVIDED ADJACENT TO CURBS AND WALKS. ALL WALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%.
- MAXIMUM EARTH SLOPES WILL BE 3:1. GRADE FROM SHOULDER EDGE TO RIGHT-OF-WAY AT 1% MINIMUM.
- REMOVAL AND REPLACEMENT OF UNSUITABLE SUBGRADE MATERIAL WILL BE PAID FOR ON A CUBIC YARD BASIS IN PLACE MEASUREMENT, AT SUCH AUTHORIZED PRICE PER CUBIC YARD, AS AUTHORIZED BY THE ENGINEER.
- PROVIDE 1/2" EXPANSION JOINT IN NEW WALKS FOR DEPTH OF CONCRETE, WITH BITUMINOUS SEAL FOR TOP 1 INCH MINIMUM DEPTH AT ABUTMENTS WITH BUILDINGS OR OTHER CONCRETE STRUCTURES. SAW-CUT CONTRACTION JOINTS WILL BE PROVIDED IN ACCORDANCE WITH DETAILS, CUT TO BE 1/4 DEPTH OF CONCRETE MINIMUM.
- ALL CURB & GUTTER STANDARD 18" PITCHED, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO EXTERIOR FACE OF BUILDING, EDGE OF SURFACE COURSE OR EDGE OF PAVEMENT.
 - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL KEEP ACCURATE RECORDS FOR "AS BUILT" PURPOSES AND PROVIDE THIS INFORMATION TO THE ENGINEER AT THE COMPLETION OF THE PROJECT. IF THE CONTRACTOR FAILS TO FURNISH THIS INFORMATION, THE ENGINEER WILL OBTAIN THE NECESSARY INFORMATION AND CHARGE THE CONTRACTOR FOR THE SERVICES. THE ENGINEER WILL CHECK INFORMATION PROVIDED BY THE CONTRACTOR FOR ACCURACY, AS BUILT INFORMATION INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING: ALL UTILITIES INCLUDING INVERTS, TOP ELEVATIONS, PIPE LENGTHS AND TYPE OF CONSTRUCTION MATERIAL. SPOT ELEVATIONS ON FORCE MAINS AND WATER LINES. THE DISTANCE OF THE CENTERLINE OF UTILITIES FROM A PERMANENT STRUCTURE. ALL VALVE MANHOLES AND VALVE BOXES SHALL BE LOCATED WITH RESPECT TO A PERMANENT STRUCTURE. GRADES SHALL BE CONFIRMED IN ROADS AND PARKING AREAS AS WELL AS SWALES TO SHOW DIRECTION OF STORMWATER FLOW. THE FINISHED FLOOR ELEVATION SHALL BE SHOWN ON ALL BUILDINGS. IF THE LANDSCAPING IS CHANGED IN ANY WAY AN AS BUILT OF THE LANDSCAPE PLAN IS TO BE SUBMITTED TO THE ENGINEER; AND ANY OTHER REQUIREMENT MADE BY CITY OF PT. WENTWORTH.
- ALL NEW DISTURBED AREAS WILL BE GRASSED BY SEEDING OR SPRIGGING IN ACCORDANCE WITH GA. D.O.T. STANDARD SPECIFICATIONS, AND AS DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE DUST CONTROL OF ALL DISTURBED AREAS BY THE USE OF WATER AND FAST GROWING, TEMPORARY VEGETATION ON ALL STOCKPILED SOILS.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE INCLUDING ALL EROSION AND SEDIMENT CONTROL MEASURES.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN CRUSHED STONE 6" THICK, 50' MIN. LONG BY 20' MIN. WIDE AT ALL CONSTRUCTION EXITS TO MINIMIZE TRANSPORT OF SOIL FROM SITE BY VEHICLE WHEELS.
- ALL EXISTING INLETS AND DITCHES SUBJECT TO STORM WATER RUNOFF FROM THE SITE AND ALL NEW INLETS SHALL BE PROTECTED WITH INLET PROTECTION BARRIERS TO MINIMIZE SOIL TRANSPORT OFF SITE BY STORM WATERS.
- ALL MATERIAL AND INSTALLATION PRACTICES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL MEET THE CURRENT REQUIREMENTS OF THE CITY OF PT. WENTWORTH DEVELOPMENT REGULATIONS AND SPECIFICATIONS.
- TESTING - PROVIDE ALL TESTING AS REQUIRED IN THE SPECIFICATIONS. PROVIDE ENGINEER WITH COPY DIRECT FROM TESTING LAB.
- CONTRACTOR SHALL MAINTAIN SITE ON A DAILY BASIS TO PROVIDE FOR POSITIVE DRAINAGE. CONTRACTOR, AT HIS COST, SHALL GRADE SITE AND PROVIDE NECESSARY TEMPORARY DRAINAGE SWALES TO INSURE STORM WATER DOES NOT POND ON SITE.
- THE DETENTION BASINS SHALL BE CONSTRUCTED IN CONJUNCTION WITH CLEARING AND GRADING TO HELP PREVENT THE LOSS OF SEDIMENT FROM THE SITE. THE CONTRACTOR SHOULD CLEAN OUT ANY SEDIMENT DEPOSITED IN THE BASINS DURING THE CONSTRUCTION PERIOD SO THAT THE SPECIFIED WATER DEPTH AT NORMAL POOL IS MAINTAINED; THE CONTRACTOR MAY OVER EXCAVATE THE BASINS TO ACCOMPLISH THIS, IF DESIRED, AT HIS OWN EXPENSE AND WITH THE CONCURRENCE OF THE ENGINEER.
- PRIOR TO CONSTRUCTION, ALL BUILDING AREAS, PLUS 10 FEET ON EACH SIDE AND ALL AREAS TO BE PAVED, SHOULD BE STRIPPED OF ALL VEGETATION, TOP SOIL AND ROOT SYSTEMS. TOP SOIL IS TO BE SPREAD BACK ON AREAS TO BE VEGETATED.
- SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT ANY PONDED WATER CONDITIONS WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE RAPID RUN-OFF OF STORM WATER.
- ANY STUMP HOLES OR OTHER DEPRESSIONS SHOULD BE CLEARED OF LOOSE MATERIAL AND DEBRIS AND SHOULD THEN BE BACKFILLED WITH APPROVED FILL. THE BACKFILL SHOULD BE PLACED IN SIX INCH MAXIMUM LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
- ANY UTILITIES THAT EXISTING UTILITIES SHALL BE RELOCATED AND THE TRENCHES BACKFILLED WITH APPROVED SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCH MAXIMUM LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
- THE SUBGRADE SHOULD BE PROOF ROLLED WITH A LOADED DUMP TRUCK TO LOCATE UNSTABLE OR SOFT AREAS. THESE AREAS SHOULD THEN BE INVESTIGATED TO DETERMINE THE CAUSE OF THE INSTABILITY. IF DUE TO UNSUITABLE SOIL, SUCH AS HIGHLY ORGANIC SOILS OR SOFT CLAYS, THE AREA SHOULD BE UNDERGUT TO A FIRM SOIL AND REPLACED WITH APPROVED FILL COMPACTED IN SIX INCH LIFTS TO MINIMUM DENSITY OF 95% IN ACCORDANCE WITH ASTM-D-1557. IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE SUITABLE SOIL, THE AREA SHOULD BE DRAINED AND COMPACTED TO 95% DENSITY. ANY FILL REQUIRED TO LEVEL OR RAISE THE SITE SHOULD THAN BE PLACED IN 6" THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
- ALL OF THE FILL FOR THIS PROJECT SHOULD CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL SHOULD BE FREE OF OBJECTIONABLE ROOTS, CLAY LUMPS AND DEBRIS.
- MOISTURE CONTENT SHALL BE AT OR BELOW OPTIMUM.
- ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CITY OF PT. WENTWORTH'S CONVEYANCE AND DISTRIBUTION DEPARTMENT.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO FOLLOW THE COMPREHENSIVE MONITORING PLAN PREPARED FOR THE DEVELOPER BY COLEMAN COMPANY.
- ALL TAPS ON A MAIN FOR SERVICE LATERALS SHALL BE MADE WITH AN ALL STAINLESS STEEL DOUBLE STRAP EPOXY COATED TAPPING SADDLE. THE SIZE OF THE SADDLE SHALL BE WATER MAIN DIAMETER - 900 + 1" G. THREAD.
- ALL FIRE HYDRANTS AND VALVES SHALL BE MANUFACTURED BY AMERICAN, DARLING, MUELLER OR M&H.
- 50 L.F. OF 6" UNDER-DRAIN AND ROCK SHALL BE INSTALLED FROM EACH ROADSIDE INLET IN EACH DIRECTION.
- ANY AND ALL UTILITY CROSSINGS FOR WATER MAINS BETWEEN STORM OR SEWER PIPING SHOULD BE ACCOMPLISHED BY USING OF 45° BENDS BOTH DOWN AND UP.
- ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES, EXCEPT AS NOTED BELOW. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UTILITY FACILITIES OTHER THAN SERVICE LINES FROM STREET MAINS TO ABUTTING PROPERTY WHEN SUCH FACILITIES ARE NOT SHOWN ON THE PLANS AND THEIR EXISTENCE IS UNKNOWN TO THE CONTRACTOR PRIOR TO THE DAMAGES OCCURRING PROVIDING THE ENGINEER DETERMINES THE CONTRACTOR HAS OTHERWISE FULLY COMPLIED WITH THE SPECIFICATIONS.
- CONTRACTOR(S) SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR(S) ARE RESPONSIBLE FOR LOCATING, PROTECTING, REPAIRING, AND REPLACING ANY AND ALL UNDERGROUND UTILITIES DURING ALL PHASES OF CONSTRUCTION. COLEMAN COMPANY, INC. HAS MADE A DILIGENT EFFORT TO LOCATE ALL ABOVE AND BELOW GROUND UTILITIES BUT CANNOT GUARANTEE THAT ALL PRESENT UTILITIES HAVE BEEN IDENTIFIED. CONTRACTOR SHALL CALL UTILITY PROTECTION CENTER (1-800-282-7411) AT LEAST 3 DAYS PRIOR TO DIGGING AND SHALL NOT BEGIN DIGGING UNTIL ALL UNDERGROUND UTILITY LOCATIONS ARE COMPLETE.
- ALL DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED OFFSITE AT THE CONTRACTOR'S EXPENSE.
- A CONTINUOUS RUN OF PLASTICIZED METAL TAPE SHALL BE INSTALLED ABOVE THE TOP OF PVC PIPE USED FOR GRAVITY SEWER AND FORCE MAINS AT APPROXIMATELY 30" BELOW FINISHED GRADE. THE TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED AND LABELED TO IDENTIFY CONTENTS OF THE PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL. IN ADDITION TO THE TAPE, A CONTINUOUS RUN OF TRACER WIRE SHALL BE ATTACHED TO THE PIPE AND CONNECTED TO MANHOLE RINGS. ON PIPE RUNS GREATER THAN 500', THE TRACER WIRE SHALL BE ATTACHED TO A 2" GALVANIZED PIPE WITH A 180 DEGREE BEND AT THE TOP, EXTENDING 36" ABOVE GRADE FOR CONNECTION TO LOCATOR EQUIPMENT. THE MAXIMUM DISTANCE BETWEEN 2" PIPE STUBS SHALL BE 500'.
- ALL SANITARY SEWER LATERALS SHALL BE PROPERLY MARKED AT THE POINT WHERE LATERALS TERMINATE WITH PVC PIPE PAINTED GREEN. ADDITIONAL MARKINGS SHALL BE STAMPED IN THE CURB OR MARKED ON THE EDGE OF PAVING WITH AN APPROVED PERMANENT MARKER CAPABLE OF BEING LOCATED BY A MAGNETIC LOCATOR, SUCH AS A NAIL WITH CAP, IF NO CURB PRESENT. LATERALS SHALL BE MARKED WITH MARKING TAPE AND TRACER WIRE AS DESCRIBED ABOVE.
- A CONTINUOUS RUN OF PLASTICIZED METALLIC TAPE SHALL BE INSTALLED ABOVE THE TOP OF PVC PIPE USED FOR WATER MAINS AT APPROXIMATELY 18" TO 24" BELOW FINISHED GRADE. THE TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED AND LABELED TO IDENTIFY CONTENTS OF THE PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL. IN ADDITION TO THE TAPE, A CONTINUOUS RUN OF TRACER WIRE SHALL BE ATTACHED TO THE PIPE AND CONNECTED TO CURB STOPS AND VALVE OR Brought to top of valve. ON PIPE RUNS GREATER THAN 500' THE TRACER WIRE SHALL BE ATTACHED TO A 2" GALVANIZED PIPE WITH A 180 DEGREE BEND AT THE TOP, EXTENDING 36" ABOVE GRADE FOR CONNECTION TO LOCATOR EQUIPMENT. THE MAXIMUM DISTANCE BETWEEN 2" PIPE STUBS SHALL BE 500'.
- ALL WATER SERVICES SHALL BE PROPERLY MARKED ABOVE GROUND WITH PVC PIPE PAINTED BLUE. ADDITIONAL MARKINGS SHALL BE STAMPED IN THE CURB OR MARKED ON THE EDGE OF PAVING WITH AN APPROVED PERMANENT MARKER CAPABLE OF BEING LOCATED BY A MAGNETIC LOCATOR, SUCH AS A NAIL WITH CAP, IF NO CURB PRESENT. SERVICES SHALL BE MARKED WITH MARKING TAPE AND TRACER WIRE AS DESCRIBED ABOVE.
- TRACER WIRE SHALL BE REQUIRED ON ALL STORM PIPE.
- THE CONTRACTOR SHALL HAVE APPROVED PLANS ON SITE AT ALL TIMES DURING LAND DISTURBING ACTIVITIES.
- THE CONTRACTOR SHALL HAVE A CERTIFIED EROSION AND SEDIMENTATION CONTROL INSPECTOR ON SITE AT ALL TIMES DURING LAND DISTURBING ACTIVITIES.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE CITY OF PT. WENTWORTH'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE.
- SUB-GRADE WILL BE COMPACTED FOR A DEPTH OF 24" EXTENDING 24" BEYOND PAVEMENT EDGES, TO A MINIMUM OF 100% STANDARD PROCTOR DENSITY AS MEASURED A.A.S.H.O. METHOD T-99.
- UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKING WILL BE AN ENGINEER APPROVED VEHICULAR TRAFFIC PAINT. (WHITE IN COLOR & 4" WIDE)
- SAW-CUT CONTRACTION JOINTS WILL BE PROVIDED IN ACCORDANCE WITH DETAILS, CUT TO BE 1/4 DEPTH OF CONCRETE MINIMUM.
- ALL DIMENSIONS ARE TO EXTERIOR FACE OF BUILDING, EDGE OF SURFACE COURSE OR FACE OF CURBING.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL RADI ARE 5' UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH THE CITY OF PT. WENTWORTH'S, STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS (AVAILABLE FROM THE OFFICE OF THE ENGINEER) AND THE SPECIFICATIONS, NOTES AND DETAILS ON THESE DRAWINGS.
- ANY FOOTING EXCAVATIONS THAT ARE DIRECTLY ADJACENT TO THE EXISTING FOUNDATIONS SHOULD BE DONE IN SMALL INCREMENTS TO AVOID UNDERMINING THEM AND CAUSING A LOSS OF SUPPORT TO THE EXISTING STRUCTURE. IF NECESSARY, THE EXCAVATIONS SHOULD BE SHEETED AND BRACED OR THE SOIL IN THE AFFECTED AREA SHOULD BE STABILIZED BY GROUTING.
- THE FOOTING EXCAVATIONS AND ALL OF THE PREPARED SLAB UPGRADE SHOULD BE MAINTAINED IN A DRY AND COMPACTED CONDITION UNTIL THE CONCRETE IS PLACED. AREAS THAT ARE SOFTENED BY WATER OR BY CONSTRUCTION ACTIVITY BEARING. SHOULD BE REWORKED AND RECOMPUTED TO THE REQUIRED DENSITY AND BEARING.
- ALL CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT PERMIT FROM PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THIS PERMIT PRIOR TO CONSTRUCTION.
- ALL UTILITIES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- FOR CITY WATER AND SANITARY SEWER LINE LOCATIONS, CONTACT THE UTILITIES PROTECTION CENTER (1-800-282-7411) A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
- AMENDMENTS/REVISIONS TO THE ES&P PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- "NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS."
- CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND TO PUBLIC WORKS A TRAFFIC SAFETY AND CONTROL PLAN FOR THE GRADING AND DRAINAGE WORK ON JIMMY DELOACH PARKWAY, FOR APPROVAL, PRIOR TO COMMENCING CONSTRUCTION.

NAME OF OWNER

GEORGIA POWER

AT&T

ADDRESS

3100 KILOWATT DRIVE
SAVANNAH, GEORGIA 31405
(912) 944-3726

6602 ABERCORN STREET
SAVANNAH, GEORGIA 31405
(912) 356-3968

UTILITY

ELECTRIC

TELEPHONE

LEGEND

- ⊕ BENCH MARK
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- IPF IRON PIPE FOUND
- IPS IRON PIPE SET
- CMS CONCRETE MONUMENT SET
- CMF CONCRETE MONUMENT FOUND
- RWCMF RIGHT-OF-WAY CMF
- GI GRATE INLET
- CI CURB INLET
- PP POWER POLE
- GW GUY WIRE
- LP LIGHT POLE
- SSMH SANITARY SEWER MANHOLE
- SSMH STORM SEWER MANHOLE
- TMH TELEPHONE MANHOLE
- WMH WATER MANHOLE
- FH FIRE HYDRANT
- WV WATER VALVE
- WM WATER METER
- TEB TELEPHONE BOX
- CTB CABLE TV BOX
- EB ELECTRIC BOX
- OPH OVERHEAD POWER LINE
- SWH SANITARY SEWER LINE
- RCF REINFORCED CONCRETE PIPE
- W WATER LINE
- GL GAS LINE
- T TELEPHONE LINE
- WL WOOD LINE
- R/R RAILROAD
- R/W RIGHT-OF-WAY
- TC TOP OF CURB
- G GUTTER
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- TH THROAT
- IE INVERT ELEVATION
- DEB DEED BOOK
- PRB PLAT RECORD BOOK
- SMB SUBDIVISION MAP BOOK
- FIN PARCEL IDENTIFICATION NUMBER
- BFE BASE FLOOD ELEVATION
- MSL MEAN SEA LEVEL

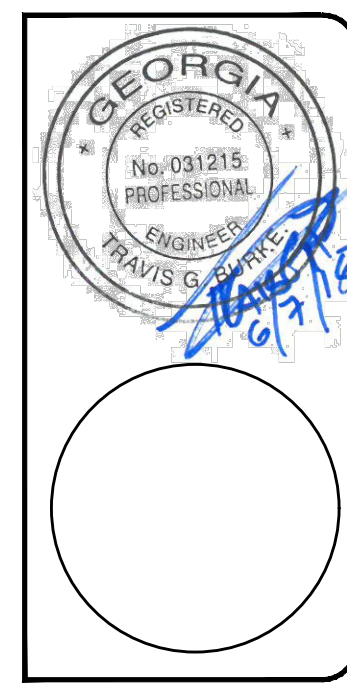
TREES

- LO LIVE OAK
- P PALM
- FM FINE
- HIC HICKORY
- MAG MAGNOLIA
- LALO LAUREL OAK
- WO WATER OAK
- BO BLACK GUM
- DW DOGWOOD
- CH CHERRY

PROPOSED

- TAPPING SLEEVE & VALVE
- GATE VALVE (GV)
- FIRE HYDRANT ASSEMBLY (FH)
- RESTRAINED JOINT TEE
- RESTRAINED JOINT PLUG
- AIR RELEASE VALVE
- SSMH SANITARY SEWER MANHOLE
- PROPOSED GRAVITY SAN-SWR
- PROPOSED SILT FENCE
- DISTURBED LIMITS
- DRAINAGE LIMITS
- PROPOSED STORM CULVERT (RCP)
- CENTERLINE (C)
- PROPERTY LINE (P)
- INVERT ELEVATION (IE)
- FLARED END SECTION (FES)
- ROOF INLET (RI)

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 (F) 912-200-3056



REVISION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

GENERAL NOTES

DATE: 5/17/2018
 SCALE: AS SHOWN
 JOB #: 17-100
 DRAWN BY: MKJJ
 CHECKED BY: TGB

SHEET
CO.O

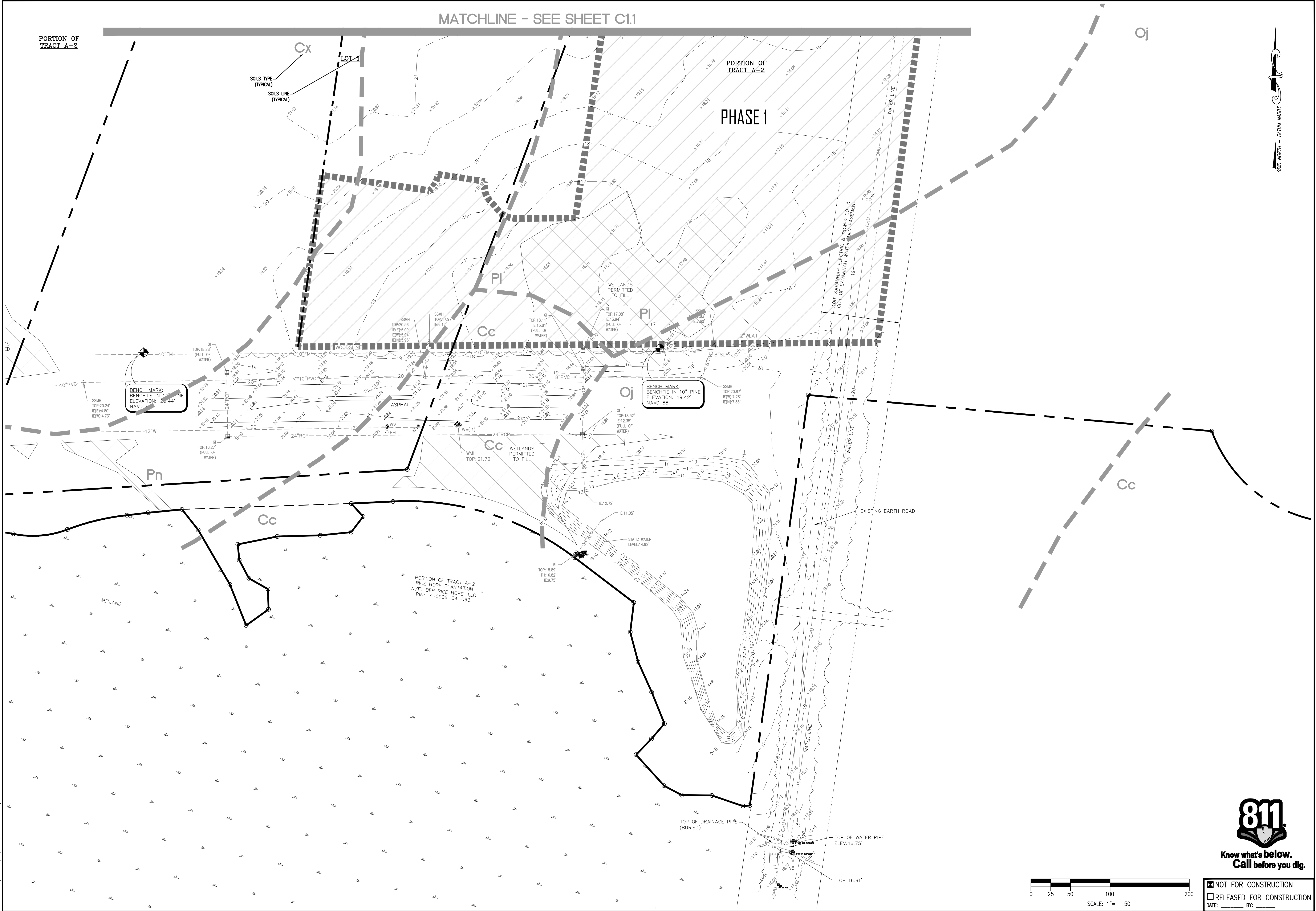
NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____

MATCHLINE - SEE SHEET C1.1

PORTION OF TRACT A-2

PORTION OF TRACT A-2

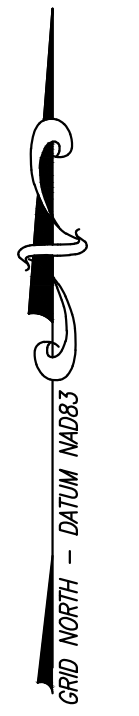
PHASE 1



BENCHMARK:
BENCHITE IN 1" PINE
ELEVATION: 20.44'
NAVD 85

BENCHMARK:
BENCHITE IN 1" PINE
ELEVATION: 19.42'
NAVD 85

PORTION OF TRACT A-2
RICE HOPE PLANTATION
N/F: BEP RICE HOPE, LLC
PIN: 7-0906-04-063



COLEMAN COMPANY, INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(D) 912.200.3041 (F) 912.200.3056

GEORGIA
REGISTERED
No. 031215
PROFESSIONAL
ENGINEER
TRAVIS G. GORTNER

REVISION

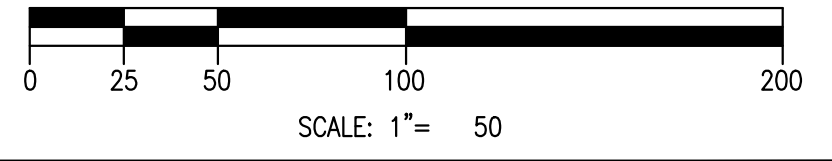
CIVIL CONSTRUCTION PLANS FOR:
MULBERRY TRACT PHASE 1
LOCATED IN: PORT WENTWORTH, GEORGIA
PREPARED FOR: BALD EAGLE PARTNERS

EXISTING CONDITIONS

DATE: 5/17/2018
SCALE: NTS
JOB #: 1"=50'
DRAWN BY: MKJ
CHECKED BY: GJC



Know what's below.
Call before you dig.



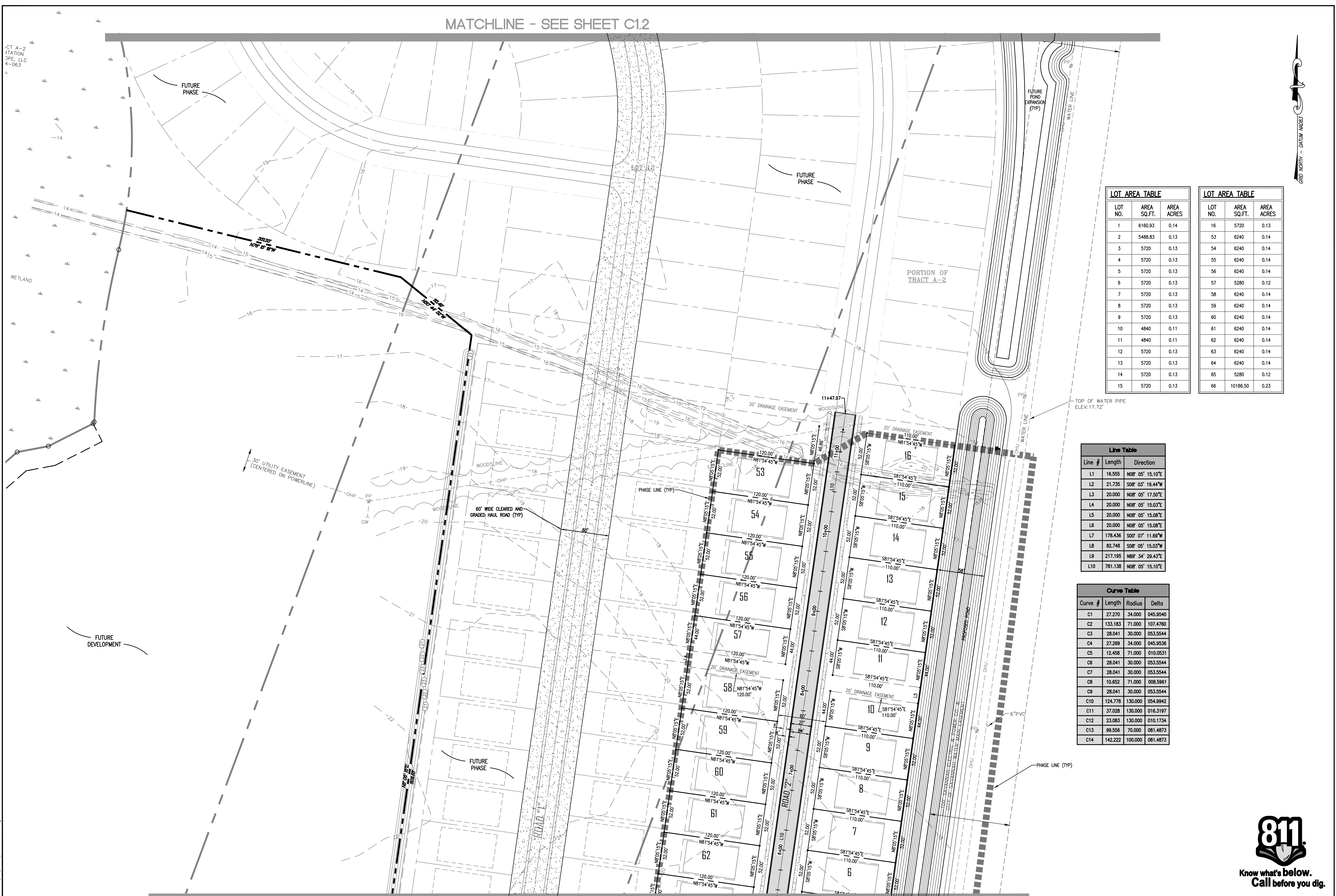
NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
DATE: _____ BY: _____

SHEET
C1.0

The 07 Jul 2018, 10:00am, mlsk...
DRAWING: PHASE 1A 17-100000/PHASE 1A 17-100-001-001.dwg

Attachment: Mulberry Tract PH 1 Site Plan JULY 2018 (1946 - Site Plan Review Application Mulberry Tract Phase 1 JULY 2018)

MATCHLINE - SEE SHEET C1.2



LOT AREA TABLE

LOT NO.	AREA SQ.FT.	AREA ACRES
1	6160.93	0.14
2	5488.83	0.13
3	5720	0.13
4	5720	0.13
5	5720	0.13
6	5720	0.13
7	5720	0.13
8	5720	0.13
9	5720	0.13
10	4840	0.11
11	4840	0.11
12	5720	0.13
13	5720	0.13
14	5720	0.13
15	5720	0.13

LOT AREA TABLE

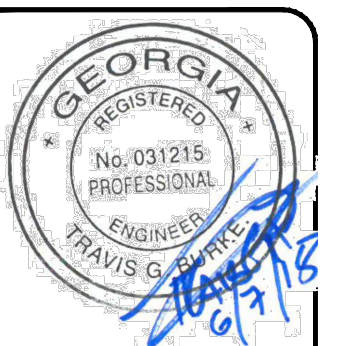
LOT NO.	AREA SQ.FT.	AREA ACRES
16	5720	0.13
53	6240	0.14
54	6240	0.14
55	6240	0.14
56	6240	0.14
57	5280	0.12
58	6240	0.14
59	6240	0.14
60	6240	0.14
61	6240	0.14
62	6240	0.14
63	6240	0.14
64	6240	0.14
65	5280	0.12
66	10186.50	0.23

Line Table

Line #	Length	Direction
L1	16.555	N08° 05' 15.10"E
L2	21.735	S08° 03' 19.44"W
L3	20.000	N08° 05' 17.50"E
L4	20.000	N08° 05' 15.03"E
L5	20.000	N08° 05' 15.08"E
L6	20.000	N08° 05' 15.08"E
L7	178.436	S00° 07' 11.69"W
L8	82.748	S08° 05' 15.03"E
L9	217.195	N89° 34' 29.43"E
L10	781.138	N08° 05' 15.10"E

Curve Table

Curve #	Length	Radius	Delta
C1	27.270	34.000	045.9540
C2	133.183	71.000	107.4780
C3	28.041	30.000	053.5544
C4	27.269	34.000	045.9536
C5	12.458	71.000	010.0531
C6	28.041	30.000	053.5544
C7	28.041	30.000	053.5544
C8	10.652	71.000	008.5961
C9	28.041	30.000	053.5544
C10	124.778	130.000	054.9942
C11	37.028	130.000	016.3197
C12	23.083	130.000	010.1734
C13	99.556	70.000	081.4873
C14	142.222	100.000	081.4873



REVISION

No.	Description

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

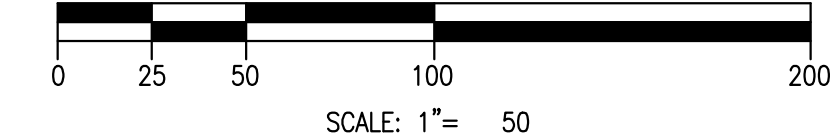
STAKING PLAN

DATE: 5/17/2018
 SCALE: NTS
 JOB #: 1"=50'
 DRAWN BY: MKJ
 CHECKED BY: GJC



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 DATE: _____ BY: _____

SHEET
C2.1



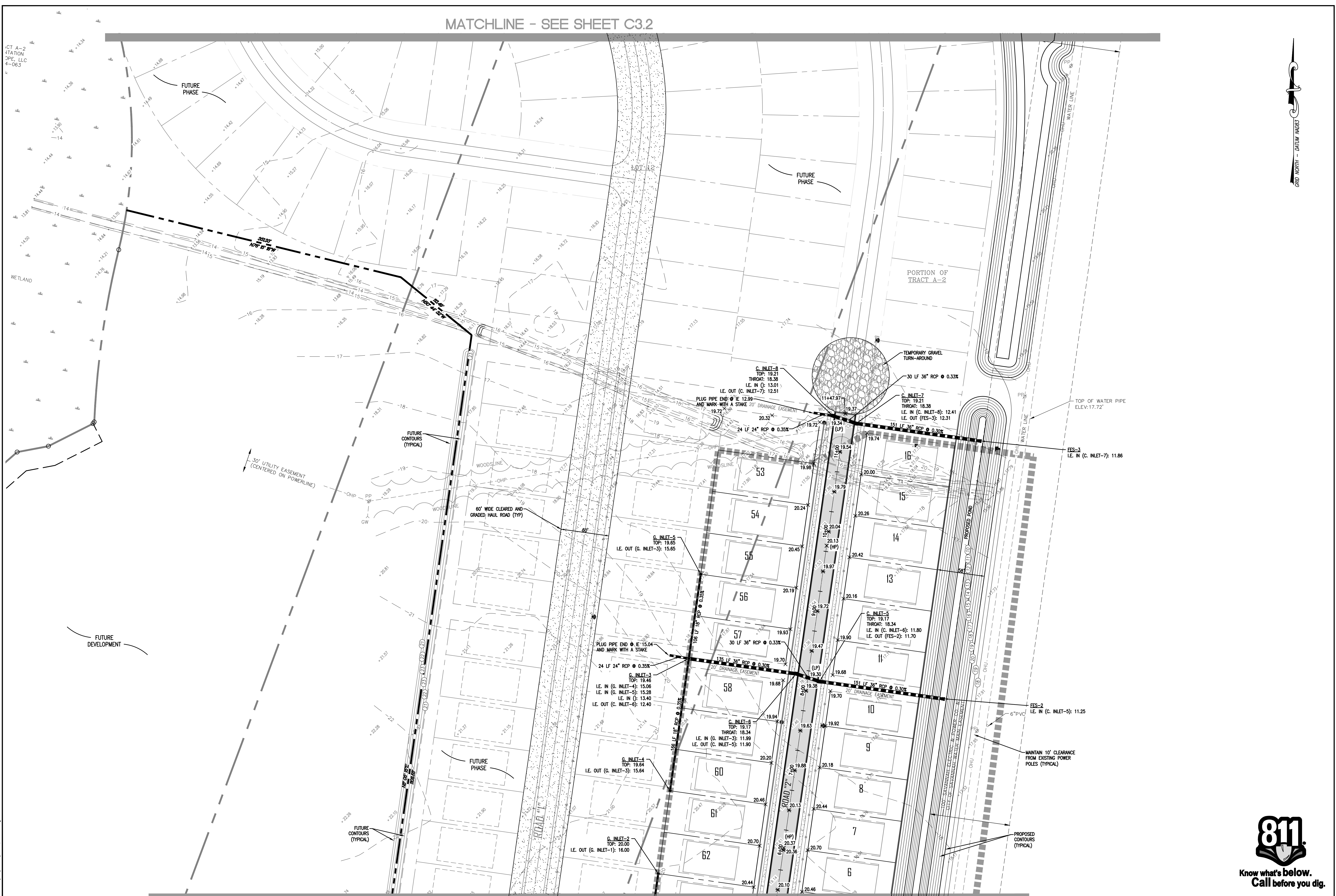
MATCHLINE - SEE SHEET C2.0

CT A-2
 STATION
 DPE, LLC
 4-063

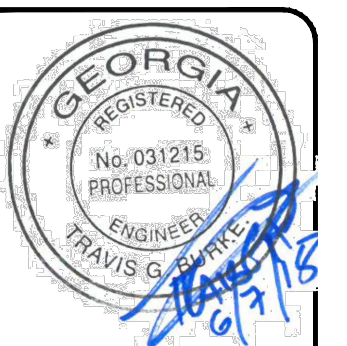
The 07 Jan 2018, 3:10pm, mlskls
 DRAWING: PHASE I, 17-100000/PHASE I, 17-100-001-002.dwg

PORTION OF
 TRACT A-2

MATCHLINE - SEE SHEET C3.2



COLEMAN COMPANY, INC.
 ENGINEERS & SURVEYORS
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REVISION

CIVIL CONSTRUCTION PLANS FOR:
MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

PAVING, GRADING &
 DRAINAGE PLAN

DATE: 5/17/2018
 SCALE: NTS
 JOB #: 1"=50'
 DRAWN BY: MKJ
 CHECKED BY: GJC



NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____

SHEET
C3.1



MATCHLINE - SEE SHEET C3.0

CT A-2
 STATION
 DPE, LLC
 4-063
 WETLAND
 FUTURE PHASE
 FUTURE DEVELOPMENT
 FUTURE CONTOURS (TYPICAL)
 PORTION OF TRACT A-2
 THE 07 JAN 2018 2:10pm mlsk...
 DRAWING TITLE: A317-100000/DRAIN/P/PHASE I (17)-100-041-0002.dwg

Attachment: Mulberry Tract PH I Site Plan JULY 2018 (1946 - Site Plan Review Application Mulberry Tract Phase I JULY 2018)



COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
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ENGINEERS • SURVEYORS

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. GUYTON

REVISION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

PAVING, GRADING & DRAINAGE PLAN

DATE: 5/17/2018
 SCALE: NTS
 JOB #: 1"=50'
 DRAWN BY: MKJ
 CHECKED BY: GJC



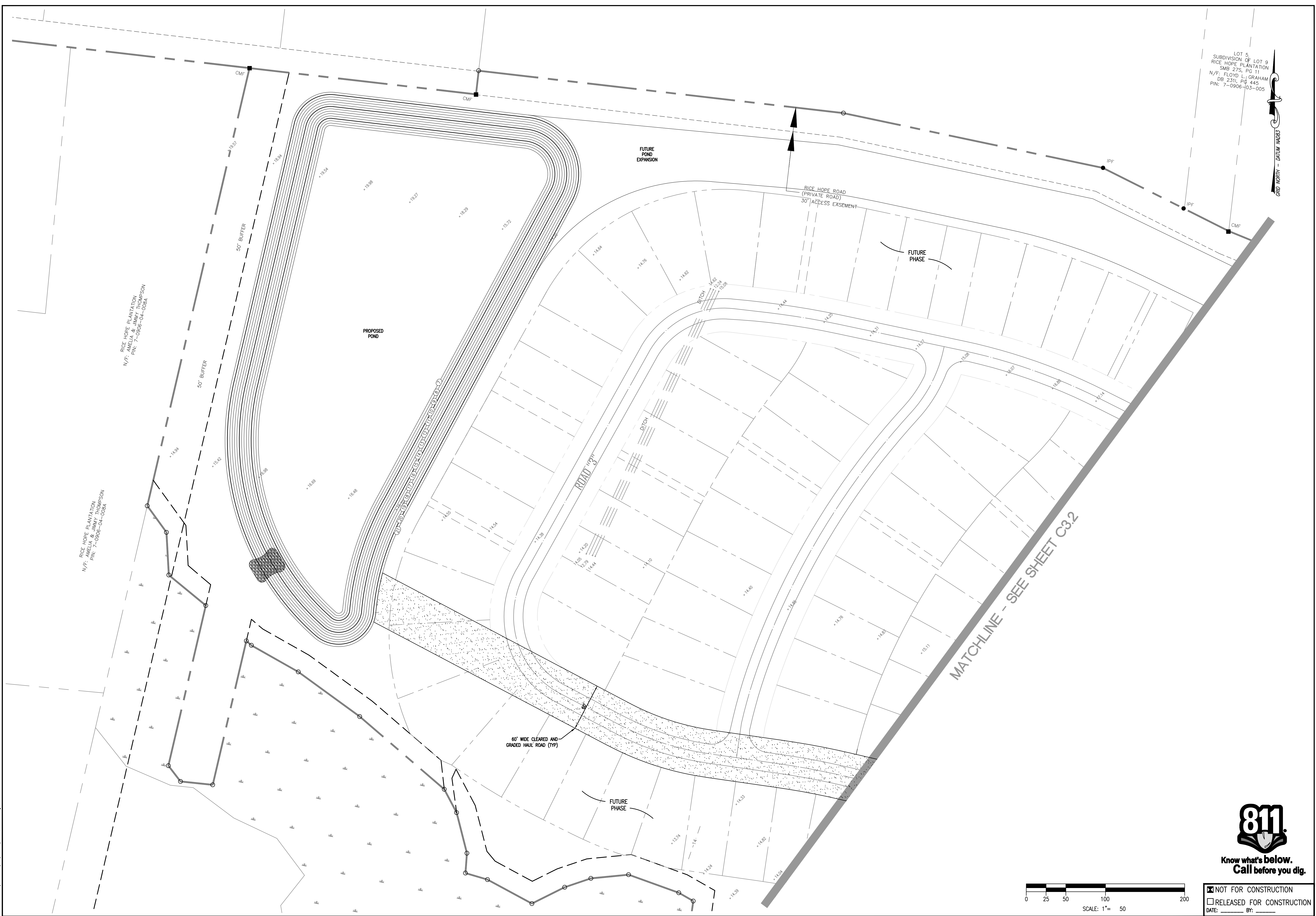
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 DATE: _____ BY: _____

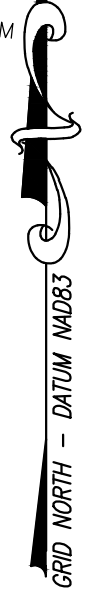
SHEET
C3.2

The 07 Jan 2018 1:17pm mlsklsk
 Drawing: P:\17-1000\DWG\PHASE I\17-1000-PH1-ENG.dwg

Attachment: Mulberry Tract PH I Site Plan JULY 2018 (1946 - Site Plan Review Application Mulberry Tract Phase I JULY 2018)



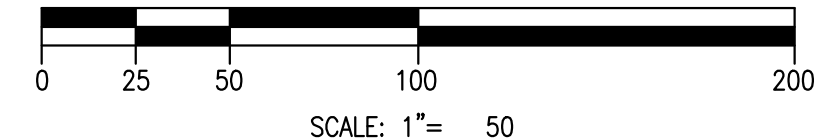
LOT 5
 SUBDIVISION OF LOT 9
 RICE HOPE PLANTATION
 SMB 275, PG 11
 N/F: FLOYD L. GRAHAM
 DB 231, PG 445
 PIN: 7-0906-03-005



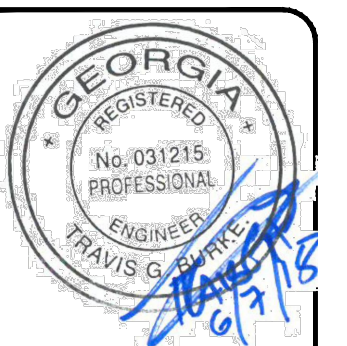
RICE HOPE PLANTATION
 N/F: ANIELA & JIMMY THOMPSON
 PIN: 7-0906-04-008A

RICE HOPE PLANTATION
 N/F: ANIELA & JIMMY THOMPSON
 PIN: 7-0906-04-008A

MATCHLINE - SEE SHEET C32



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 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____



REVISION

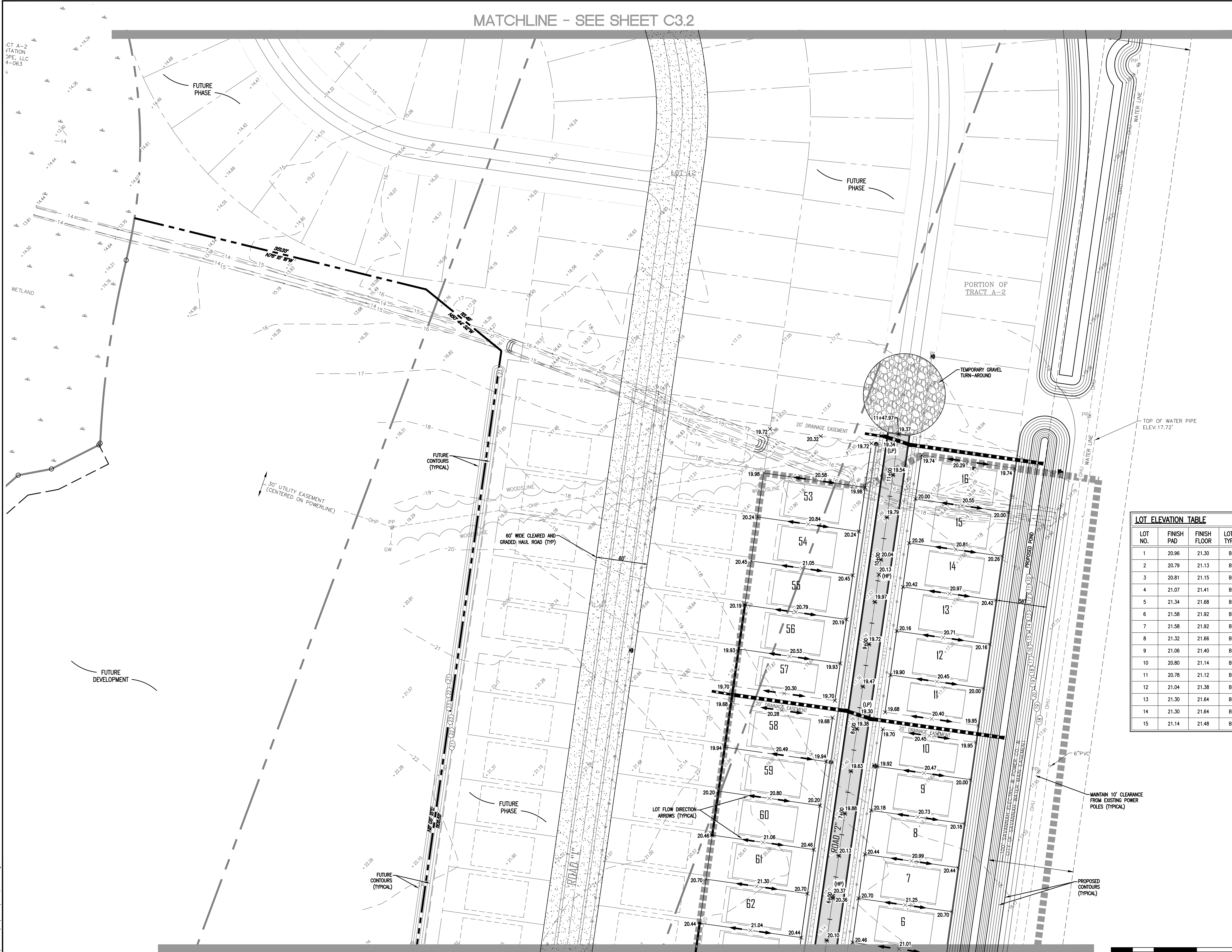
CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

PAVING, GRADING &
 DRAINAGE PLAN

DATE: 5/17/2018
 SCALE: NTS
 JOB #: 1"=50'
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
C3.3

MATCHLINE - SEE SHEET C3.2

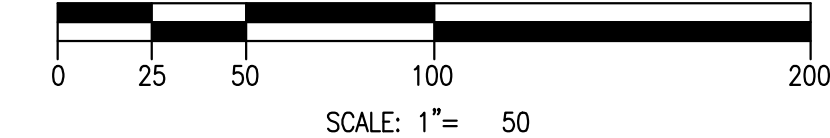


LOT ELEVATION TABLE

LOT NO.	FINISH PAD	FINISH FLOOR	LOT TYPE
1	20.96	21.30	B
2	20.79	21.13	B
3	20.81	21.15	B
4	21.07	21.41	B
5	21.34	21.68	B
6	21.58	21.92	B
7	21.58	21.92	B
8	21.32	21.66	B
9	21.06	21.40	B
10	20.80	21.14	B
11	20.78	21.12	B
12	21.04	21.38	B
13	21.30	21.64	B
14	21.30	21.64	B
15	21.14	21.48	B

LOT ELEVATION TABLE

LOT NO.	FINISH PAD	FINISH FLOOR	LOT TYPE
16	20.88	21.22	B
53	21.17	21.51	B
54	21.38	21.72	B
55	21.38	21.72	B
56	21.12	21.46	B
57	20.86	21.20	B
58	20.82	21.16	B
59	21.13	21.47	B
60	21.39	21.73	B
61	21.63	21.97	B
62	21.63	21.97	B
63	21.37	21.71	B
64	21.11	21.45	B
65	20.85	21.19	B
66	20.73	21.07	B



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 17 PARK OF COMMERCE | SUITE 201
 SAVANNAH, GA 31405
 (478) 912.200.3041 | (478) 912.200.3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. COLEMAN
 (Signature)

REVISION

CIVIL CONSTRUCTION PLANS FOR:
MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

NEIGHBORHOOD
 GRADING PLAN

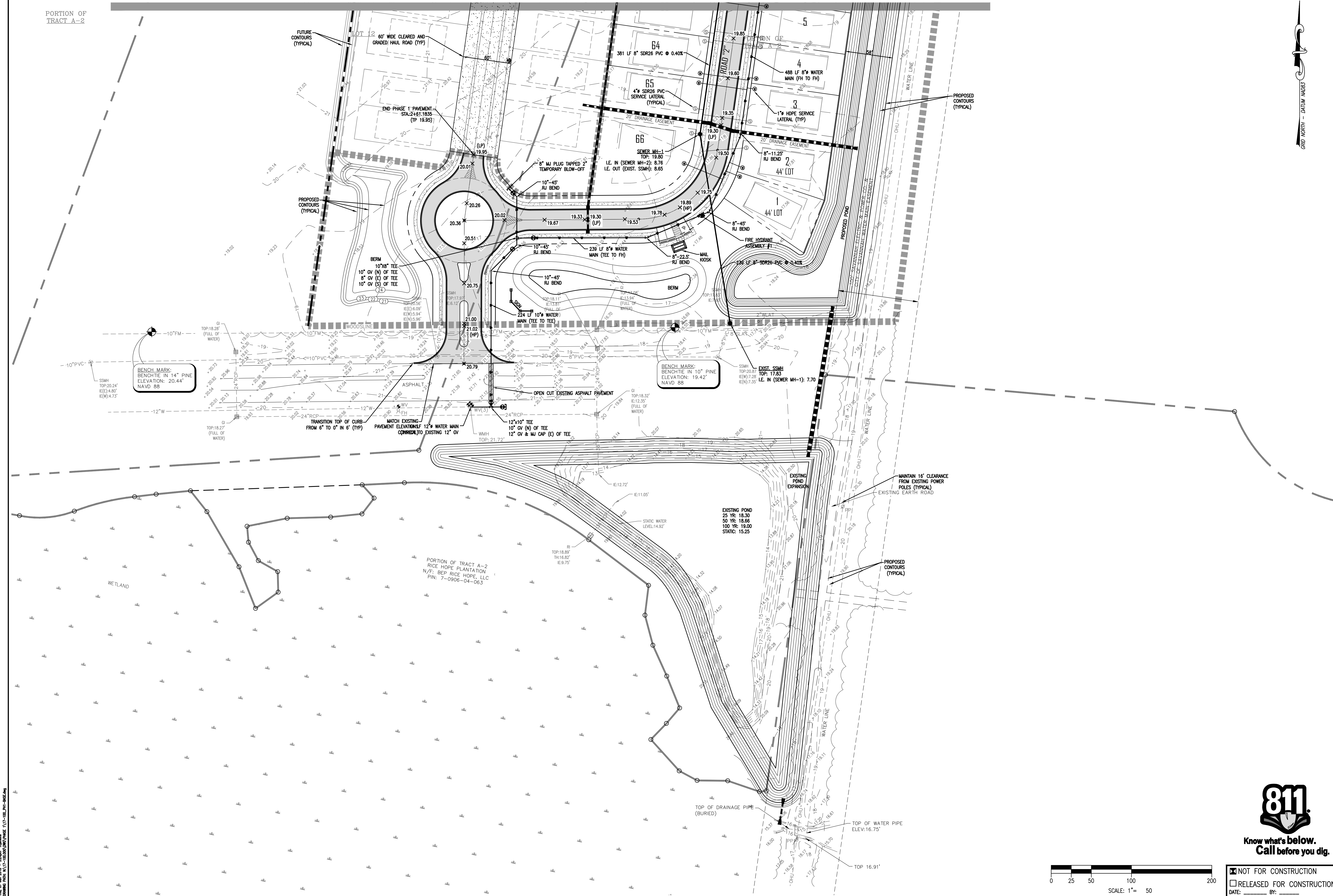
DATE: 5/17/2018
 SCALE: NTS
 JOB #: 1"=50'
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
C4.1

Attachment: Mulberry Tract PH I Site Plan JULY 2018 (1946 - Site Plan Review Application Mulberry Tract Phase I JULY 2018)

MATCHLINE - SEE SHEET C2.1

PORTION OF TRACT A-2



GRID NORTH - DATUM: NAD83

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REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. COLEMAN

REVISION

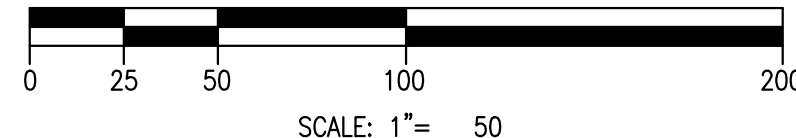
CIVIL CONSTRUCTION PLANS FOR:
MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

UTILITY PLAN

DATE: 5/17/2018
 SCALE: NTS
 JOB #: 1"=50'
 DRAWN BY: MKJ
 CHECKED BY: GJC

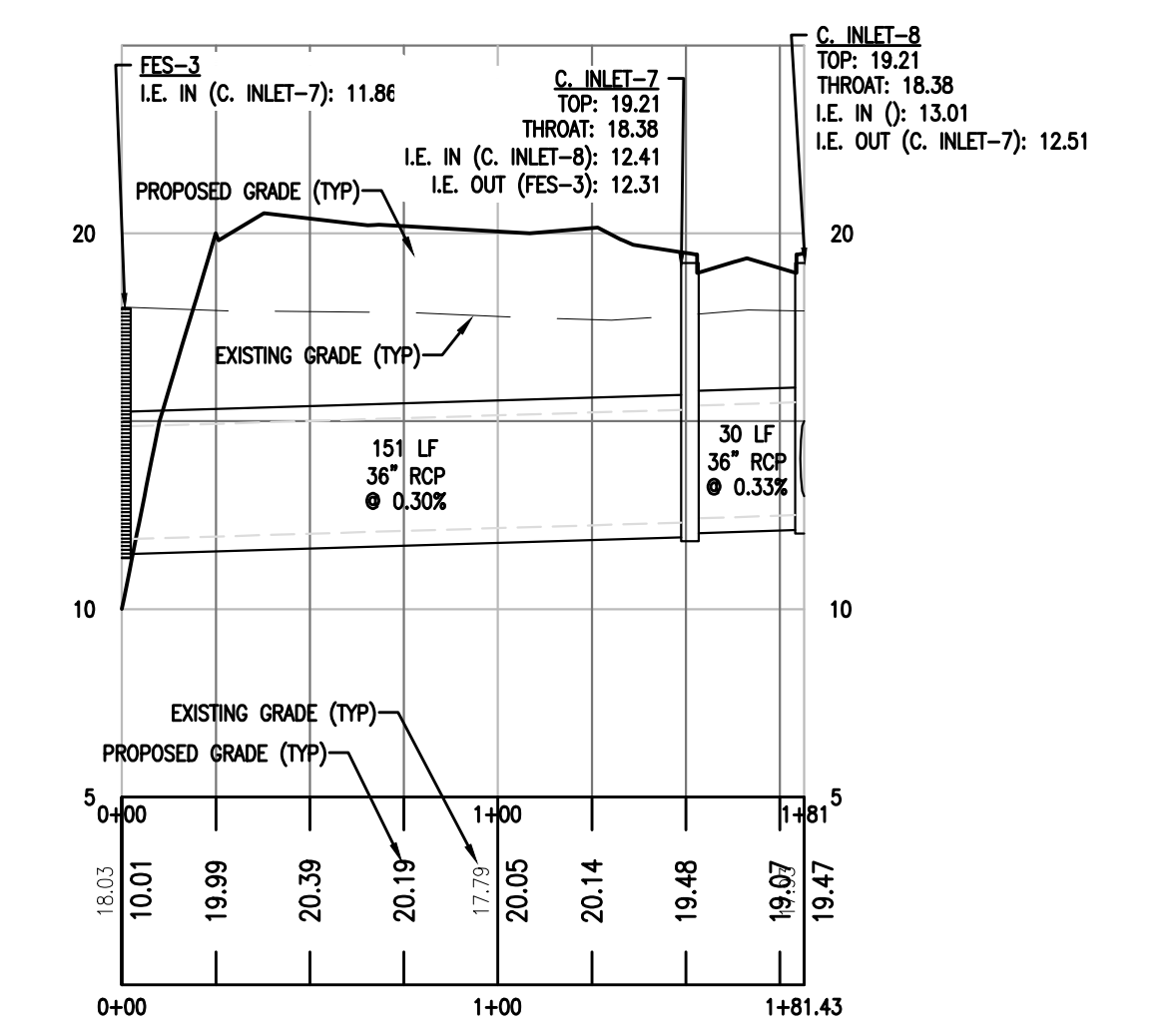
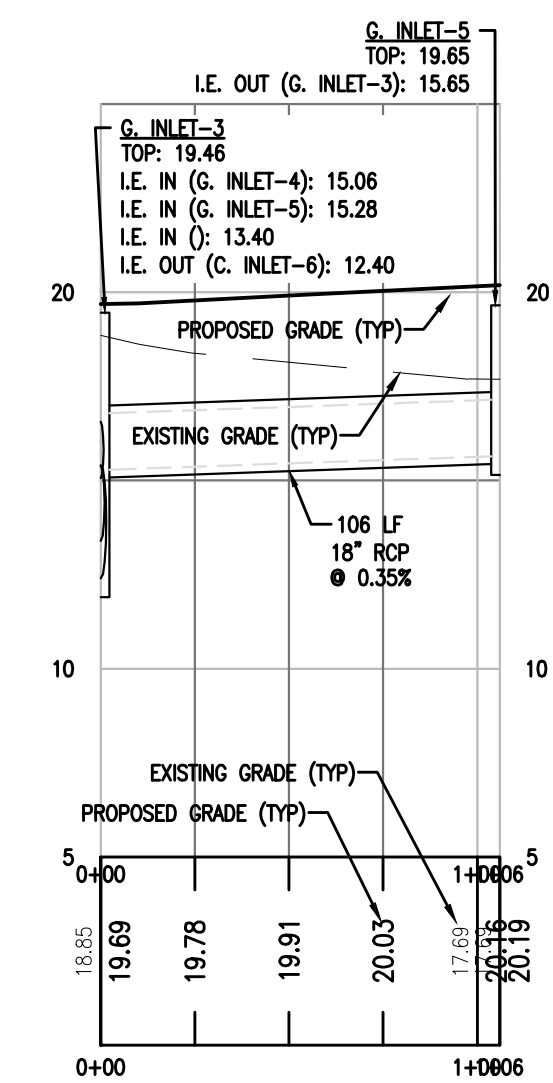
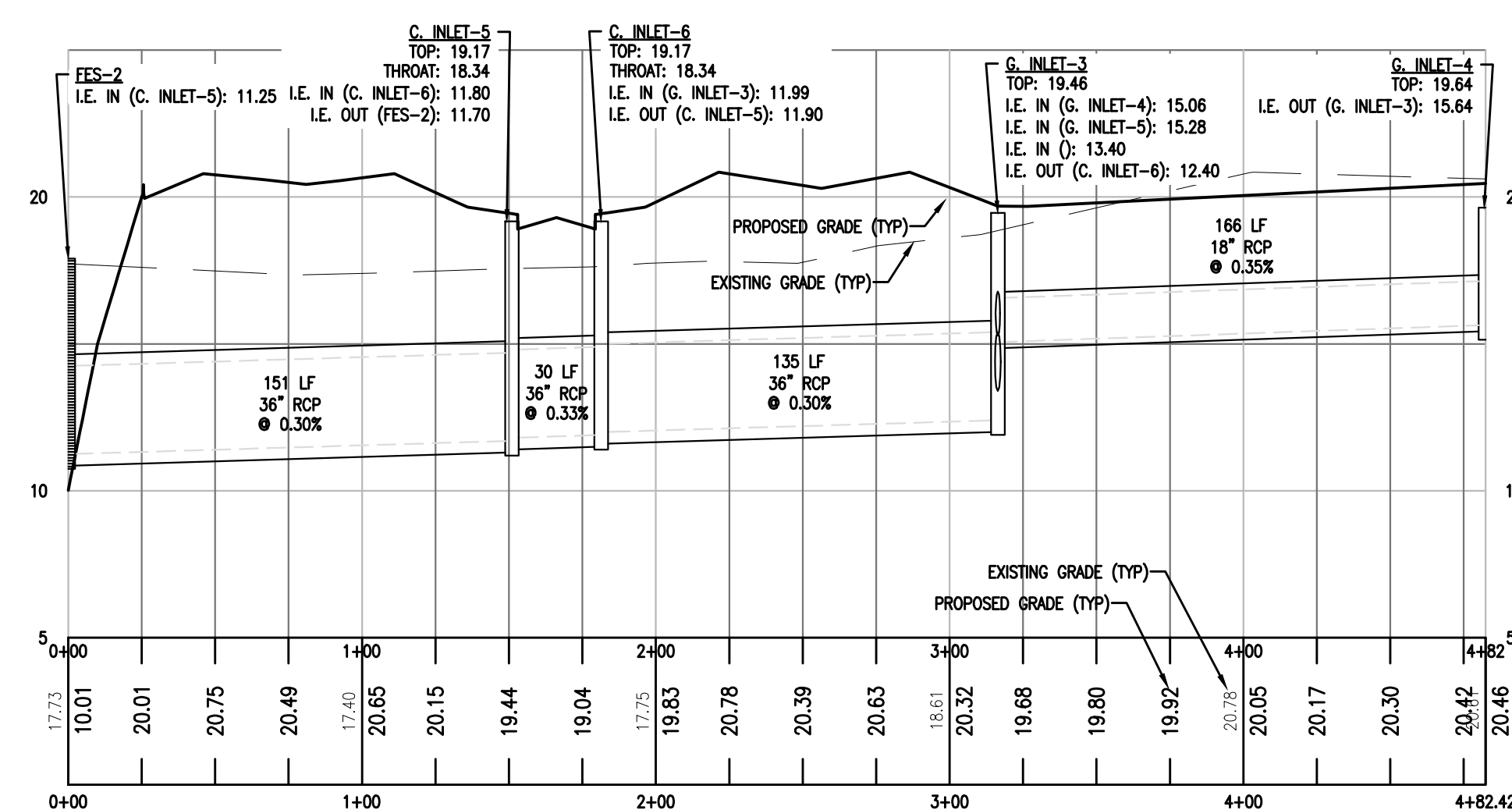
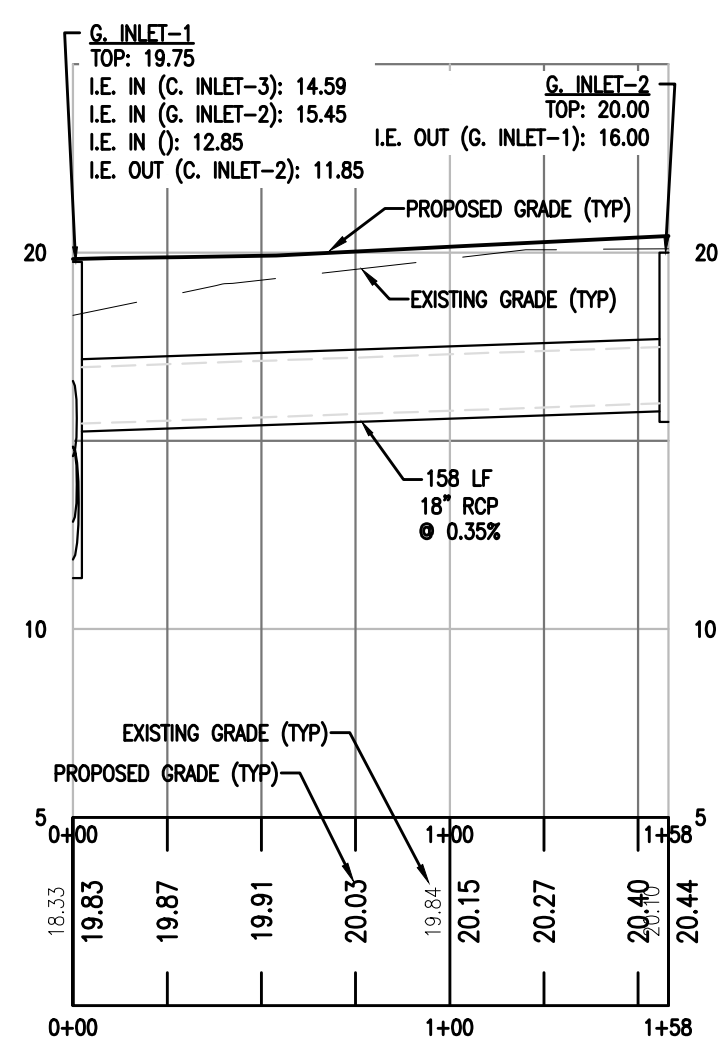
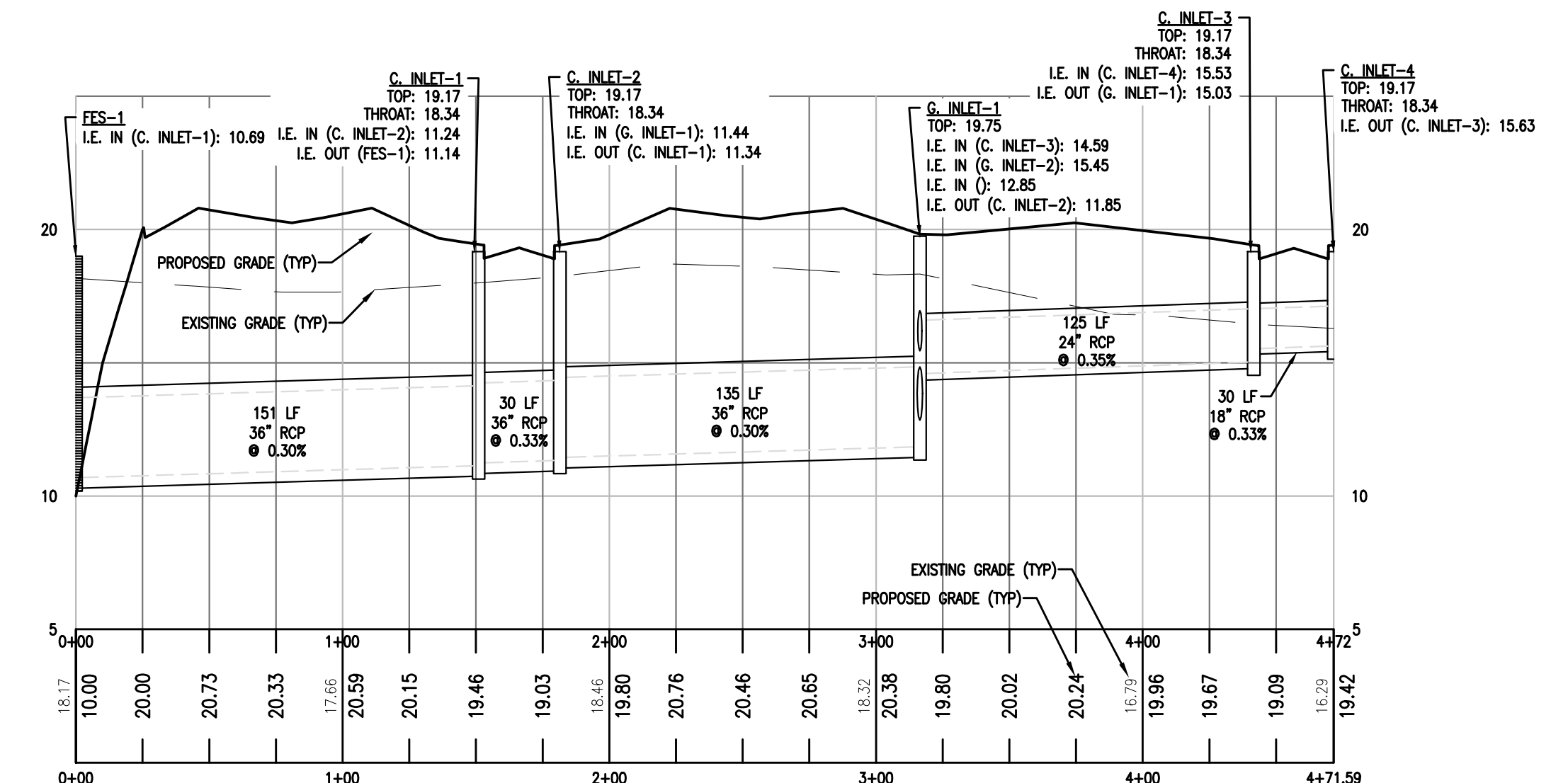
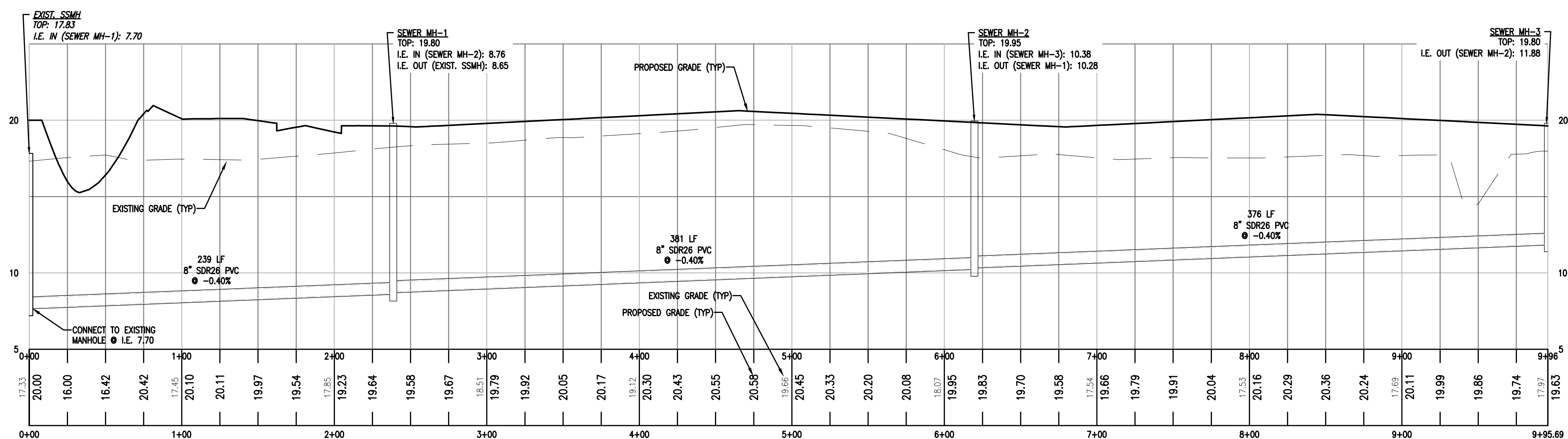
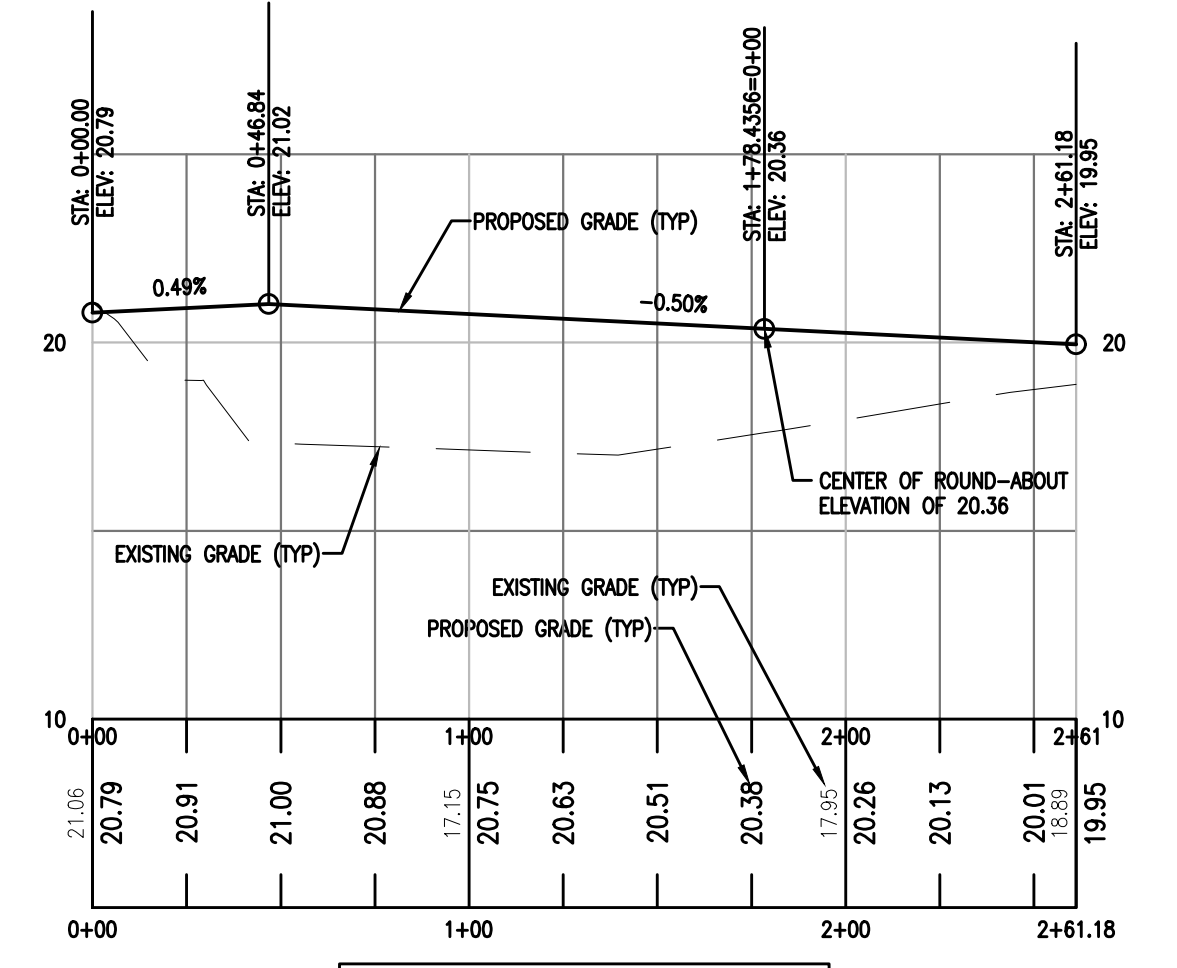
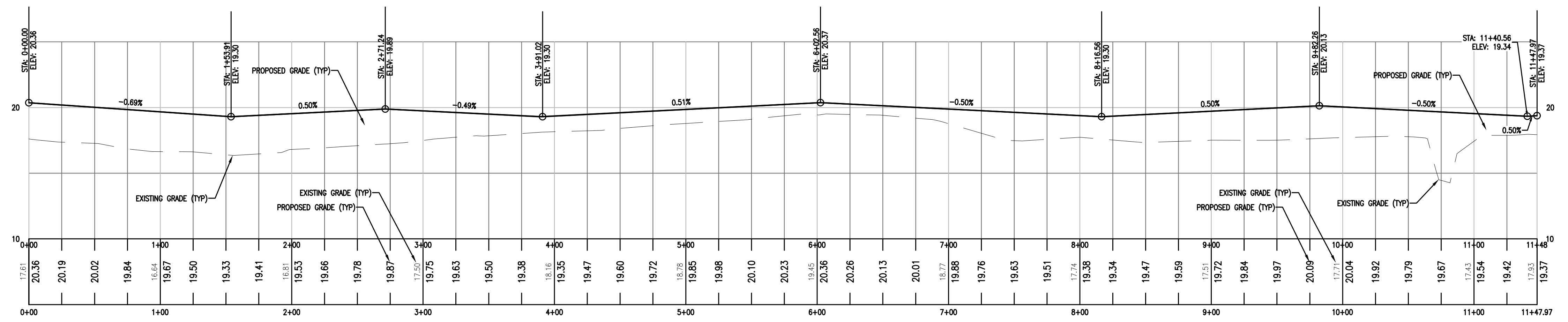


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SHEET
C5.0



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SAVANNAH, GA 31405
(912) 200-3041 (F) 912-200-3056

REGISTERED PROFESSIONAL ENGINEERS & SURVEYORS

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. 031215
TRAVIS G. COLEMAN

REVISION

CIVIL CONSTRUCTION PLANS FOR:
MULBERRY TRACT PHASE I
LOCATED IN: PORT WENTWORTH, GEORGIA
PREPARED FOR: BALD EAGLE PARTNERS

MISC. PROFILES

DATE: 5/17/2018
SCALE: NTS
JOB #: AS SHOWN
DRAWN BY: MKJ
CHECKED BY: GJC

SHEET
C6.0

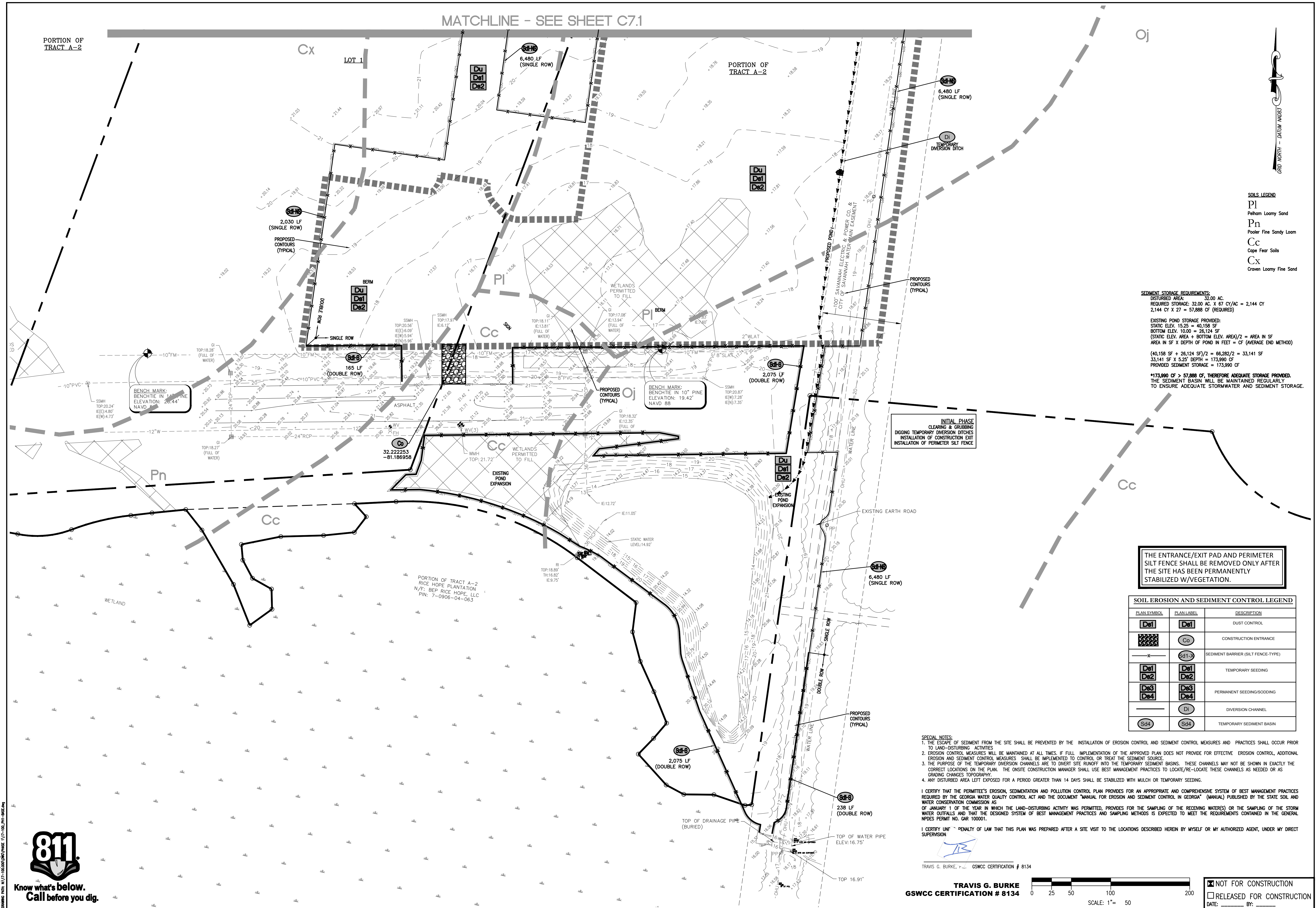
NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
DATE: BY:

The 07 Jan 2018 1:20pm mlsksh...
Drawing Title: M17-100000/0001/PHASE I (17-100-001-001-0001.dwg)



MATCHLINE - SEE SHEET C7.1

PORTION OF TRACT A-2



- SOILS LEGEND**
- PI Palom Loamy Sand
 - Pn Pooler Fine Sandy Loam
 - Cc Cape Fear Soils
 - Cx Craven Loamy Fine Sand

SEDIMENT STORAGE REQUIREMENTS:
 DISTURBED AREA = 32.00 AC.
 REQUIRED STORAGE: 32.00 AC. X 67 CY/AC = 2,144 CY
 2,144 CY X 27 = 57,888 CF (REQUIRED)

EXISTING POND STORAGE PROVIDED:
 STATIC ELEV. 15.25 = 40,156 SF
 BOTTOM ELEV. 10.00 = 26,124 SF
 (STATIC ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF
 AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)

(40,156 SF + 26,124 SF)/2 = 66,282/2 = 33,141 SF
 33,141 SF X 5.25' DEPTH = 173,990 CF
 PROVIDED SEDIMENT STORAGE = 173,990 CF

*173,990 CF > 57,888 CF, THEREFORE ADEQUATE STORAGE PROVIDED.
 THE SEDIMENT BASIN WILL BE MAINTAINED REGULARLY TO ENSURE ADEQUATE STORMWATER AND SEDIMENT STORAGE.

INITIAL PHASE
 CLEARING & GRUBBING
 DIGGING TEMPORARY DIVERSION DITCHES
 INSTALLATION OF CONSTRUCTION EXIT
 INSTALLATION OF PERIMETER SILT FENCE

THE ENTRANCE/EXIT PAD AND PERIMETER SILT FENCE SHALL BE REMOVED ONLY AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED W/VEGETATION.

PLAN SYMBOL	PLAN LABEL	DESCRIPTION
Du1	De1	DUST CONTROL
Cc	Cc	CONSTRUCTION ENTRANCE
Sd1	Sd1	SEDIMENT BARRIER (SILT FENCE-TYPE)
De1	De2	TEMPORARY SEEDING
De3	De4	PERMANENT SEEDING/SODDING
Di	Di	DIVERSION CHANNEL
Sd4	Sd4	TEMPORARY SEDIMENT BASIN

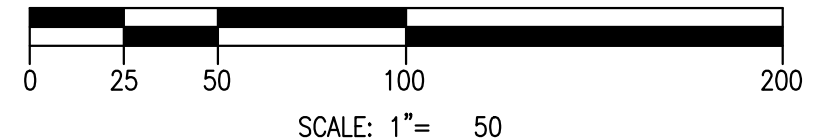
- SPECIAL NOTES:**
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO LAND-DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - THE PURPOSE OF THE TEMPORARY DIVERSION CHANNELS ARE TO DIVERT SITE RUNOFF INTO THE TEMPORARY SEDIMENT BASINS. THESE CHANNELS MAY NOT BE SHOWN IN EXACTLY THE CORRECT LOCATIONS ON THE PLAN. THE ONSITE CONSTRUCTION MANAGER SHALL USE BEST MANAGEMENT PRACTICES TO LOCATE/RE-LOCATE THESE CHANNELS AS NEEDED OR AS GRADING CHANGES TOPOGRAPHY.
 - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

TRAVIS G. BURKE
 GSWCC CERTIFICATION # 8134



NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (D) 912.200.3041 (F) 912.200.3056

GEORGIA REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. BURKE

REVISION

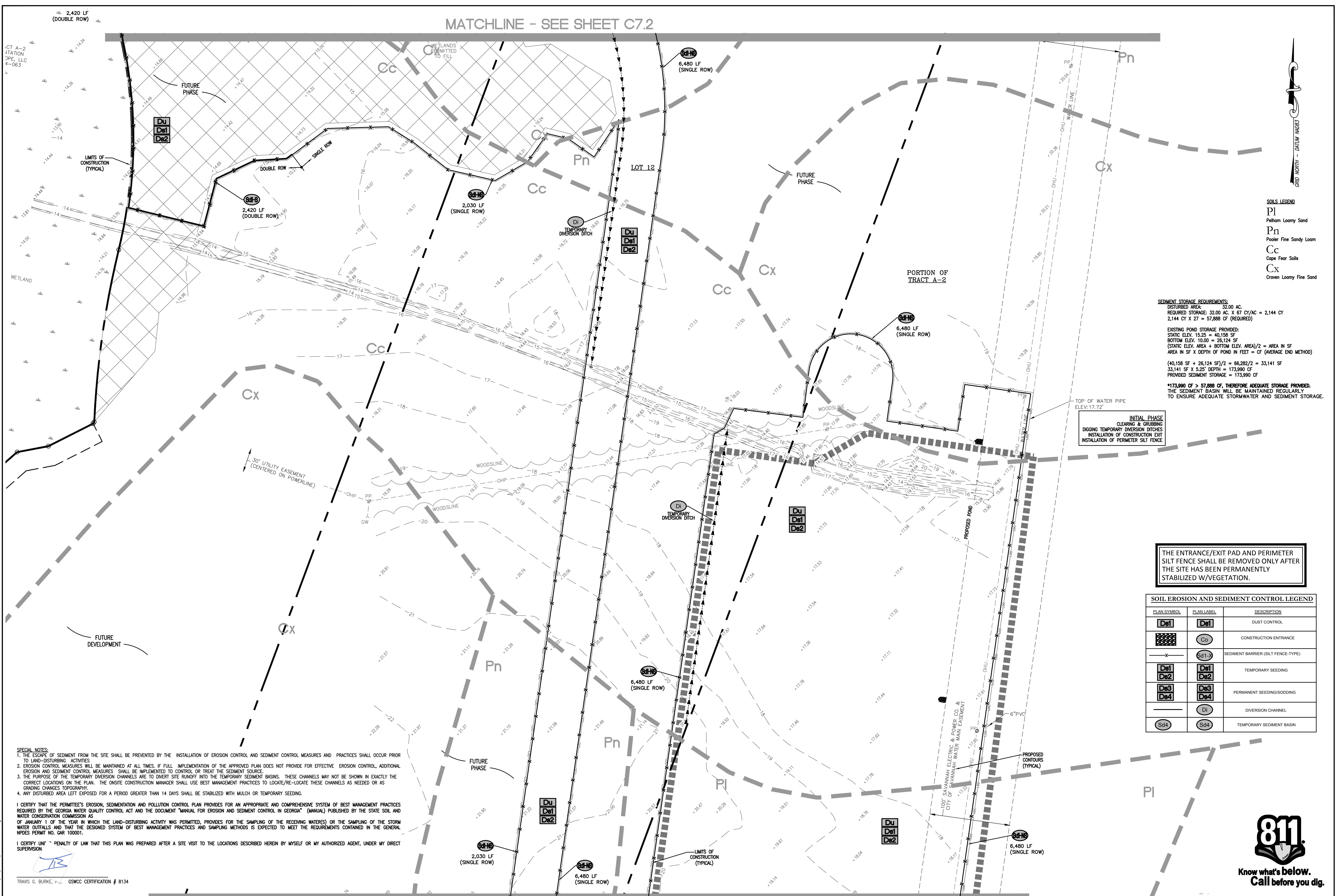
CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

INITIAL EROSION PLAN

DATE: 5/17/2018
 SCALE: 1"=50'
 JOB #: 17-100
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
C7.0

811
 Know what's below.
 Call before you dig.



MATCHLINE - SEE SHEET C7.2

MATCHLINE - SEE SHEET C7.0

SOILS LEGEND

PI
Pelham Loamy Sand

Pn
Pooler Fine Sandy Loam

Cc
Cape Fear Soils

Cx
Craven Loamy Fine Sand

SEDIMENT STORAGE REQUIREMENTS:

DISTURBED AREA = 32.00 AC.
 REQUIRED STORAGE: 32.00 AC X 67 CY/AC = 2,144 CY
 2,144 CY X 27 = 57,888 CF (REQUIRED)

EXISTING POND STORAGE PROVIDED:

STATIC ELEV. 15.25 = 40,158 SF
 BOTTOM ELEV. 10.00 = 26,124 SF
 (STATIC ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF
 AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)

(40,158 SF + 26,124 SF)/2 = 66,282/2 = 33,141 SF
 33,141 SF X 5.25' DEPTH = 173,990 CF
 PROVIDED SEDIMENT STORAGE = 173,990 CF

*173,990 CF > 57,888 CF, THEREFORE ADEQUATE STORAGE PROVIDED.
 THE SEDIMENT BASIN WILL BE MAINTAINED REGULARLY TO ENSURE ADEQUATE STORMWATER AND SEDIMENT STORAGE.

INITIAL PHASE
 CLEANING & GRUBBING
 DIGGING TEMPORARY DIVERSION DITCHES
 INSTALLATION OF CONSTRUCTION EXIT
 INSTALLATION OF PERIMETER SILT FENCE

THE ENTRANCE/EXIT PAD AND PERIMETER SILT FENCE SHALL BE REMOVED ONLY AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED W/VEGETATION.

PLAN SYMBOL	PLAN LABEL	DESCRIPTION
[Symbol]	De1	DUST CONTROL
[Symbol]	Co	CONSTRUCTION ENTRANCE
[Symbol]	Sd1	SEDIMENT BARRIER (SILT FENCE-TYPE)
[Symbol]	De1	TEMPORARY SEEDING
[Symbol]	De2	PERMANENT SEEDING/SODDING
[Symbol]	D	DIVERSION CHANNEL
[Symbol]	Sd4	TEMPORARY SEDIMENT BASIN

SPECIAL NOTES:

1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO LAND-DISTURBING ACTIVITIES.
2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
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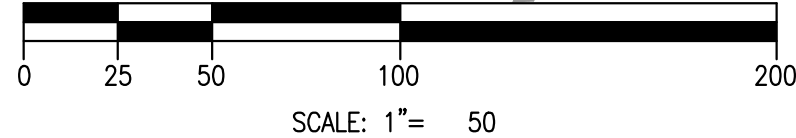
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I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION

TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

PORTION OF TRACT A-2

TRAVIS G. BURKE
 GSWCC CERTIFICATION # 8134



NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 | (7) 912.200.3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. BURKE

REVISION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

INITIAL EROSION PLAN

DATE: 5/17/2018
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SHEET
C7.1

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SOIL EROSION AND SEDIMENT CONTROL LEGEND

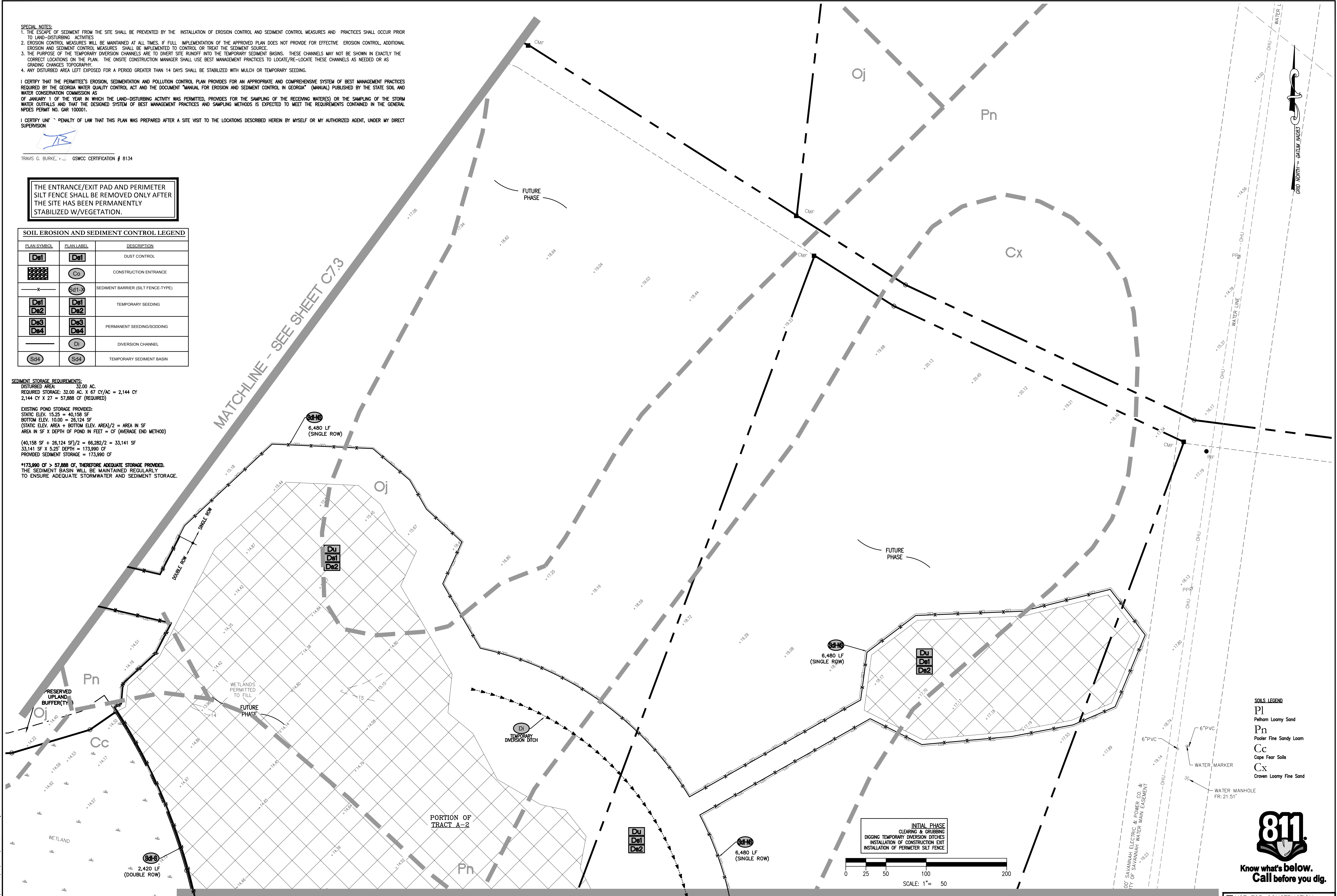
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	De1	DUST CONTROL
	Co	CONSTRUCTION ENTRANCE
	Sd1	SEDIMENT BARRIER (SILT FENCE-TYPE)
	De1	TEMPORARY SEEDING
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	Di	DIVERSION CHANNEL
	Sd4	TEMPORARY SEDIMENT BASIN

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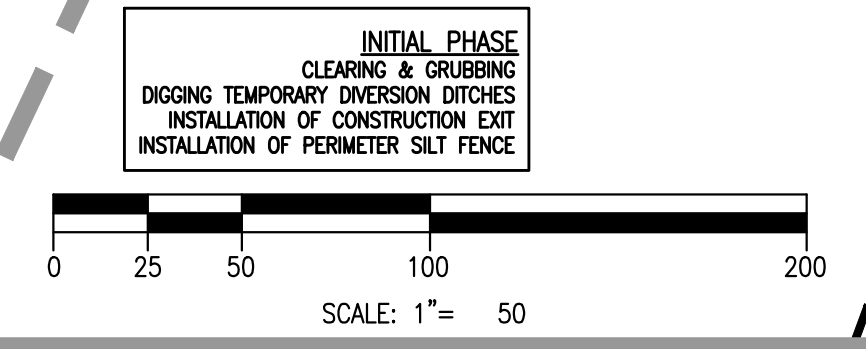
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THE DATE OF THIS PLAN IS 5/17/2018. THE DATE OF THE PREVIOUS EROSION CONTROL PLAN IS 11/17/2016. THE DATE OF THE PREVIOUS EROSION CONTROL PLAN IS 11/17/2016.

PORTION OF TRACT A-2
 RICE HOPE PLANTATION
 N/P: BEP RICE HOPE, LLC
 P/N: 7-0906-04-063

MATCHLINE - SEE SHEET C7.1



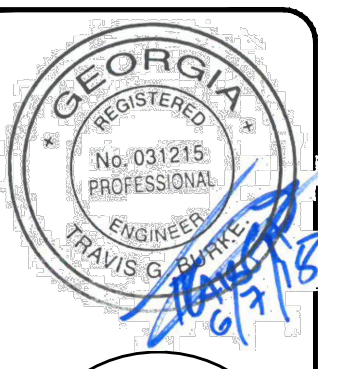
INITIAL PHASE
 CLEARING & GRUBBING
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 INSTALLATION OF CONSTRUCTION EXIT
 INSTALLATION OF PERIMETER SILT FENCE

SOILS LEGEND

Pi	Pelham Loamy Sand
Pn	Pooler Fine Sandy Loam
Cc	Cape Fear Silt
Cx	Crown Loamy Fine Sand



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REVISION

CIVIL CONSTRUCTION PLANS FOR:
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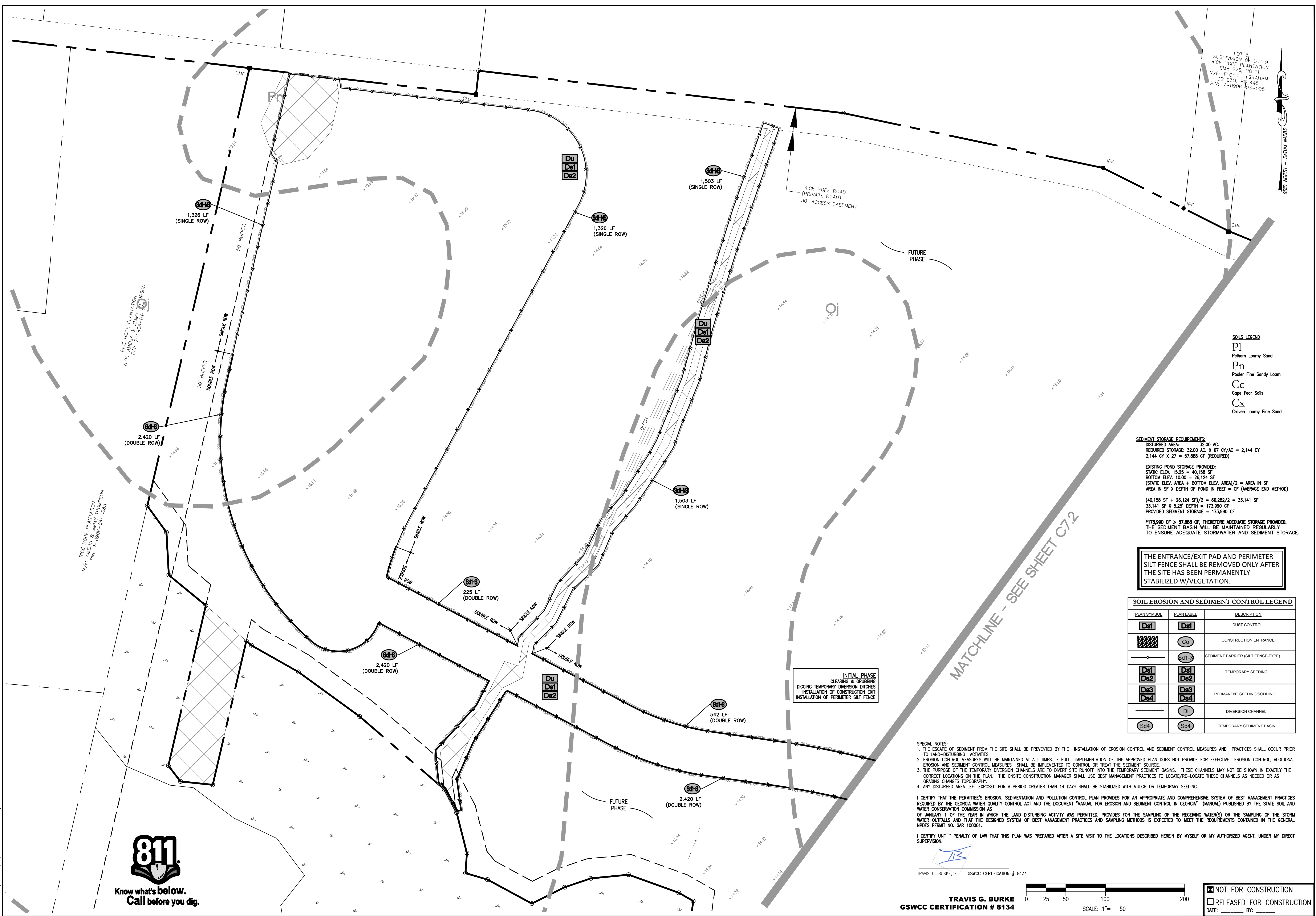
INITIAL EROSION PLAN

DATE: 5/17/2018
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SHEET
C7.2

COLEMAN COMPANY, INC.
 ENGINEERS & SURVEYORS
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (D) 912.200.3041 | (F) 912.200.3056

Attachment: Mulberry Tract PH I Site Plan JULY 2018 (1946 - Site Plan Review Application Mulberry Tract Phase I JULY 2018)



LOT 5
SUBDIVISION OF LOT 9
RICE HOPE PLANTATION
SMB 275, PG 11
N/F: FLOYD L. GRAHAM
DB 2311, PG 445
PIN: 7-0906-03-005

RICE HOPE PLANTATION
N/F: ANIELLA & JIMMY THOMPSON
PIN: 7-0906-04-008

RICE HOPE PLANTATION
N/F: ANIELLA & JIMMY THOMPSON
PIN: 7-0906-04-008A

SOILS LEGEND
 Pl Pelham Loamy Sand
 Pn Pooler Fine Sandy Loam
 Cc Cape Fear Soils
 Cx Craven Loamy Fine Sand

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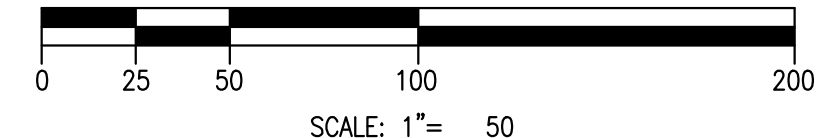
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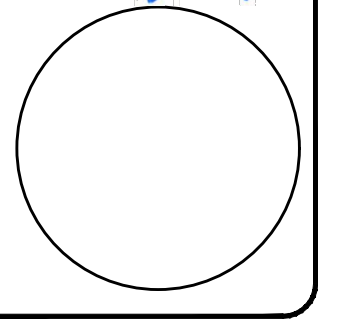
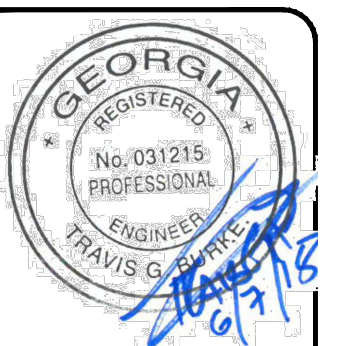
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GSWCC CERTIFICATION # 8134



NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____



REVISION

NO.	DESCRIPTION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

INITIAL
 EROSION PLAN

DATE: 5/17/2018
 SCALE: 1"=50'
 JOB #: 17-100
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
C7.3



MATCHLINE - SEE SHEET C7.5

PORTION OF TRACT A-2

PORTION OF TRACT A-2

oj



SOILS LEGEND

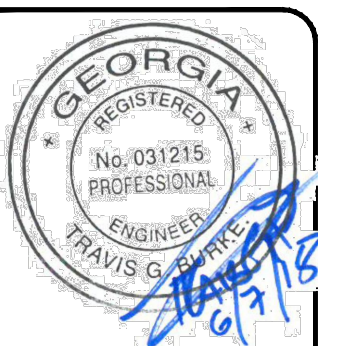
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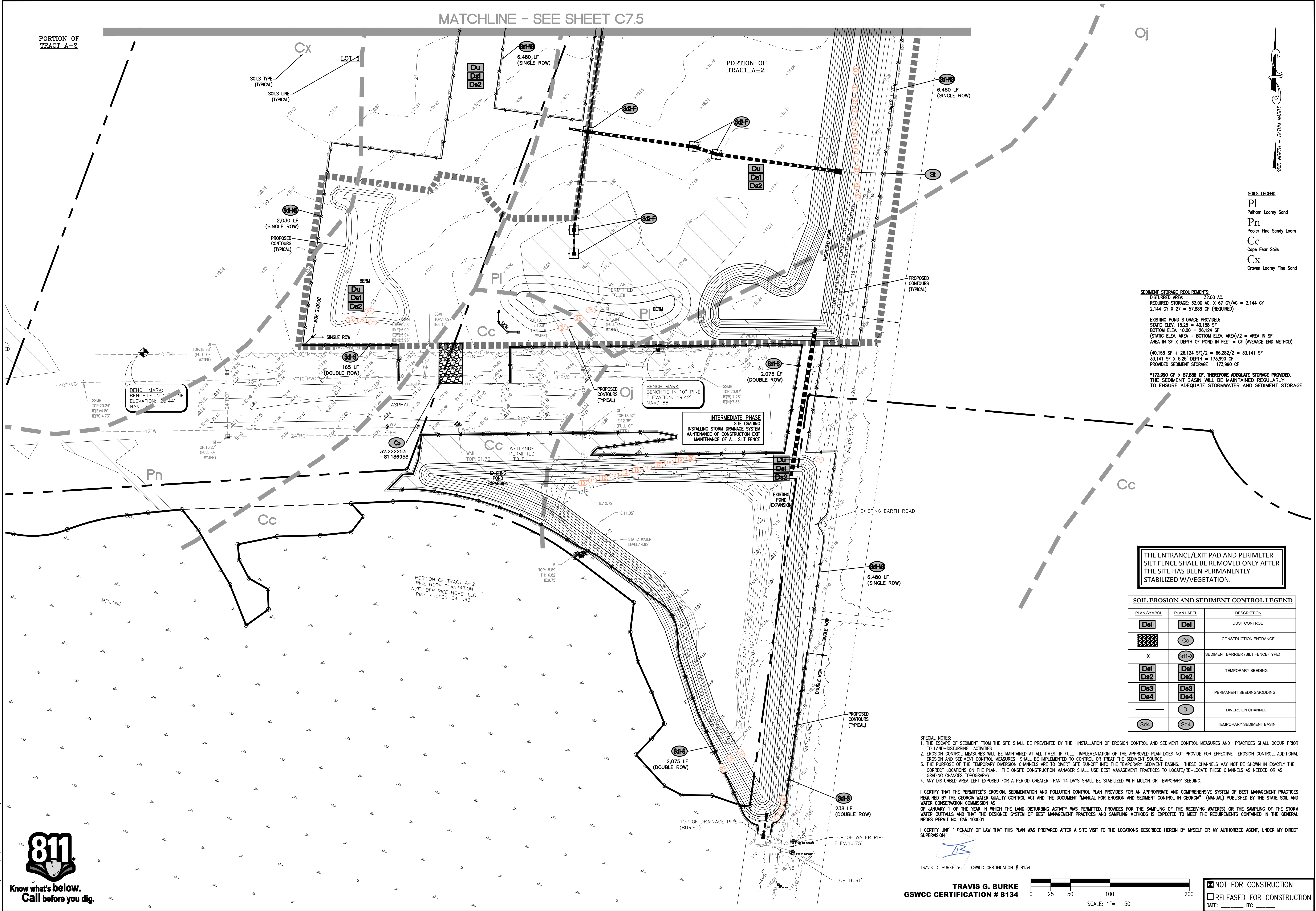
REVISION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

INTERMEDIATE EROSION PLAN

DATE: 5/17/2018
 SCALE: 1"=50'
 JOB #: 17-100
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET C7.4



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SOIL EROSION AND SEDIMENT CONTROL LEGEND

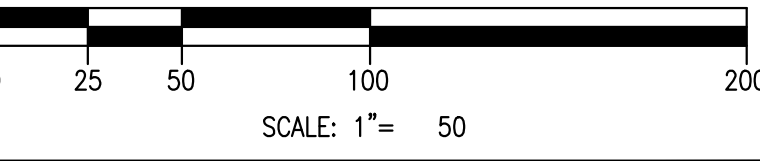
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Co	Co	CONSTRUCTION ENTRANCE
Sd1	Sd1	SEDIMENT BARRIER (SILT FENCE-TYPE)
De1 De2	De1 De2	TEMPORARY SEEDING
De3 De4	De3 De4	PERMANENT SEEDING/SODDING
DI	DI	DIVERSION CHANNEL
Sd4	Sd4	TEMPORARY SEDIMENT BASIN

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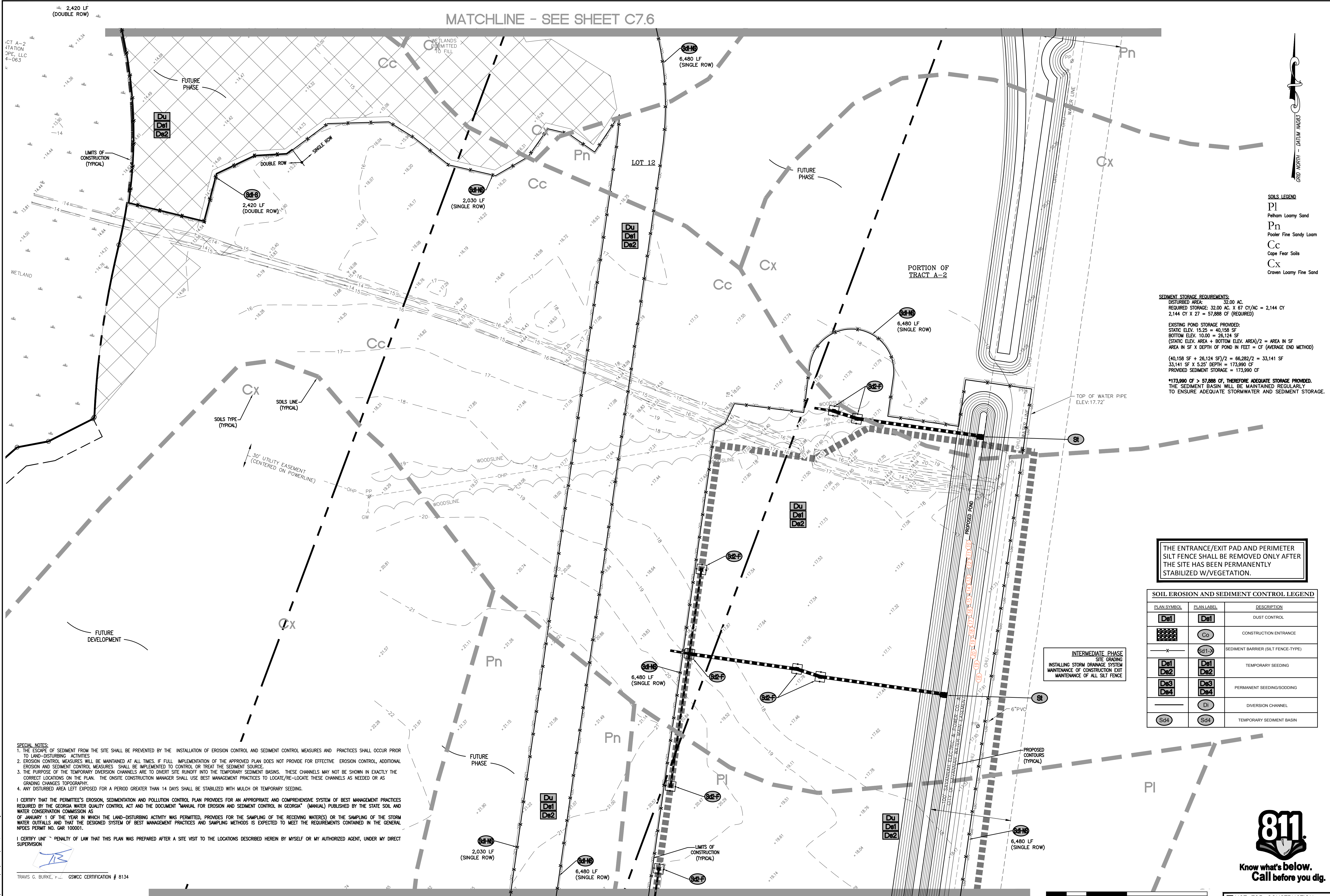


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 DATE: _____ BY: _____

The 07 Jan 2018, 5:28pm, mlsbom, drawing: 17-100-0000/0001/PHASE I/17-100-0001-0001.dwg



MATCHLINE - SEE SHEET C7.6



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 Pn Pooler Fine Sandy Loam
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 Cx Craven Loamy Fine Sand

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[Symbol]	De3	PERMANENT SEEDING/SODDING
[Symbol]	D1	DIVERSION CHANNEL
[Symbol]	Sd4	TEMPORARY SEDIMENT BASIN

INTERMEDIATE PHASE
 SITE GRADING
 INSTALLING STORM DRAINAGE SYSTEM
 MAINTENANCE OF CONSTRUCTION EXIT
 MAINTENANCE OF ALL SILT FENCE

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I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

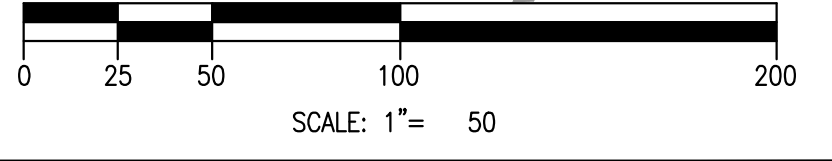
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION

TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

PORTION OF TRACT A-2

MATCHLINE - SEE SHEET C7.4

TRAVIS G. BURKE
 GSWCC CERTIFICATION # 8134



NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 | (7) 912.200.3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. BURKE

REVISION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

INTERMEDIATE
 EROSION PLAN

DATE: 5/17/2018
 SCALE: 1"=50'
 JOB #: 17-100
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
C7.5

SPECIAL NOTES:

1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO LAND-DISTURBING ACTIVITIES.
2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
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TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

THE ENTRANCE/EXIT PAD AND PERIMETER SILT FENCE SHALL BE REMOVED ONLY AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED W/VEGETATION.

SOIL EROSION AND SEDIMENT CONTROL LEGEND

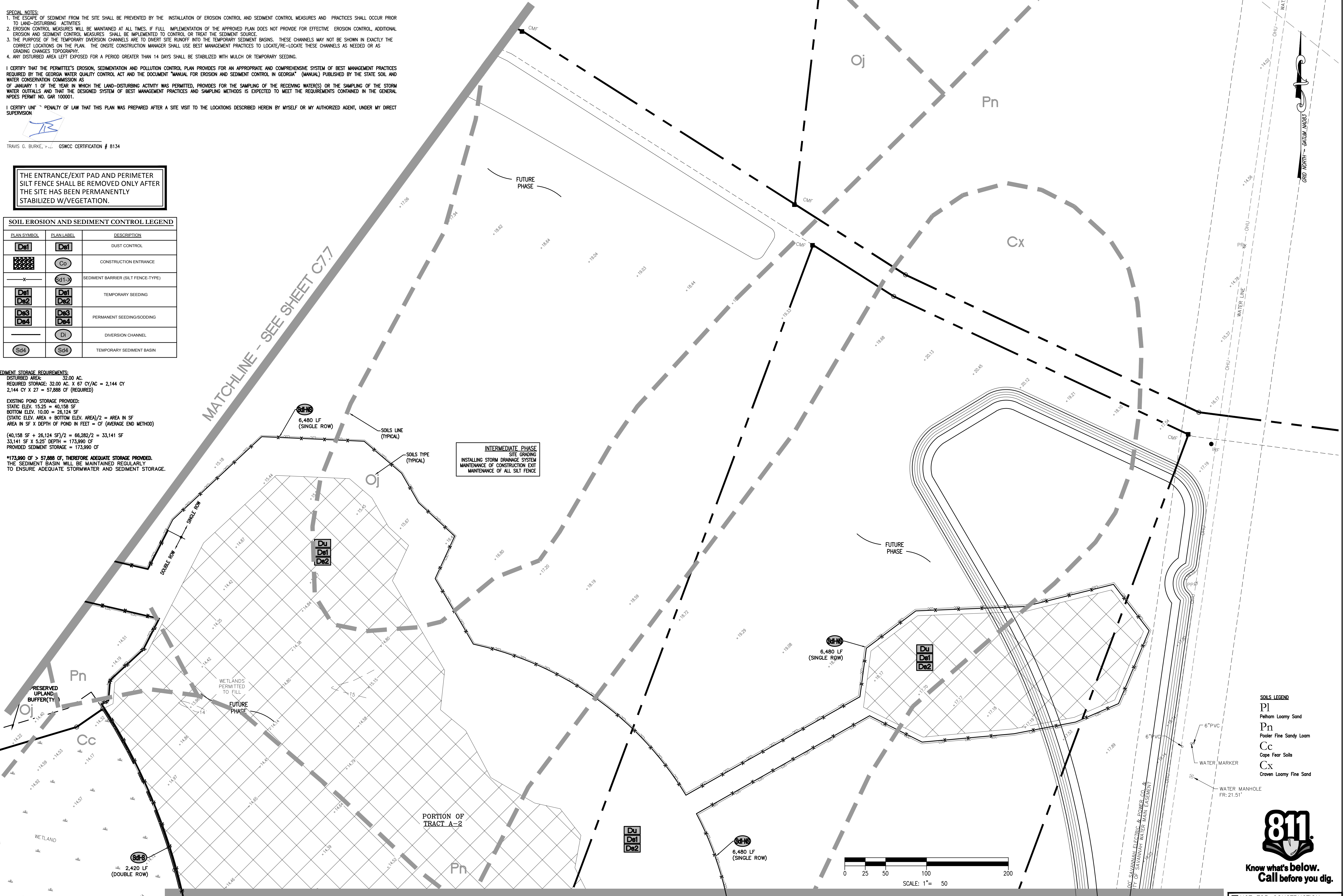
PLAN SYMBOL	PLAN LABEL	DESCRIPTION
	De1	DUST CONTROL
	Co	CONSTRUCTION ENTRANCE
	Sd1	SEDIMENT BARRIER (SILT FENCE-TYPE)
	De1	TEMPORARY SEEDING
	De2	PERMANENT SEEDING/GRASSING
	Di	DIVERSION CHANNEL
	Sd4	TEMPORARY SEDIMENT BASIN

SEDIMENT STORAGE REQUIREMENTS:
 DISTURBED AREA = 32,000 AC.
 REQUIRED STORAGE: 32.00 AC X 67 CY/AC = 2,144 CY
 2,144 CY X 27 = 57,888 CF (REQUIRED)

EXISTING POND STORAGE PROVIDED:
 STATIC ELEV. 15.25 = 40,158 SF
 BOTTOM ELEV. 10.00 = 26,124 SF
 (STATIC ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF
 AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)

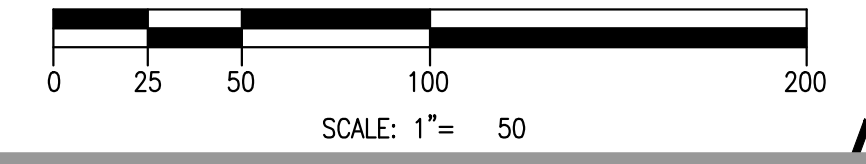
(40,158 SF + 26,124 SF)/2 = 66,282/2 = 33,141 SF
 33,141 SF X 5.25' DEPTH = 173,990 CF
 PROVIDED SEDIMENT STORAGE = 173,990 CF

*173,990 CF > 57,888 CF, THEREFORE ADEQUATE STORAGE PROVIDED.
 THE SEDIMENT BASIN WILL BE MAINTAINED REGULARLY TO ENSURE ADEQUATE STORMWATER AND SEDIMENT STORAGE.

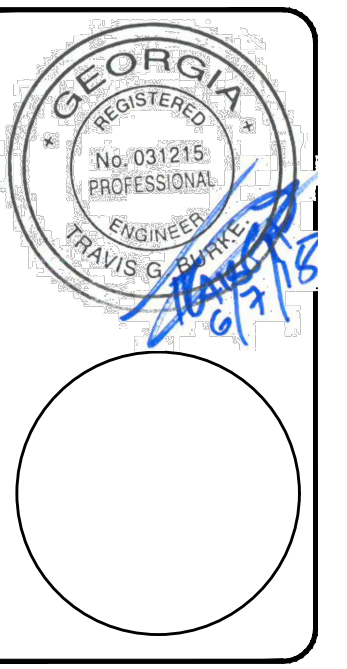


INTERMEDIATE PHASE SITE GRADING
 INSTALLING STORM DRAINAGE SYSTEM
 MAINTENANCE OF CONSTRUCTION EXIT
 MAINTENANCE OF ALL SILT FENCE

- SOILS LEGEND**
- Pl Pelham Loamy Sand
 - Pn Pooler Fine Sandy Loam
 - Cc Cape Fear Soils
 - Cx Crown Loamy Fine Sand



NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____



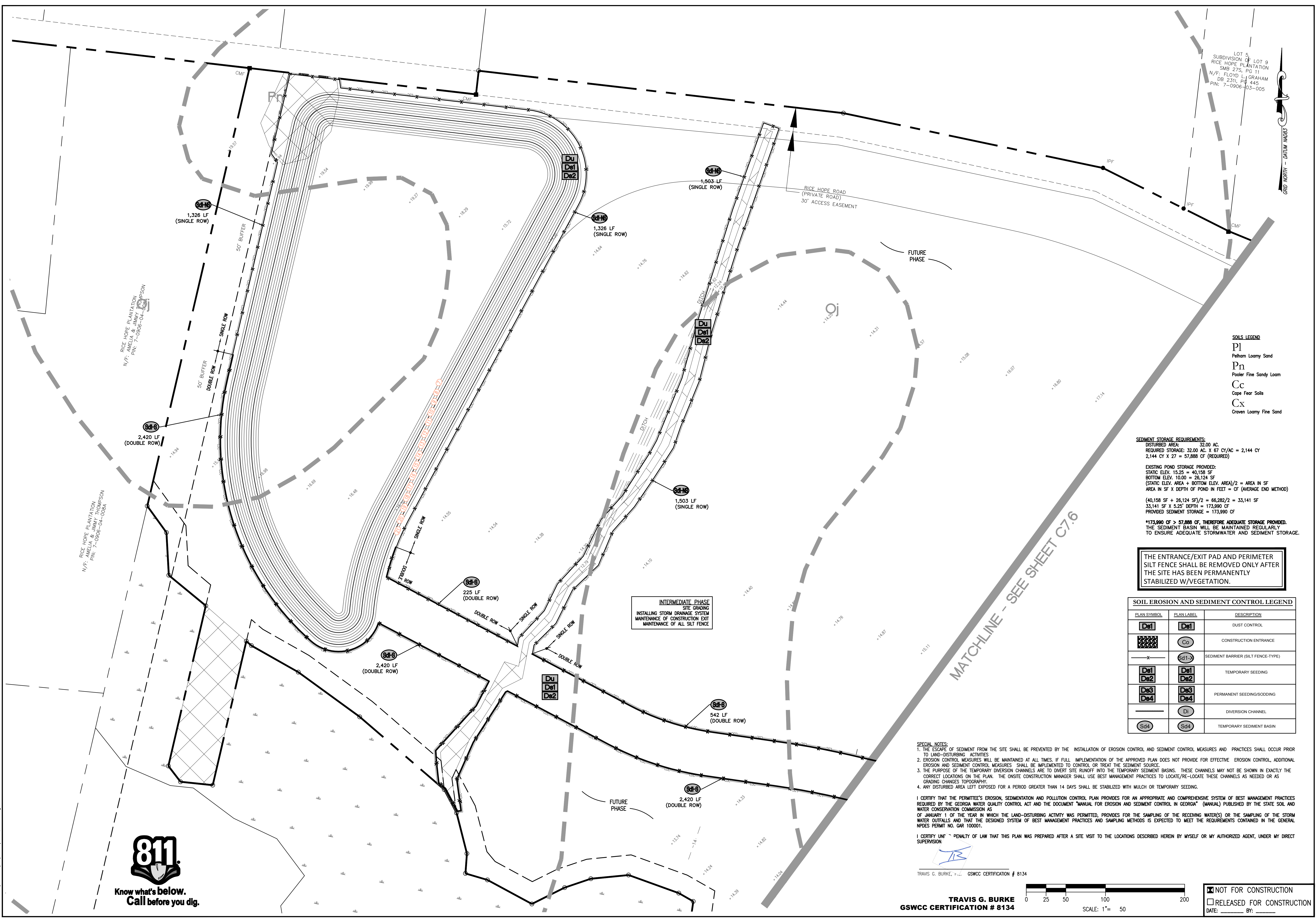
REVISION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

INTERMEDIATE
 EROSION PLAN

DATE: 5/17/2018
 SCALE: 1"=50'
 JOB #: 17-100
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
C7.6



LOT 5
SUBDIVISION OF LOT 9
RICE HOPE PLANTATION
SMB 275, PG 11
N/F: FLOYD L. GRAHAM
DB 2311, PG 445
PIN: 7-0906-03-005

RICE HOPE PLANTATION
N/F: ANIELLA & JIMMY THOMPSON
PIN: 7-0906-04-003

RICE HOPE PLANTATION
N/F: ANIELLA & JIMMY THOMPSON
PIN: 7-0906-04-003A

- SOILS LEGEND**
- Pl Pelham Loamy Sand
 - Pn Pooler Fine Sandy Loam
 - Cc Cape Fear Soils
 - Cx Craven Loamy Fine Sand

SEDIMENT STORAGE REQUIREMENTS:
 DISTURBED AREA: 32.00 AC.
 REQUIRED STORAGE: 32.00 AC. X 67 CY/AC = 2,144 CY
 2,144 CY X 27 = 57,888 CF (REQUIRED)

EXISTING POND STORAGE PROVIDED:
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 AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)

(40,158 SF + 26,124 SF)/2 = 66,282/2 = 33,141 SF
 33,141 SF X 5.25' DEPTH = 173,990 CF
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***173,990 CF > 57,888 CF, THEREFORE ADEQUATE STORAGE PROVIDED.
 THE SEDIMENT BASIN WILL BE MAINTAINED REGULARLY
 TO ENSURE ADEQUATE STORMWATER AND SEDIMENT STORAGE.**

THE ENTRANCE/EXIT PAD AND PERIMETER
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INTERMEDIATE PHASE
 SITE GRADING
 INSTALLING STORM DRAINAGE SYSTEM
 MAINTENANCE OF CONSTRUCTION EXIT
 MAINTENANCE OF ALL SILT FENCE

SOIL EROSION AND SEDIMENT CONTROL LEGEND

PLAN SYMBOL	PLAN LABEL	DESCRIPTION
[Symbol]	De1	DUST CONTROL
[Symbol]	Co	CONSTRUCTION ENTRANCE
[Symbol]	Sd1	SEDIMENT BARRIER (SILT FENCE-TYPE)
[Symbol]	De1	TEMPORARY SEEDING
[Symbol]	De3	PERMANENT SEEDING/SODDING
[Symbol]	Di	DIVERSION CHANNEL
[Symbol]	Sd4	TEMPORARY SEDIMENT BASIN

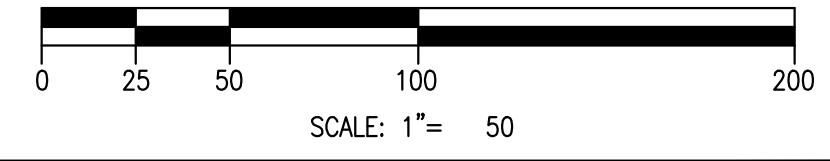
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TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

TRAVIS G. BURKE
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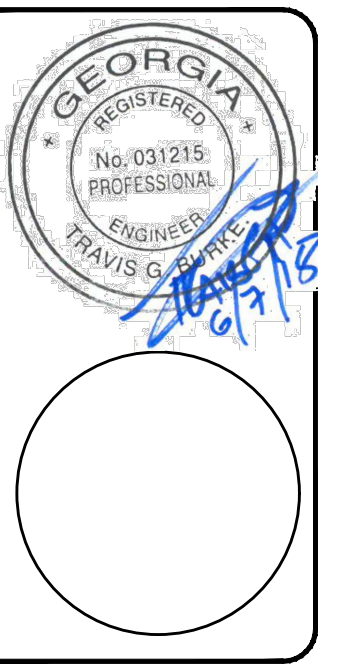


NOT FOR CONSTRUCTION
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 DATE: _____ BY: _____

**INTERMEDIATE
 EROSION PLAN**

DATE: 5/17/2018
 SCALE: 1"=50'
 JOB #: 17-100
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
C7.7



REVISION

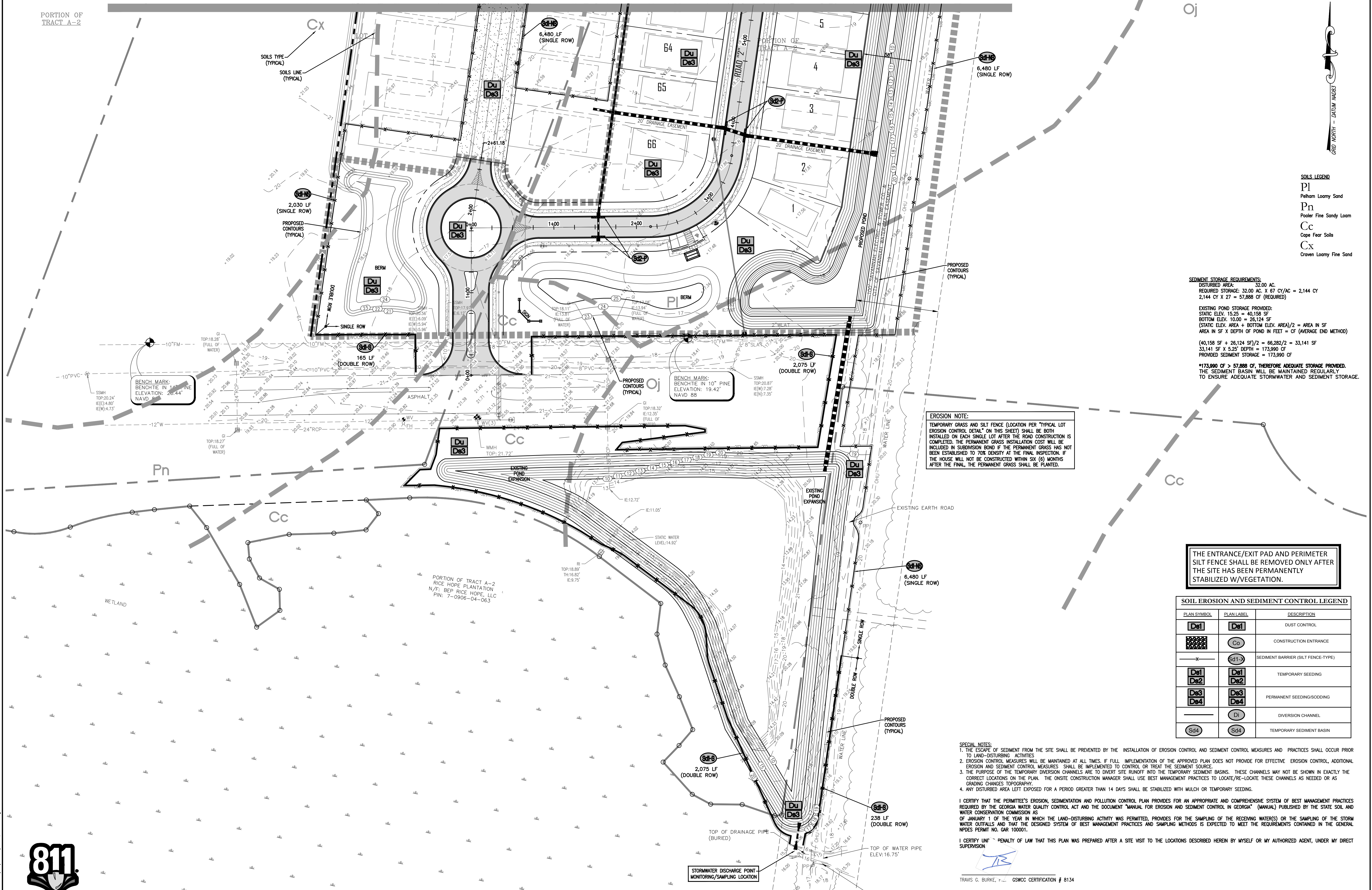
**CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS**

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 (F) 912.200.3056



MATCHLINE - SEE SHEET C7.9

PORTION OF TRACT A-2



SOILS LEGEND

- Pl Palom Loamy Sand
- Pn Pooler Fine Sandy Loam
- Cc Cape Fear Soils
- Cx Craven Loamy Fine Sand

SEDIMENT STORAGE REQUIREMENTS:
 DISTURBED AREA = 32.00 AC.
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 2,144 CY X 27 = 57,888 CF (REQUIRED)

EXISTING POND STORAGE PROVIDED:
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(40,156 SF + 26,124 SF)/2 = 66,282/2 = 33,141 SF
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EROSION NOTE:
 TEMPORARY GRASS AND SILT FENCE (LOCATION PER TYPICAL LOT EROSION CONTROL DETAIL" ON THIS SHEET) SHALL BE BOTH INSTALLED ON EACH SINGLE LOT AFTER THE ROAD CONSTRUCTION IS COMPLETED. THE PERMANENT GRASS INSTALLATION COST WILL BE INCLUDED IN SUBDIVISION BOND IF THE PERMANENT GRASS HAS NOT BEEN ESTABLISHED TO 70% DENSITY AT THE FINAL INSPECTION. IF THE HOUSE WILL NOT BE CONSTRUCTED WITHIN SIX (6) MONTHS AFTER THE FINAL, THE PERMANENT GRASS SHALL BE PLANTED.

THE ENTRANCE/EXIT PAD AND PERIMETER SILT FENCE SHALL BE REMOVED ONLY AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED W/VEGETATION.

PLAN SYMBOL	PLAN LABEL	DESCRIPTION
De1	De1	DUST CONTROL
[Symbol]	Co	CONSTRUCTION ENTRANCE
[Symbol]	Sd1	SEDIMENT BARRIER (SILT FENCE-TYPE)
De1	De2	TEMPORARY SEEDING
De3	De4	PERMANENT SEEDING/SODDING
[Symbol]	Di	DIVERSION CHANNEL
Sd4	Sd4	TEMPORARY SEDIMENT BASIN

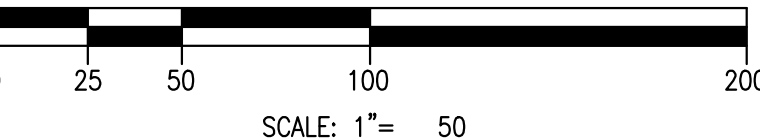
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TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

TRAVIS G. BURKE
 GSWCC CERTIFICATION # 8134



NOT FOR CONSTRUCTION
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 DATE: _____ BY: _____

COLEMAN COMPANY, INC.
 ENGINEERS & SURVEYORS
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (D) 912.200.3041 (F) 912.200.3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. BURKE

REVISION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

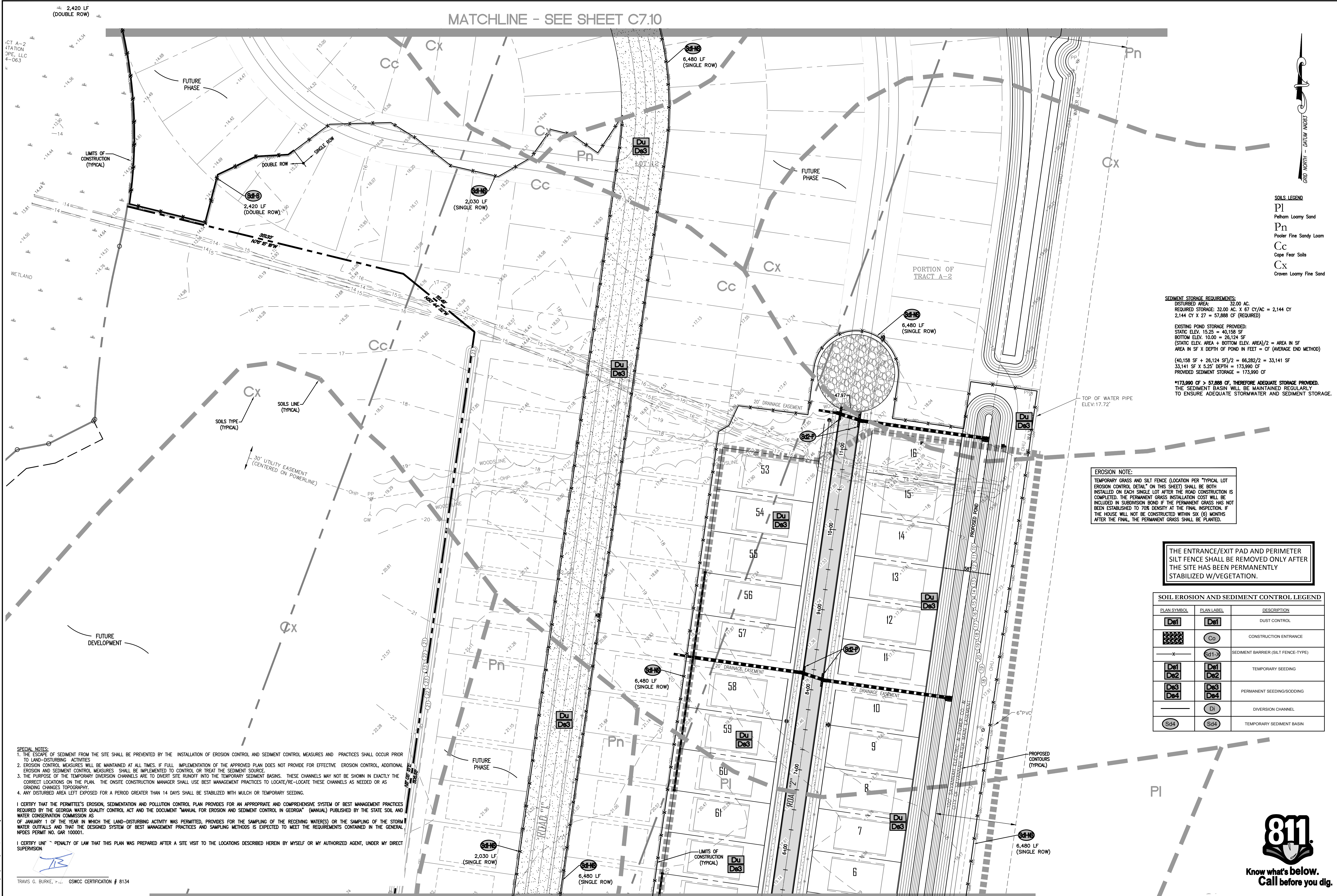
FINAL EROSION PLAN

DATE: 5/17/2018
 SCALE: 1"=50'
 JOB #: 17-100
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
C7.8

811
 Know what's below.
 Call before you dig.

MATCHLINE - SEE SHEET C7.10



- SOILS LEGEND**
- PI Palom Loamy Sand
 - Pn Pooler Fine Sandy Loam
 - Cc Cape Fear Soils
 - Cx Craven Loamy Fine Sand

SEDIMENT STORAGE REQUIREMENTS:
 DISTURBED AREA = 32.00 AC.
 REQUIRED STORAGE: 32.00 AC X 67 CY/AC = 2,144 CY
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PLAN SYMBOL	PLAN LABEL	DESCRIPTION
[Symbol]	De1	DUST CONTROL
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[Symbol]	Sd1	SEDIMENT BARRIER (SILT FENCE-TYPE)
[Symbol]	De1	TEMPORARY SEEDING
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[Symbol]	D1	DIVERSION CHANNEL
[Symbol]	Sd4	TEMPORARY SEDIMENT BASIN

SPECIAL NOTES:

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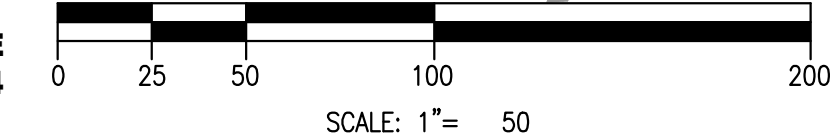
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TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

PORTION OF TRACT A-2

MATCHLINE - SEE SHEET C7.8

TRAVIS G. BURKE
 GSWCC CERTIFICATION # 8134



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COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
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 (912) 200-3041 (F) 912.200.3056

REGISTERED PROFESSIONAL ENGINEER
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 No. 031215

REVISION

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SHEET
C7.9

SPECIAL NOTES:

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I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

THE ENTRANCE/EXIT PAD AND PERIMETER SILT FENCE SHALL BE REMOVED ONLY AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED W/VEGETATION.

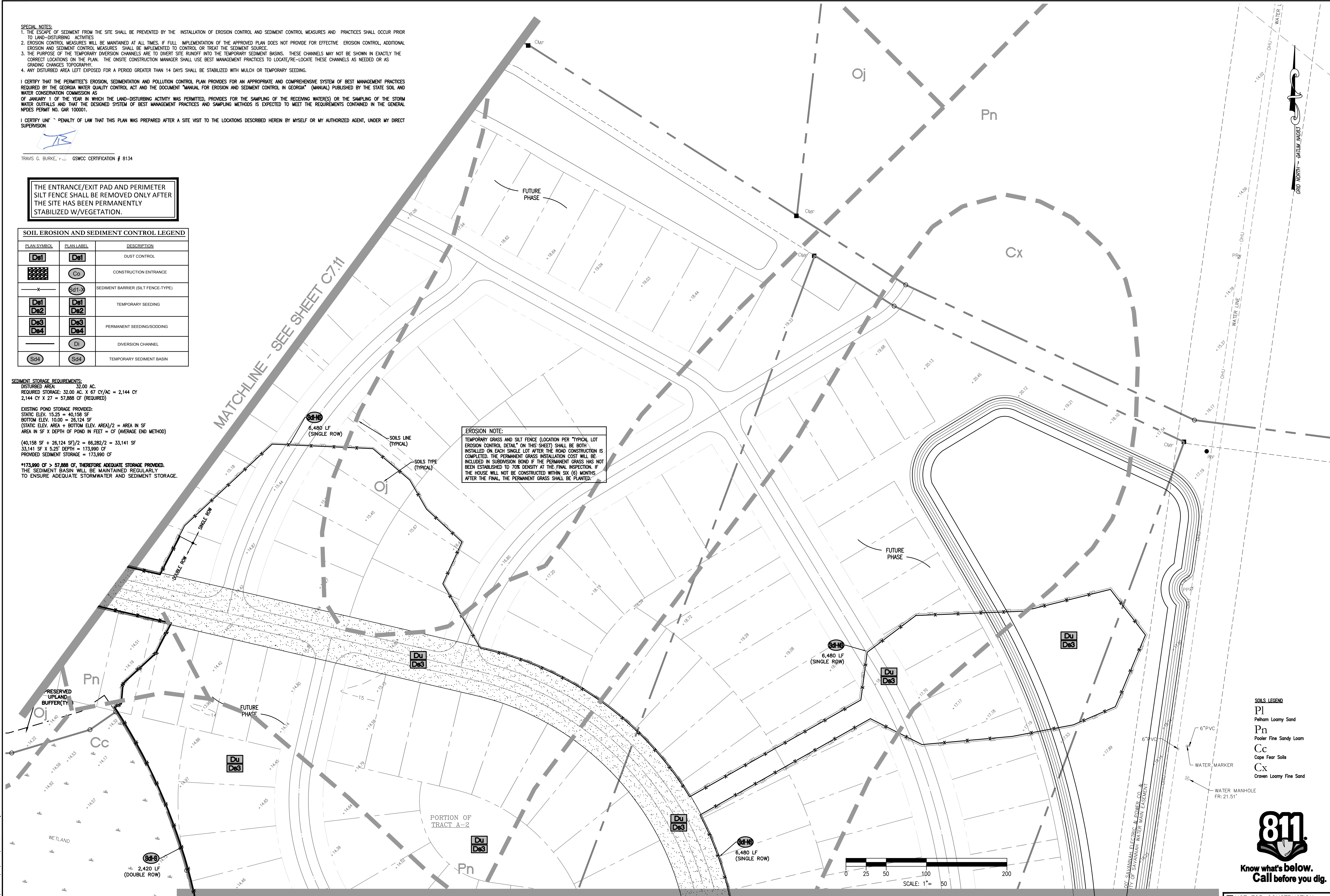
SOIL EROSION AND SEDIMENT CONTROL LEGEND		
PLAN SYMBOL	PLAN LABEL	DESCRIPTION
	De1	DUST CONTROL
	Co	CONSTRUCTION ENTRANCE
	Sd1	SEDIMENT BARRIER (SILT FENCE-TYPE)
	De1	TEMPORARY SEEDING
	De3	PERMANENT SEEDING/GRASSING
	Di	DIVERSION CHANNEL
	Sd4	TEMPORARY SEDIMENT BASIN

SEDIMENT STORAGE REQUIREMENTS:
 DISTURBED AREA = 32,000 AC.
 REQUIRED STORAGE: 32.00 AC X 67 CY/AC = 2,144 CY
 2,144 CY X 27 = 57,888 CF (REQUIRED)

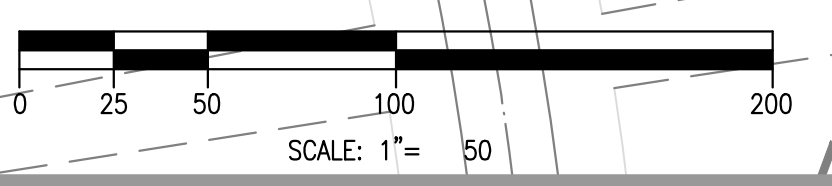
EXISTING POND STORAGE PROVIDED:
 STATIC ELEV. 15.25 = 40,158 SF
 BOTTOM ELEV. 10.00 = 26,124 SF
 (STATIC ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF
 AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)
 (40,158 SF + 26,124 SF)/2 = 66,282/2 = 33,141 SF
 33,141 SF X 5.25' DEPTH = 173,990 CF
 PROVIDED SEDIMENT STORAGE = 173,990 CF

*173,990 CF > 57,888 CF, THEREFORE ADEQUATE STORAGE PROVIDED.
 THE SEDIMENT BASIN WILL BE MAINTAINED REGULARLY TO ENSURE ADEQUATE STORMWATER AND SEDIMENT STORAGE.

EROSION NOTE:
 TEMPORARY GRASS AND SILT FENCE (LOCATION PER "TYPICAL LOT EROSION CONTROL DETAIL" ON THIS SHEET) SHALL BE BOTH INSTALLED ON EACH SINGLE LOT AFTER THE ROAD CONSTRUCTION IS COMPLETED. THE PERMANENT GRASS INSTALLATION COST WILL BE INCLUDED IN SUBDIVISION BOND IF THE PERMANENT GRASS HAS NOT BEEN ESTABLISHED TO 70% DENSITY AT THE FINAL INSPECTION. IF THE HOUSE WILL NOT BE CONSTRUCTED WITHIN SIX (6) MONTHS AFTER THE FINAL, THE PERMANENT GRASS SHALL BE PLANTED.



- SOILS LEGEND**
- Pl Pelham Loamy Sand
 - Pn Pooler Fine Sandy Loam
 - Cc Cape Fear Soils
 - Cx Crown Loamy Fine Sand



NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE | SUITE 201
 SAVANNAH, GA 31405
 (D) 912.200.3041 | (F) 912.200.3056

ENGINEERS & SURVEYORS

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. BURKE

REVISION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

FINAL EROSION PLAN

DATE: 5/17/2018
 SCALE: 1"=50'
 JOB #: 17-100
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
C7.10

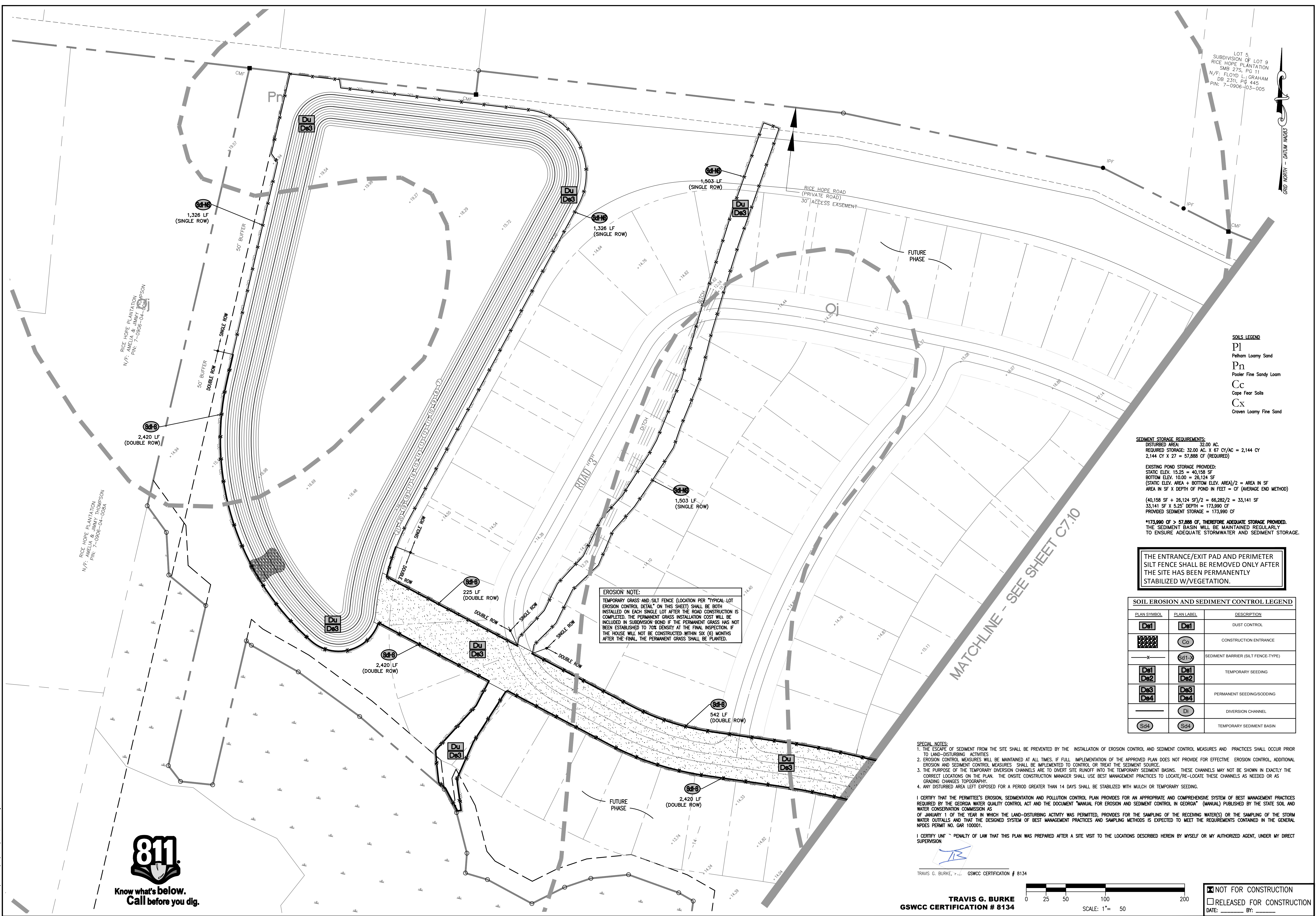
THE DATE OF THIS PLAN IS 5/17/2018. THE PLAN IS FOR THE MULBERRY TRACT PHASE I. THE PLAN IS FOR THE MULBERRY TRACT PHASE I. THE PLAN IS FOR THE MULBERRY TRACT PHASE I.

PORTION OF TRACT A-2
 RICE HOPE PLANTATION
 N/P: BEP RICE HOPE, LLC
 P/N: 7-0906-04-063

MATCHLINE - SEE SHEET C7.9

TRAVIS G. BURKE
 GSWCC CERTIFICATION # 8134

Attachment: Mulberry Tract PH I Site Plan JULY 2018 (1946 - Site Plan Review Application Mulberry Tract Phase I JULY 2018)



LOT 5
SUBDIVISION OF LOT 9
RICE HOPE PLANTATION
SMB 275, PG 11
N/F: FLOYD L. GRAHAM
DB 2311, PG 445
PIN: 7-0906-03-005

RICE HOPE PLANTATION
N/F: ANIELLA & JIMMY THOMPSON
PIN: 7-0906-04-003

RICE HOPE PLANTATION
N/F: ANIELLA & JIMMY THOMPSON
PIN: 7-0906-04-003A

SOILS LEGEND
 Pl Pelham Loamy Sand
 Pn Pooler Fine Sandy Loam
 Cc Cape Fear Soils
 Cx Craven Loamy Fine Sand

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***173,990 CF > 57,888 CF, THEREFORE ADEQUATE STORAGE PROVIDED.**
 THE SEDIMENT BASIN WILL BE MAINTAINED REGULARLY TO ENSURE ADEQUATE STORMWATER AND SEDIMENT STORAGE.

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EROSION NOTE:
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SOIL EROSION AND SEDIMENT CONTROL LEGEND

PLAN SYMBOL	PLAN LABEL	DESCRIPTION
[Symbol]	De1	DUST CONTROL
[Symbol]	Co	CONSTRUCTION ENTRANCE
[Symbol]	Sd1-S	SEDIMENT BARRIER (SILT FENCE-TYPE)
[Symbol]	De1	TEMPORARY SEEDING
[Symbol]	De2	PERMANENT SEEDING/SODDING
[Symbol]	Di	DIVERSION CHANNEL
[Symbol]	Sd4	TEMPORARY SEDIMENT BASIN

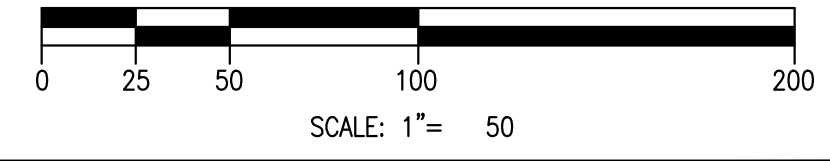
- SPECIAL NOTES:**
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO LAND-DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - THE PURPOSE OF THE TEMPORARY DIVERSION CHANNELS ARE TO DIVERT SITE RUNOFF INTO THE TEMPORARY SEDIMENT BASINS. THESE CHANNELS MAY NOT BE SHOWN IN EXACTLY THE CORRECT LOCATIONS ON THE PLAN. THE ONSITE CONSTRUCTION MANAGER SHALL USE BEST MANAGEMENT PRACTICES TO LOCATE/RE-LOCATE THESE CHANNELS AS NEEDED OR AS GRADING CHANGES TOPOGRAPHY.
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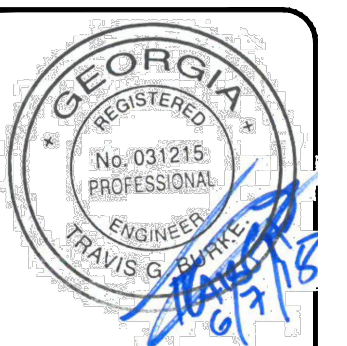
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION

TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

TRAVIS G. BURKE
 GSWCC CERTIFICATION # 8134



NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____



REVISION

NO.	DESCRIPTION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

FINAL
 EROSION PLAN

DATE: 5/17/2018
 SCALE: 1"=50'
 JOB #: 17-100
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
C7.11



TENTATIVE ACTIVITY SCHEDULE						
	OCT	NOV	DEC	JAN	FEB	MAR
CLEARING AND GRUBBING						
CONSTRUCTION EXIT						
RETROFIT						
INLET SEDIMENT TRAP						
DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)						
DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)						
GRADING						
PRING						
MAINTENANCE OF ES&PC BMPs						

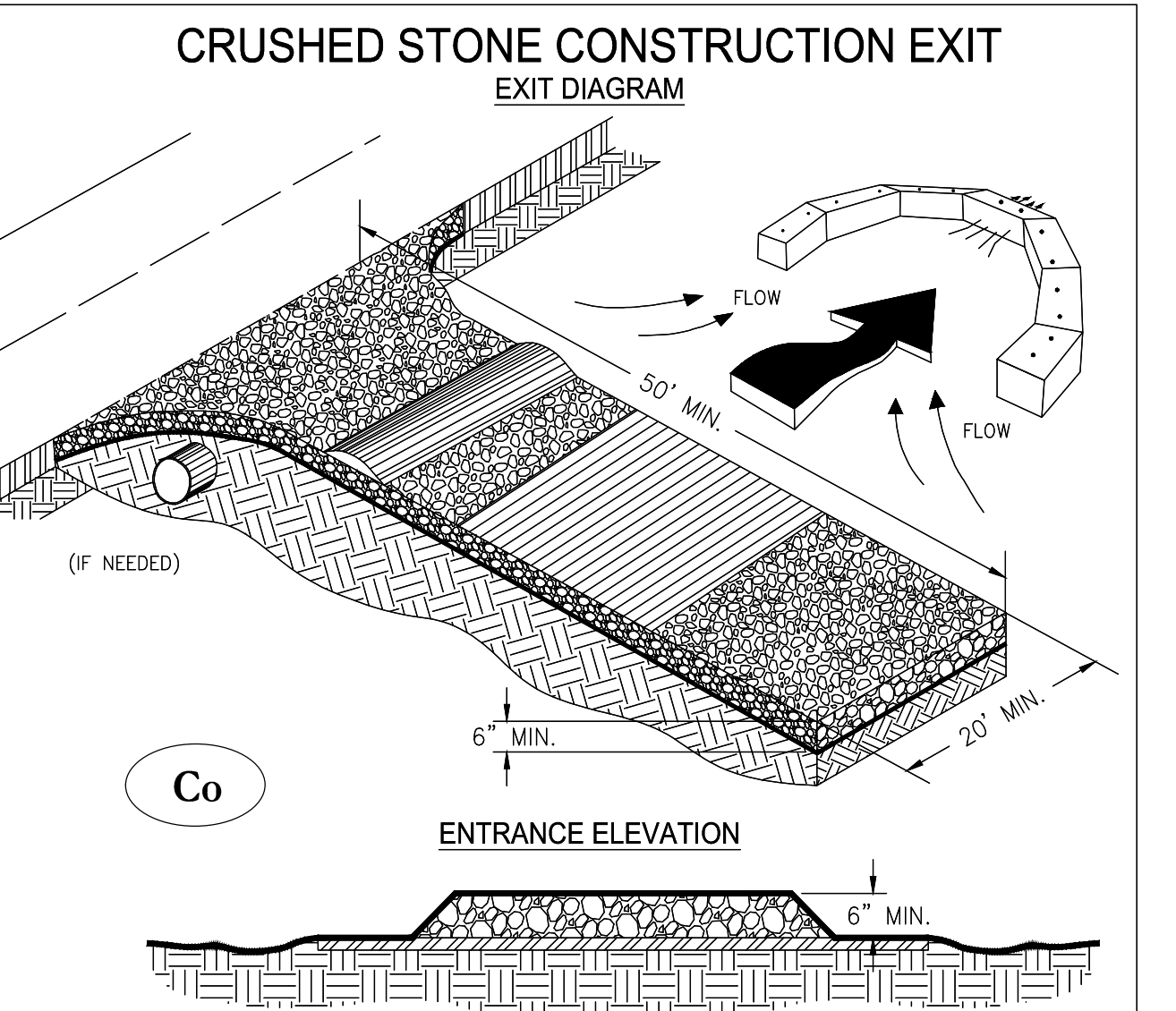
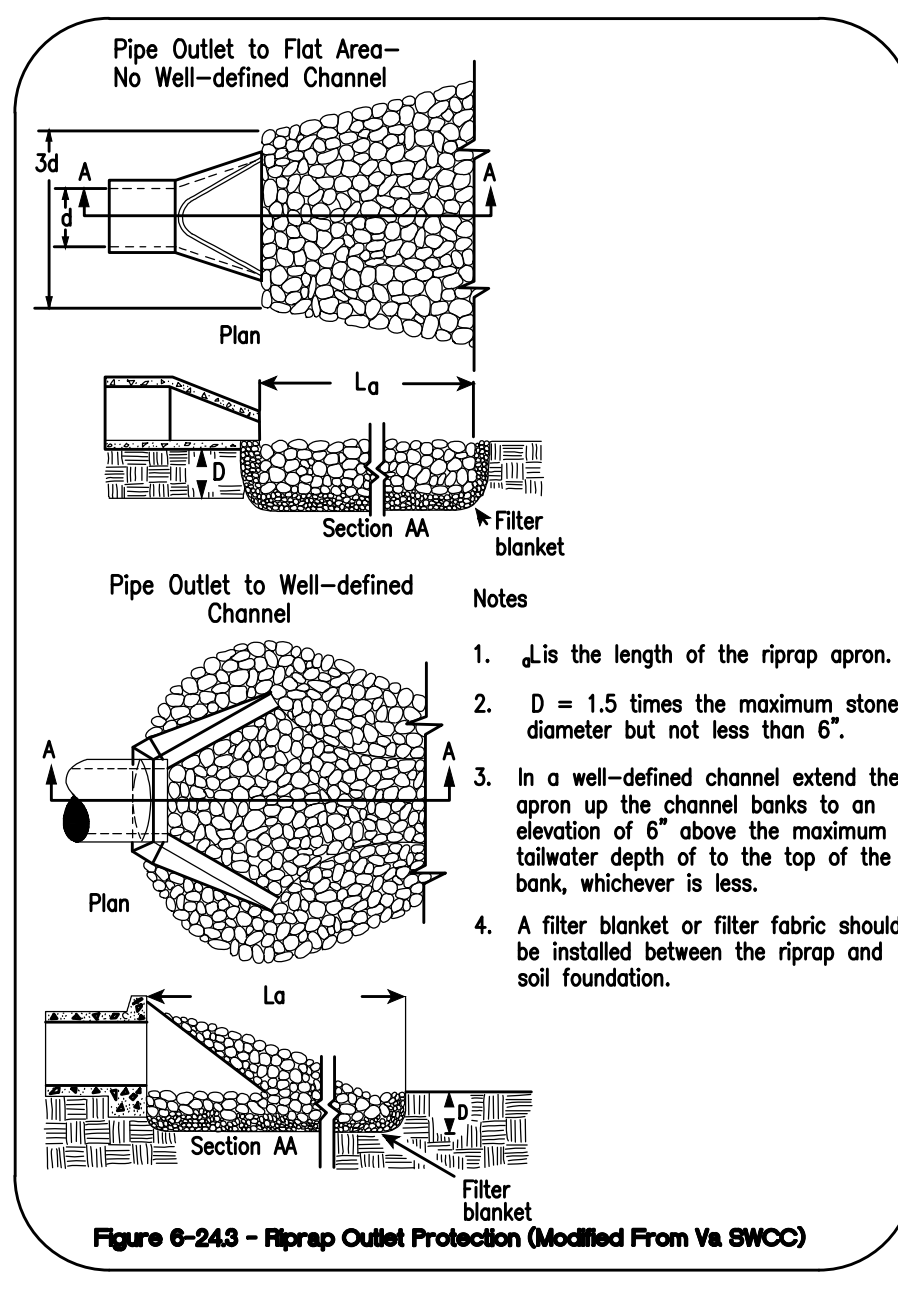
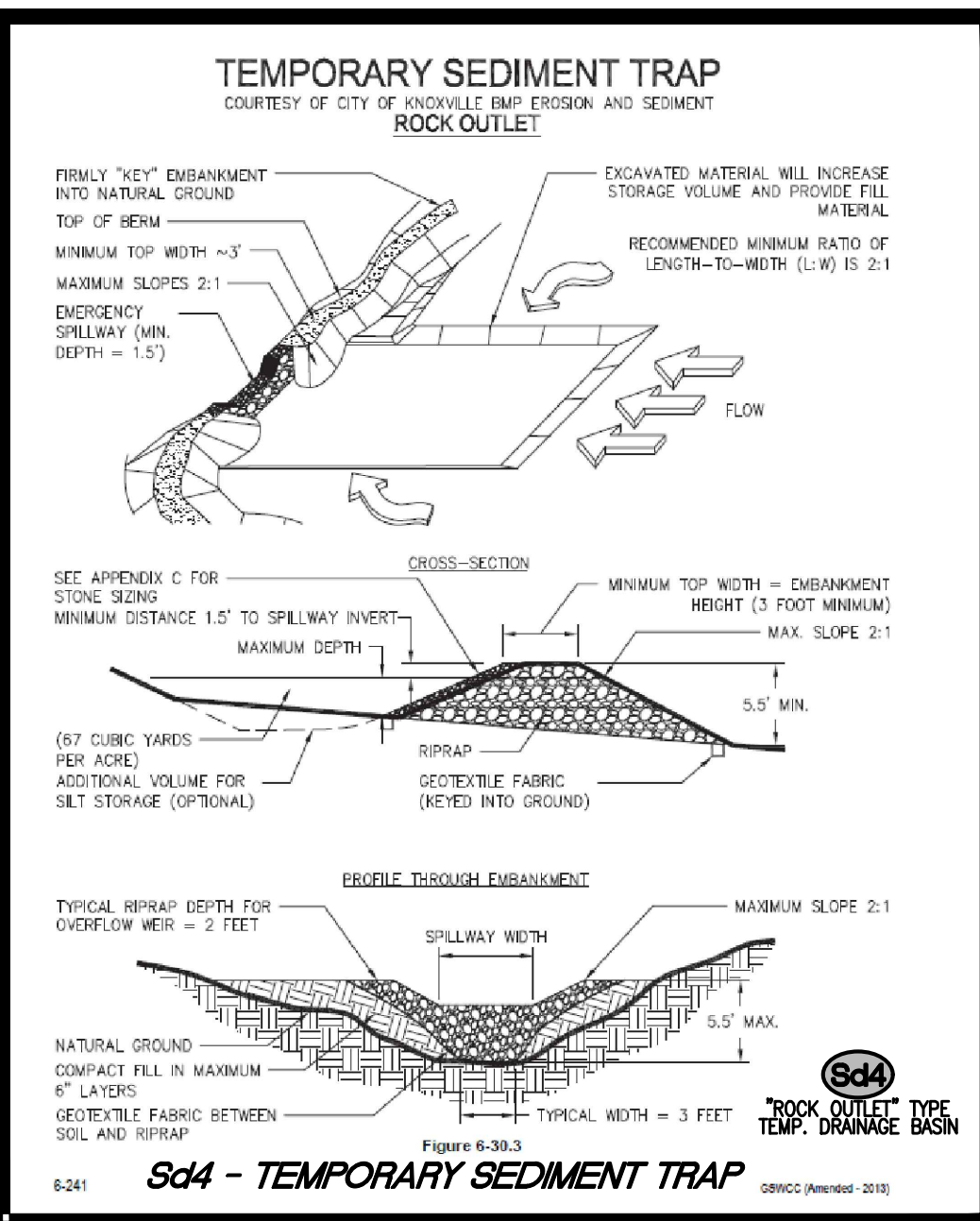
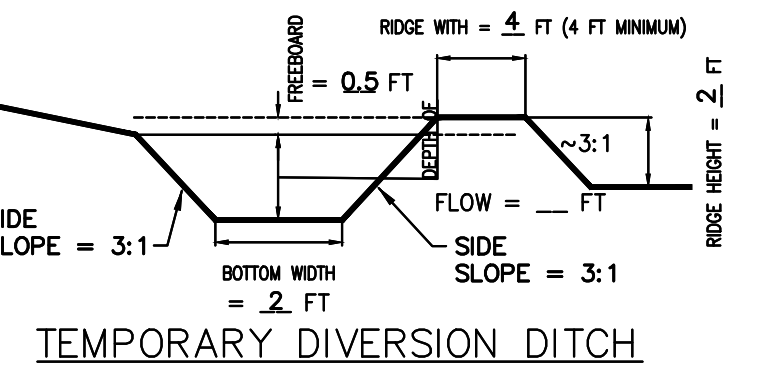


SEDIMENT STORAGE REQUIREMENTS:
 DISTURBED AREA: 12.00 AC.
 REQUIRED STORAGE: 12.00 AC. X 67 CY/AC = 804 CY
 804 CY X 27 = 21,708 CF (REQUIRED)

EXISTING POND STORAGE PROVIDED:
 STATIC ELEV. 14.00 = 34,045.08 SF
 BOTTOM ELEV. 11.00 = 24,370.52 SF
 (STATIC ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF
 AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)

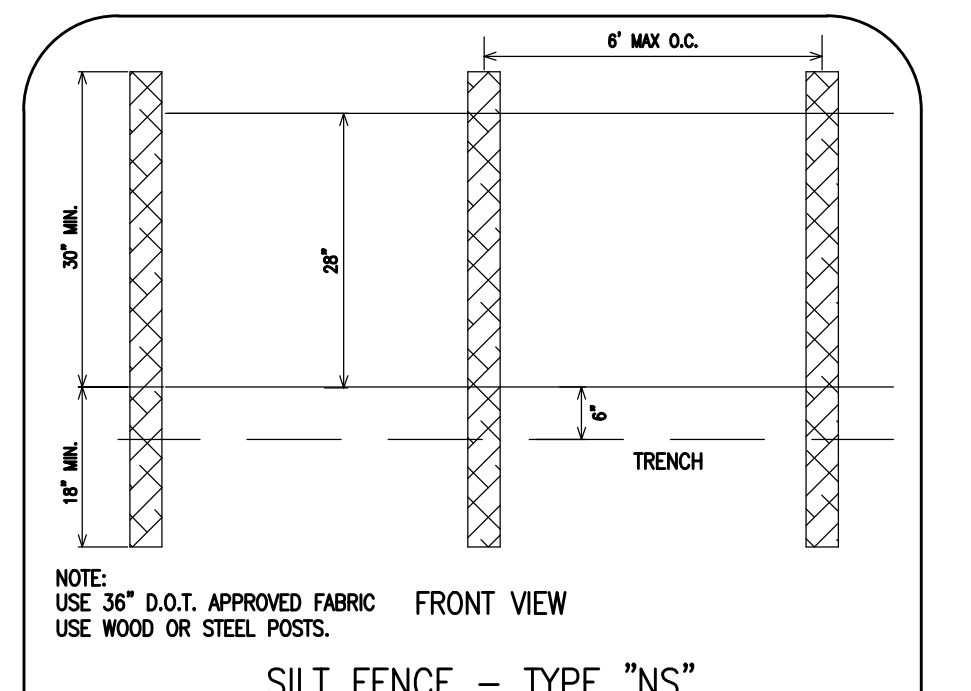
(34,045.08 SF + 24,370.52 SF)/2 = 29,207.80 SF
 29,207.80 SF X 3.00' DEPTH = 87,623.40 CF
 PROVIDED SEDIMENT STORAGE = 87,623.40 CF

***87,623.40 CF > 21,708 CF, THEREFORE ADEQUATE STORAGE PROVIDED.**
 THE SEDIMENT BASIN WILL BE MAINTAINED REGULARLY TO ENSURE ADEQUATE STORMWATER AND SEDIMENT STORAGE.

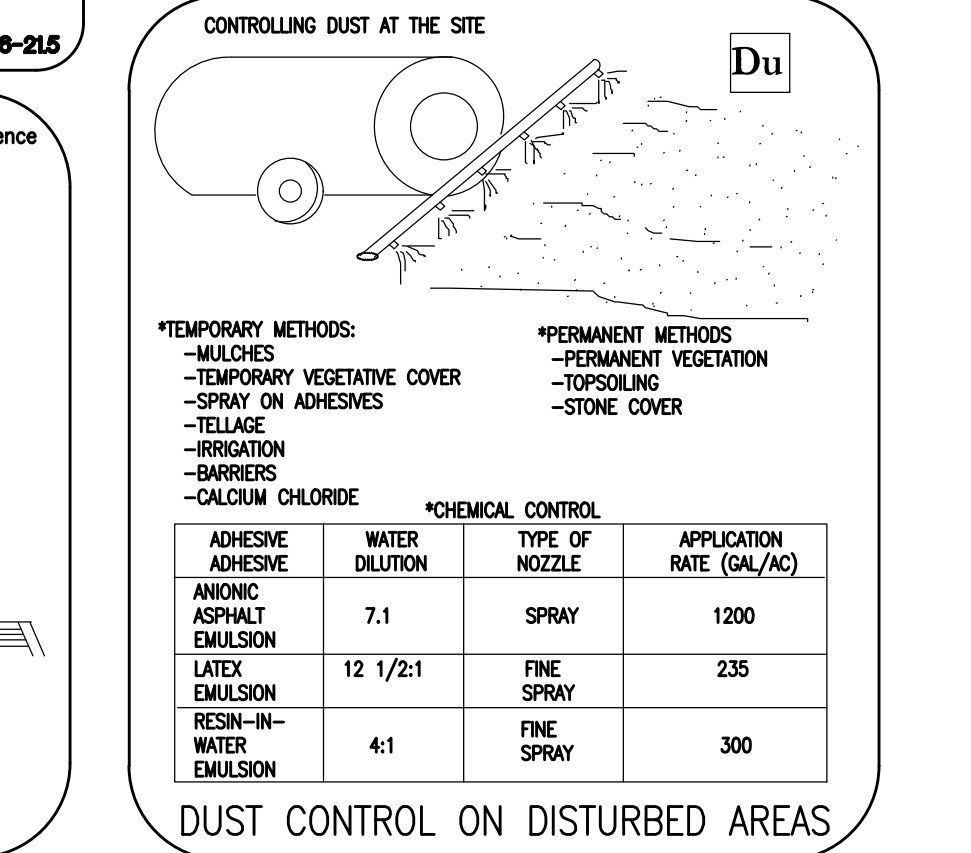
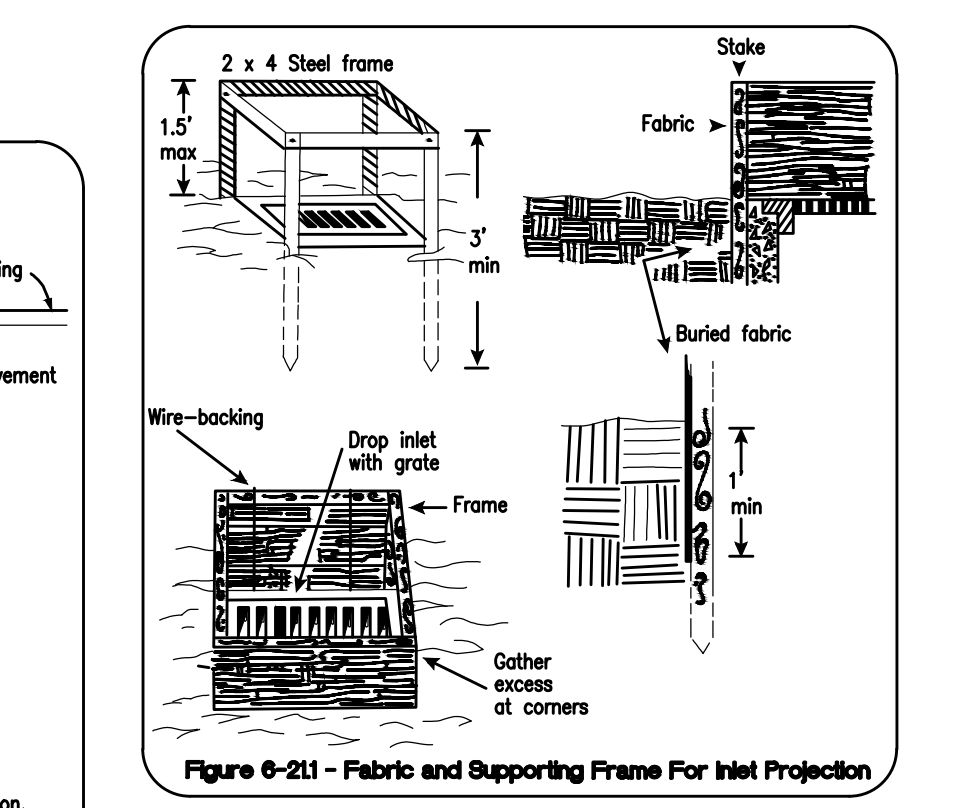
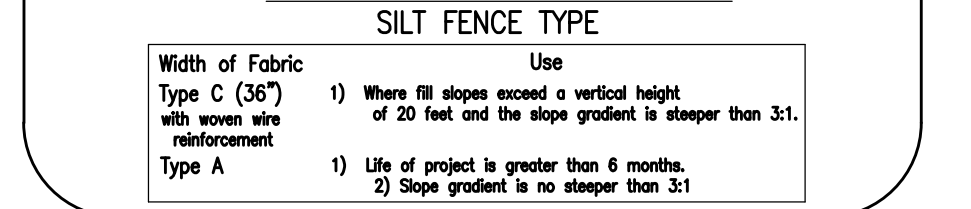


SOILS LEGEND

Pl	Pelham Loamy Sand
Pn	Pooler Fine Sandy Loam
Cc	Cape Fear Soils
Cx	Craven Loamy Fine Sand



- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ch	CHANNEL STABILIZATION			A small temporary barrier or dam constructed across a creek, drainage ditch or area of concentrated flow.
Cc	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Cv	CONSTRUCTION ROAD STABILIZATION			A temporary structure as part of a construction plan including access roads, subdivision roads, parking areas and other on-site vehicle transportation routes.
Dc	DRAINAGE CHANNEL			A temporary channel constructed to convey flow around a construction site when a permanent structure is being constructed.
Dj	DIVERSION			An earth channel or dike located above, below, or across a slope to divert runoff. This may be a temporary or permanent structure.
Dn1	TEMPORARY STRUCTURE			A flexible cord of heavy-duty fabric or other material designed to safely contact surface runoff near a slope. This is temporary and reusable.
Dn2	PERMANENT STRUCTURE			A rigid structure designed to safely contact surface runoff near a slope. This is permanent.
Fr	FILTER RENO			A temporary stone barrier constructed at storm drain inlets and pond outlets.
Gb	GABION			Rock filter baskets which are hand-glazed into position forming soil stabilizing structures.
Gr	GRASS STABILIZATION			Permanent structures installed to protect channels or watersheds where otherwise the slope would be eroded for the runoff water to form gullies.
Lv	LEVEL SPREADER			A structure to convert concentrated flow of water into a wide, shallow flow. This should be constructed only on undisturbed soils.
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainages.
Rt	RETAINING WALL			A wall installed to stabilize soil and fill slopes where maximum permissible slope are not adequate. Each situation will require special design.
Rf	RETRO FITTING			A device or structure placed in front of a permanent structure designed to safely contact surface runoff to serve as a temporary sediment filter.
Sb1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. The structure may be made of straw or hay, brush, logs and poles, gravel, or a combination of these materials.
Sd2	INLET SEDIMENT TRAP			An impounding area created by "steering" runoff into a sediment trap. The structure will be filled and stabilized in completion of construction.
Sd3	TEMPORARY SEDIMENT TRAP			A basin created by excavation or a dam across a channel to stabilize runoff. The structure will be filled and stabilized in completion of construction.
Sd4	TEMPORARY SEDIMENT TRAP			A small temporary pond that drains a disturbed area so that sediment can settle out. The principle is to create a sediment trap in the back of a gully or ditch.
Sk	SLURRY WALL			A slurry wall that retains/strains water from the surface of sediment ponds, traps, or basins of concentrated runoff.
Sub	STEP BENCH			A linear control device constructed as a diversion perpendicular to the direction of the runoff to reduce erosion and stabilize of runoff, while creating multiple sedimentation chambers with the equipment of terracing devices.

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sr	TEMPORARY EROSION PROTECTION			A temporary bridge or culvert-like structure protecting a stream or watercourse from damage by crossing construction equipment.
St	STONEMOUNT OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Su	SURFACE BOUNDING			A rough soil surface with horizontal depressions on a contour or slope left in a rougher condition after grading.
Tc	TURBIDITY CURTAIN			A floating or staked barrier installed within the water (it may also be referred to as a floating boom, silt barrier, or silt curtain).
Tp	TREE PROTECTION			The practice of stripping off the more fertile soil, storing it, then spreading it over the disturbed area after completion of construction activities.
Tr	TREE PROTECTION			To prevent desirable trees from injury during construction activity.
Wt	WEEDING/WEEDING CONTROL			Flower or vegetative water outlets for diversions, terraces, berms, dikes or other structures.

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			Strip of undisturbed original vegetation, enhanced or restored and retained, or a strip of vegetation or vegetation surrounding an area of disturbance or construction activity.
Cs	CORROSION PROTECTION (WITH WEEDING)			Planting vegetation on dunes that are disturbed, artificially constructed, or re-nourished.
Ds1	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)			Establishing temporary vegetation for disturbed areas where seedlings may not have a suitable growing season to produce an erosion-retarding cover on disturbed areas.
Ds2	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)			Establishing a permanent vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)			Establishing a permanent vegetative cover on steep slopes, stone lines, or structures on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)			A permanent vegetative cover using seeds on highly erodible or artificially eroded banks.
Du	DUST CONTROL ON EXPOSED SOILS			Controlling erosion and/or movement of dust on construction site roadway and similar sites.
Fl-Cd	FLUOROCARBON POLYMER COATING			Substance formulated to assist in the solid/liquid separation of suspended particles in solution.
Sb	SEDIMENT BARRIER			The use of readily available native plant material to stabilize and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SOIL STABILIZATION			A practice covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, stone lines, or channels.
Tbc	TERRACE AND BANKS			Substance used to anchor straw or hay mulch by coating the organic material to bind together.

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

SPECIES	RATE PER 1,000 SQ. FT.	SEEDS PER ACRE	SEEDING RATES FOR TEMPORARY SEEDINGS			
			PLANTING DATES	PIEDMONT	COSTAL	
RYEGRASS	0.9 POUNDS	40-50 LBS.	8/1-12/1	8/15-1/1	8/15-3/1	
ANNUAL LESPEDEZA	0.9 POUNDS	40 LBS.	3/1-4/1	3/1-4/1	2/1-3/1	
WEEDING LOVEGRASS	0.1 POUNDS	4-6 LBS.	3/15-8/1	3/1-8/15	2/15-8/15	

* ALL SEEDING NUMBERS ARE ALONE FOR MIXTURE NUMBER SEE MANUAL FOR EROSION AND SEDIMENT TABLE 6-241 PAGES 6-134 - 6-136.

† UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.

‡ SEEDING DATES MAY NEED TO BE ADJUSTED TO FIT TEMPERATURE, VARIATIONS AND LOCAL CONDITIONS.

SEEDING RATES FOR TEMPORARY & PERMANENT COVER

MONTH	TEMPORARY COVER	RATES PER ACRE SEEDING ALONE	ADDED TO MIX	PERMANENT COVER	
				RATES PER ACRE SEEDING ALONE	ADDED TO MIX
JANUARY	RYEGRASS	40 lbs.	-	UNHILLED BERMUDEA SERICEA LESPEDEZA	10 lbs. 6 lbs.
FEBRUARY	ANNUAL LESPEDEZA	40 lbs.	-	UNHILLED BERMUDEA SERICEA LESPEDEZA	75 lbs. 8 lbs.
MARCH	RYEGRASS	40 lbs.	-	UNHILLED BERMUDEA SERICEA LESPEDEZA	60 lbs. 8 lbs.
APRIL	WEEDING LOVEGRASS	4 lbs.	4 lbs.	PENSACOLA BAHIA HILLED BERMUDEA SERICEA LESPEDEZA	60 lbs. 30 lbs. 10 lbs. 8 lbs.
MAY	WEEDING LOVEGRASS	4 lbs.	4 lbs.	PENSACOLA BAHIA HILLED BERMUDEA SERICEA LESPEDEZA	60 lbs. 30 lbs. 10 lbs. 8 lbs.
JUNE	PEARL MILLET	50 lbs.	50 lbs.	PENSACOLA BAHIA HILLED BERMUDEA SERICEA LESPEDEZA	60 lbs. 30 lbs. 10 lbs. 8 lbs.
JULY	PEARL MILLET	50 lbs.	50 lbs.	PENSACOLA BAHIA HILLED BERMUDEA SERICEA LESPEDEZA	60 lbs. 30 lbs.
AUGUST	PEARL MILLET	50 lbs.	50 lbs.	PENSACOLA BAHIA HILLED BERMUDEA SERICEA LESPEDEZA	60 lbs. 30 lbs.
SEPTEMBER	RYEGRASS	40 lbs.	40 lbs.	SERICEA LESPEDEZA	75 lbs. -
OCTOBER	RYEGRASS	3 lbs.	3 lbs.	SAME AS SEPTEMBER	SAME AS SEPTEMBER
NOVEMBER	SAME AS OCTOBER	SAME AS OCTOBER	SAME AS OCTOBER	SAME AS SEPTEMBER	SAME AS SEPTEMBER
DECEMBER	SAME AS OCTOBER	SAME AS OCTOBER	SAME AS OCTOBER	SAME AS SEPTEMBER	SAME AS SEPTEMBER

- NOTES:**
1. UNCLARIFIED
 2. SCARIFIED
 3. CENTRE SOU CAN BE USED AS PERMANENT COVER ANYTIME EXCEPT THROUGH OCTOBER.
 4. LISTED IN ORDER OF PREFERENCE.
 5. ALL PERMANENT GRASS PLANTINGS SHALL BE MULCHED.

THE SLOTTED BOARD RETROFIT AND SILT FENCE SHALL BE REMOVED ONLY AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED W/VEGETATION.

NOT FOR CONSTRUCTION

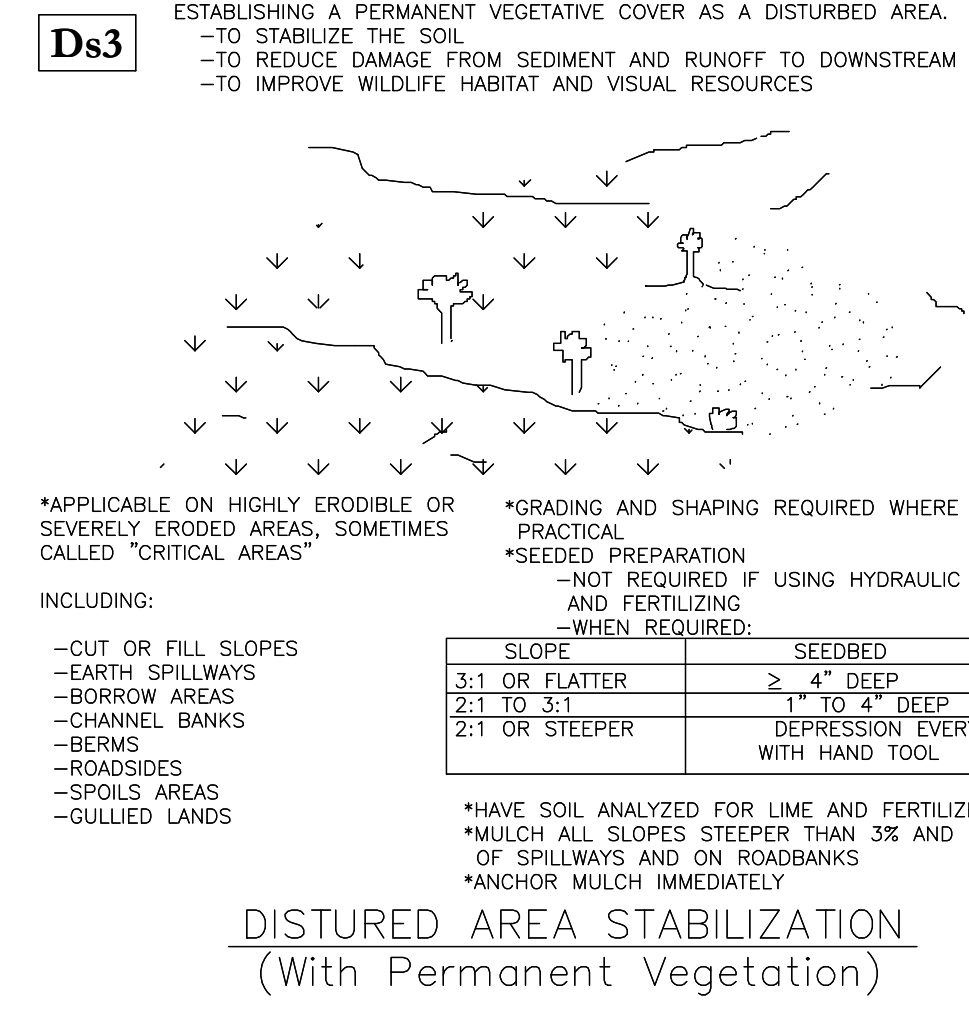
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DATE: _____ BY: _____

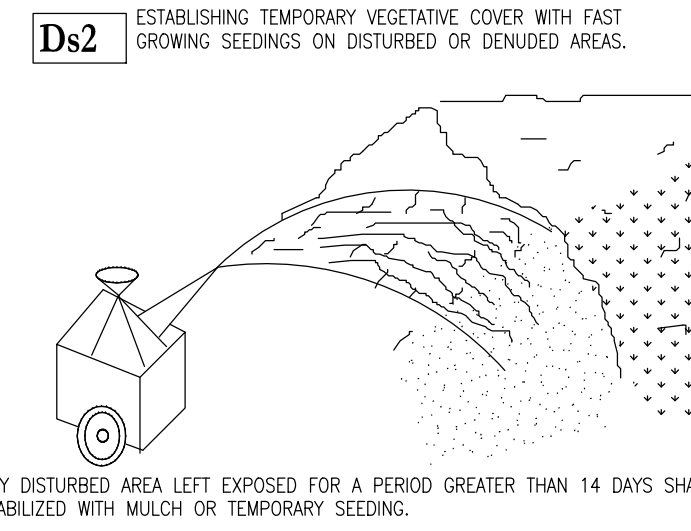
GEORGIA UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

TRAVIS G. BURKE
 GSWCC CERTIFICATION # 8134



- Dd3**
- ESTABLISHING A PERMANENT VEGETATIVE COVER AS A DISTURBED AREA.
- TO STABILIZE THE SOIL
 - TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS
 - TO IMPROVE WILDLIFE HABITAT AND VISUAL RESOURCES
- *APPLICABLE ON HIGHLY ERODIBLE OR SEVERELY ERODED AREAS, SOMETIMES CALLED "CRITICAL AREAS"
- *GRADING AND SHAPING REQUIRED WHERE FEASIBLE
- *SEEDING PREPARATION "NOT REQUIRED" IF USING HYDRAULIC SEEDING AND FERTILIZING WHEN REQUIRED.
- | SLOPE | SEEDING |
|----------------|---------------------------------------|
| 3:1 OR FLATTER | ≥ 4" DEEP |
| 2:1 TO 3:1 | TO 4" DEEP |
| 2:1 OR STEEPER | DEPRESSION EVERY 6"-8" WITH HAND TOOL |
- *HAVE SOIL ANALYZED FOR LIME AND FERTILIZER RATE. MULCH ALL SLOPES STEEPER THAN 3:1 AND IN BOTTOM OF SPILLWAYS AND ON ROADBANKS. ANCHOR MULCH IMMEDIATELY.



- Dd2**
- ESTABLISHING TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED OR DENUDATED AREAS.
- * SITE PREPARATION
- GRADING AND SHAPING
 - SEEDING PREPARATION
 - APPLY LIME AND FERTILIZER
 - PLANT SEEDING, SELECT SPECIES BY SEASON AND REGION
 - APPLY MULCHING MATERIAL IF NEEDED
 - IRRIGATE IF NEEDED BUT NOT AT RATE TO CAUSE EROSION
- * PLANTING DATES DEPEND ON SPECIES AND REGION (MOUNTAIN, PIEDMONT OR COASTAL)

- Dd1**
- MULCHING WITHOUT TEMPORARY GRASSING.
- WOOD MULCH SHALL BE PLACED AT A RATE OF 140 TONS PER ACRE AND APPLIED TO A DEPTH OF 2 TO 3 INCHES.
- TEMPORARY GRASSING:**
- AGRICULTURAL LIME: APPLY 1 TON/ACRE
- FERTILIZER: FOR SOILS WITH VERY LOW FERTILITY, APPLY 500-700 LBS. 10-10-10 PER ACRE FERTILIZER SHOULD BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. DRY STRAW OR DRY HAY SHALL BE APPLIED AT A RATE OF 2-1/2 TONS PER ACRE. DRY HAY SHALL BE APPLIED AT A RATE OF 2-1/2 TONS PER ACRE.
- PERMANENT GRASSING:**
- AGRICULTURAL LIME IS REQUIRED AT THE RATE OF ONE TO TWO TONS PER ACRE UNLESS SOIL TESTS INDICATE OTHERWISE. GRADED AREAS REQUIRE LIME APPLICATION. IF LIME IS APPLIED WITHIN SIX MONTHS OF PLANTING PERMANENT PERENNIAL VEGETATION, ADDITIONAL LIME IS NOT REQUIRED. SOIL TEST ARE REQUIRED PRIOR TO PERMANENT VEGETATION. PERMANENT GRASSING SHALL BE SOU.
- HYDRAULIC SEEDING:**
- MIX THE SEED (INOCULATED IF NEEDED), FERTILIZER, AND WOOD CELLULOSE OR WOOD PULP FIBER MULCH WITH WATER AND APPLY IN A SLURRY UNIFORMLY OVER THE AREA TO BE TREATED. APPLY WITHIN ONE HOUR AFTER THE MIXTURE IS MADE.
- MULCHING:**
- MULCH IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS. MULCH APPLIED TO SEEDING AREAS SHALL ACHIEVE 75% SOIL COVER. SELECT THE MULCHING MATERIAL FROM THE FOLLOWING AND APPLY AS INDICATED.
1. DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEED SEEDS CAN BE USED. DRY STRAW SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE. DRY HAY SHALL BE APPLIED AT A RATE OF 2-1/2 TONS PER ACRE.
 2. WOOD CELLULOSE MULCH OR WOOD PULP FIBER WILL BE USED WITH HYDRAULIC SEEDING. IT SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. DRY STRAW OR DRY HAY SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 3/4:1 OR STEEPER.
 3. ONE THOUSAND POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER WHICH INCLUDES A TRUCKER SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 3/4:1 OR STEEPER.
 4. SERICEA LESPEDEZA HAY CONTAINING MATURE SEED SHALL BE APPLIED AT A RATE OF THREE TONS PER ACRE.
 5. PINE STRAW OR PINE BARK SHALL BE APPLIED AT A THICKNESS OF 3 INCHES FOR BEDDING PURPOSES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED. THIS IS NOT APPROPRIATE FOR SEEDING AREAS.
 6. WHEN USING TEMPORARY EROSION CONTROL BLANKETS OR BLOCK SOU, MULCH IS NOT REQUIRED.
 7. BITUMINOUS TREATED ROVING MAY BE APPLIED ON PLANTED AREAS ON SLOPES IN DITCHES. ROVING SHALL BE APPLIED WITHIN 24 HOURS AFTER AN AREA HAS BEEN PLANTED. APPLICATION RATES AND MATERIALS MUST MEET GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
 8. WOOD CELLULOSE AND WOOD FIBERS SHALL NOT CONTAIN GERMINATION OR GROWTH INHIBITING FACTORS. THEY SHALL BE EVENLY DISPENSERED WHEN APPLIED IN WATER. THE FIBERS SHALL CONTAIN A DYE TO ALLOW VISUAL METERING AND AID IN UNIFORM APPLICATION DURING SEEDING.
- APPLYING MULCH:**
- STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING AND/OR PLANTING. THE MULCH MAY BE SPREAD BY BLOWER-TYPE SPREADING EQUIPMENT, OTHER SPREADING EQUIPMENT OR BY HAND. MULCH SHALL BE APPLIED TO COVER 75% OF THE SOIL SURFACE. WOOD CELLULOSE OR WOOD FIBER MULCH SHALL BE APPLIED UNIFORMLY WITH HYDRAULIC SEEDING EQUIPMENT.

- PAM**
- POLYACRYLAMIDE (PAM):**
1. ONLY THE ANIONIC FORM OF PAM SHALL BE USED. CATIONIC PAM IS TOXIC AND SHALL NOT BE USED.
 2. PAM AND PAM MIXTURES SHALL BE ENVIRONMENTALLY BENIGN, HARMLESS TO FISH, WILDLIFE, AND PLANTS. PAM AND PAM MIXTURES SHALL BE NON-COMBUSTIBLE.
 3. ANIONIC PAM, IN PURE FORM, SHALL HAVE LESS THAN OR EQUAL TO 0.05% ACRYLAMIDE MONOMER BY WEIGHT, AS ESTABLISHED BY THE FDA AND EPA.
 4. TO MAINTAIN LESS THAN OR EQUAL TO 0.05% OF ACRYLAMIDE MONOMER, THE MAXIMUM APPLICATION RATE OF PAM, IN PURE FORM, SHALL NOT EXCEED 200 POUNDS/ACRE/YEAR. DO NOT OVER APPLY PAM. EXCESSIVE APPLICATION OF PAM CAN LOWER INFILTRATION RATE OR SUSPENDED SOLIDS IN WATER, RATHER THAN PROMOTING SETTLING.
 5. USERS OF ANIONIC PAM SHALL OBTAIN AND FOLLOW ALL MATERIAL SAFETY DATA SHEET REQUIREMENTS AND MANUFACTURER'S RECOMMENDATION.
 6. ADDITIVES SUCH AS FERTILIZERS, SOLUBILITY PROMOTERS OR INHIBITORS, ETC. TO PAM SHALL BE NON-TOXIC.
 7. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE WRITTEN APPLICATION METHODS FOR PAM AND PAM MIXTURES. THE APPLICATION METHOD SHALL INSURE UNIFORM COVERAGE TO THE TARGET AND AVOID DRIFT TO NON-TARGET AREAS INCLUDING WATERS OF THE STATE. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE WRITTEN INSTRUCTIONS TO INSURE PROPER SAFETY, STORAGE, AND MIXING OF THE PRODUCT.
 8. GEL BEADS OR LOSS OF ANIONIC PAM MIXTURES MAY BE USED IN DITCH SYSTEMS. THIS APPLICATION SHALL MEET THE SAME TESTING REQUIREMENTS AS ANIONIC PAM EMULSIONS AND POWDERS.
 9. TO PREVENT EXCEEDING THE ACRYLAMIDE MONOMER LIMIT IN THE EVENT OF A SPILL, THE ANIONIC PAM IN PURE FORM SHALL NOT EXCEED 200 POUNDS/BATCH AT 0.05% ACRYLAMIDE MONOMER (AMM) OR 400 POUNDS/BATCH AT 0.025% AMM.
 10. USE BACKBAYS WHEN APPLYING ANIONIC PAM NEAR NATURAL WATER BODIES.
 11. CONSIDER THAT DECREASED PERFORMANCE CAN OCCUR DUE TO ULTRA-VIOLET LIGHT AND TIME AFTER MIXING WHEN APPLYING ANIONIC PAM.
 12. IN FLOW CONCENTRATION CHANNELS, THE EFFECTIVENESS OF ANIONIC PAM FOR STABILIZATION DECREASES.
 13. MULCH TO PROTECT SEED. IF SEED IS APPLIED WITH ANIONIC PAM, NEVER ADD WATER TO PAM, ADD PAM SLOWLY TO WATER. IF WATER IS ADDED TO PAM, "GLOBES" CAN FORM WHICH CAN CLOG DISPENSERS.
 14. MULCH TO PROTECT SEED. IF SEED IS APPLIED WITH ANIONIC PAM, INCREASES THE RISK OF UNIFORM APPLICATION.
 15. NOT ALL POLYMERS ARE PAM.

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

EROSION DETAILS

DATE: 5/17/2018
 SCALE: NTS
 JOB #: NTS
 DRAWN BY: MKJ
 CHECKED BY: GJC

SHEET
 C7.12

COLEMAN COMPANY, INC.

17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 (F) 912.200.3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. BURKE

REVISION

NO.	DATE	DESCRIPTION

GEORGIA REGISTERED PROFESSIONAL ENGINEER

No. 031215
 TRAVIS G. BURKE

REVISION

NO.	DATE	DESCRIPTION

Attachment: Mulberry Tract Ph I Site Plan July 2018 (1946 - Site Plan Review Application Mulberry Tract Phase I July 2018)

Packet Pg. 88

EROSION AND SEDIMENT NARRATIVE NOTES

20 TWENTY-FOUR HOUR CONTACT RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL: PAUL F. LARNER (BALD EAGLE PARTNERS) 3071 SLATE MILLS ROAD SPERRYVILLE, VA 22740 (540) 987-3164

21 PRIMARY PERMITTEE/DEVELOPER/OWNER: BALD EAGLE PARTNERS 3071 SLATE MILLS ROAD SPERRYVILLE, VA 22740 (540) 987-3164

22 THE TOTAL ACREAGE FOR THE DEVELOPMENT IS ±89 ACRES ACREAGE IN THIS PHASE IS ±10.14 ACRES

23 THE GPS LOCATION OF THE CONSTRUCTION EXITS FOR THE SITE ARE: 32.222283° LATITUDE, -81.186533° LONGITUDE.

24 DESCRIPTION AND NATURE OF THE CONSTRUCTION ACTIVITY: BALD EAGLE PARTNERS IS PROPOSING TO CONSTRUCT A NEW 30 LOT PHASE A NEW RESIDENTIAL DEVELOPMENT NAMED MULBERRY @ RICE HOPE, WITHIN THE EXISTING DEVELOPMENT NAMED RICE HOPE.

25 I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete.

TRAVIS BURKE DESIGN PROFESSIONAL - GSWCC CERTIFICATION #8134 I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of best management practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia".

26 For common development projects that begin construction activity after the effective date of this permit, the primary permittee must retain the design professional who prepared the Erosion, Sedimentation and Pollution Control Plan, except when the primary permittee has requested in writing and EPD has agreed to an alternate design professional.

DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION DATE OF INSPECTION: I certify the site was in compliance with the ES&PC Plan on the date of inspection.

27 NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION, OR WITHIN 25' OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL LOW WATER WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

28 "WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT."

29 "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

30 "ANY DISTURBED AREA LEFT FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING."

31 "WASHING DOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS, DRUMS AND THE REAR OF THE VEHICLES AT THE CONSTRUCTION SITE IS PROHIBITED."

32 SPILL CLEANUP AND CONTROL PRACTICES: Local, State and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel.

33 MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED.

34 PRODUCT SPECIFIC PRACTICES: Petroleum Based Products - Containers for products such as fuels, lubricants and tars will be inspected daily for leaks and spills.

35 APPENDIX B: Nephelometric Turbidity Unit (NTU) Tables Warm Water (Supporting Warm Water Fisheries) Page 33 of 33

36 THE SITE WILL UTILIZE A SERIES OF PRACTICAL BMPs. DIVERSION DITCHES WILL BE USED TO CONVEY THE STORM WATER TO THE EXISTING WET DETENTION POND.

Table with 10 columns: Surface Water Drainage Area (square miles) and 10 rows of flow rate data (1.00-10.00, 10.01-25, etc.)

REFER TO GA DEPARTMENT OF NATURAL RESOURCES ENVIRONMENTAL PROTECTION DIVISION GENERAL PERMIT NO. GAR100003 FOR COMMON DEVELOPMENT FOR DEFINITIONS AND DETAILS.

37 PRACTICES THAT WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES: 1. PERMANENT SEEDING. THE SITE SHALL BE STABILIZED UTILIZING PERMANENT SEEDING TO PRE-TREAT THE STORMWATER RUNOFF PRIOR TO ENTERING THE DOWNSTREAM CONVEYANCE BY REMOVING SEDIMENT AS WELL AS ANY ATTACHED CHEMICALS FROM RUNOFF.

38 INSPECTIONS REQUIREMENTS BY THE PERMITTEE: a. Primary Permittee requirements. (1) Each day when any type of construction activity has taken place at a primary permittee's site, certified personnel provided by the primary permittee shall inspect.

39 The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

40 SAMPLING FREQUENCY AND REPORTING OF SAMPLING RESULTS REQUIREMENTS: SAMPLING REQUIREMENTS This permit requires the monitoring of nephelometric turbidity in receiving water(s) or outfalls in accordance with this permit.

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56 **REFER TO GA DEPARTMENT OF NATURAL RESOURCES ENVIRONMENTAL PROTECTION DIVISION GENERAL PERMIT NO. GAR100003 FOR COMMON DEVELOPMENT FOR DEFINITIONS AND DETAILS.**

57 ESTIMATED PEAK DISCHARGE AND RUNOFF CURVE NUMBER FOR PRE AND POST CONDITIONS: PRE: 0.60 POST: 0.50

58 ADDITIONAL SITE/EROSION CONTROL NOTES: A. ZONING: THE PRESENT ZONING CLASSIFICATION FOR THIS SITE IS PUD-C PIN: 7-096-04-002

59 EROSION CONTROL PROGRAM: CLEARING WILL BE KEPT TO AN ABSOLUTE MINIMUM. VEGETATION AND MULCH WILL BE APPLIED TO APPLICABLE AREAS IMMEDIATELY AFTER VEGETATION AND MULCH WILL BE APPLIED TO APPLICABLE AREAS IMMEDIATELY AFTER GRADING IS COMPLETED.

60 STANDARDS AND SPECIFICATIONS: ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED, "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".

61 MAINTENANCE PROGRAM: SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED DAILY. ANY DAMAGES OBSERVED WILL BE REPAIRED BY THE END OF THAT DAY.

62 THE POINT OF CONTACT FOR CIVIL SITE WORK FOR THIS PROJECT IS: TRAVIS G. BURKE P.E. COLEMAN COMPANY 17 PARK OF COMMERCE, SUITE 201 SAVANNAH, GA 31405 (912) 200-3041

63 THE PURPOSE OF THE TEMPORARY DIVERSION CHANNELS ARE TO DIVERT SITE RUNOFF INTO THE EXISTING DETENTION POND. THESE CHANNELS MAY NOT BE SHOWN IN EXACTLY THE CORRECT LOCATIONS ON THE PLAN.

64 The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

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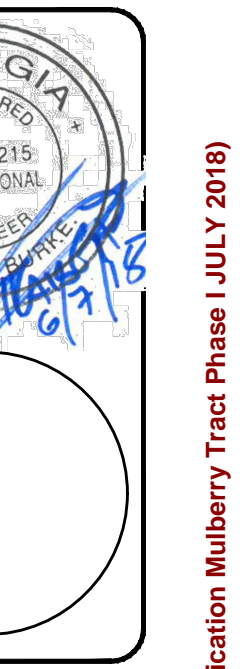
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COLEMAN COMPANY, INC. 17 PARK OF COMMERCE, SUITE 201 SAVANNAH, GA 31405 (912) 200-3041 (F) 912.200.3056



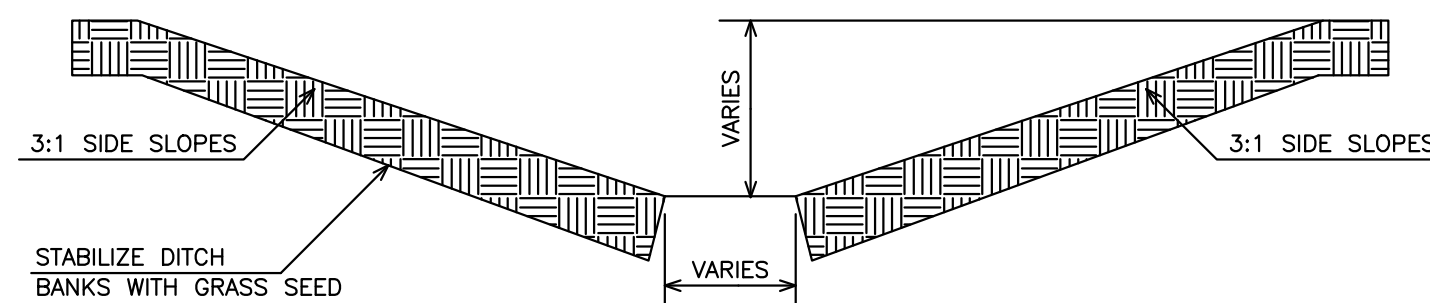
REVISION table with columns for revision number and description.

CIVIL CONSTRUCTION PLANS FOR: MULBERRY TRACT PHASE I LOCATED IN: PORT WENTWORTH, GEORGIA PREPARED FOR: BALD EAGLE PARTNERS

EROSION NOTES

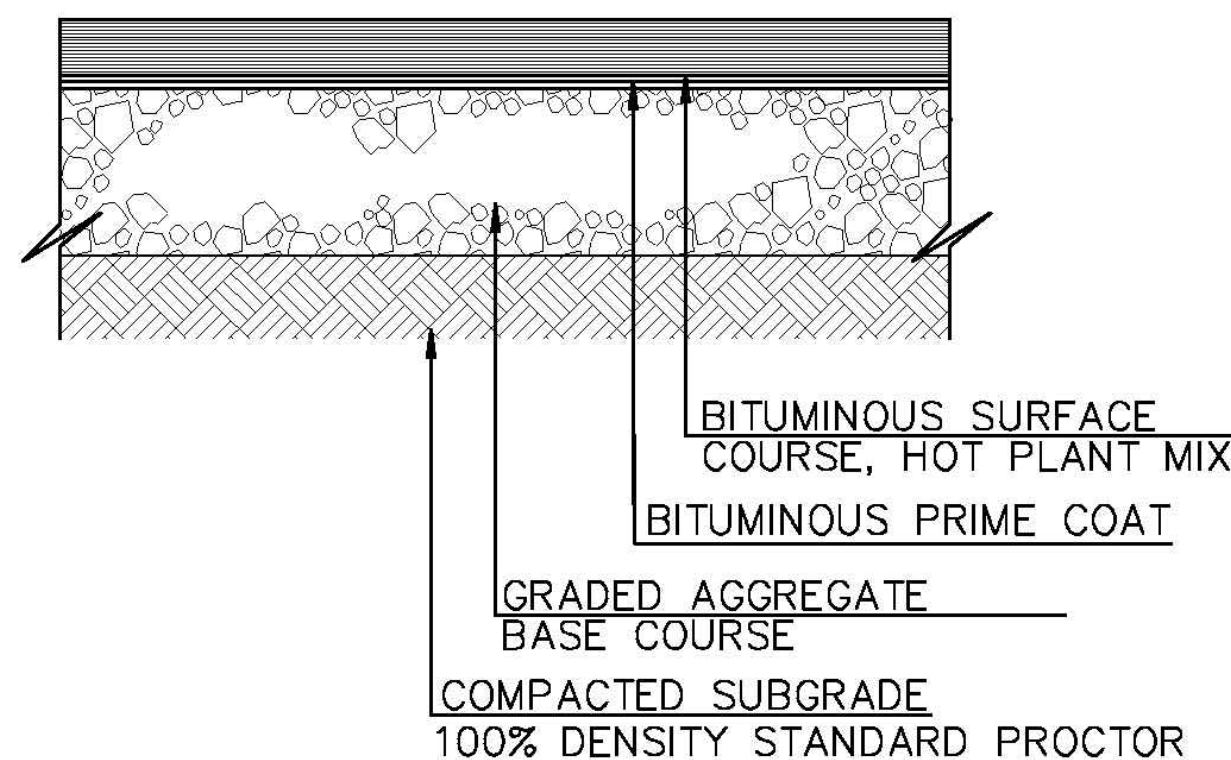
DATE: 5/17/2018 SCALE: NTS JOB #: NTS DRAWN BY: MKJ CHECKED BY: GJC

SHEET C7.13



TYPICAL DITCH SECTION

Coleman Company, Inc.
NTS



TYPICAL BITUMINOUS PAVING SECTION

City of Port Wentworth
TECHNICAL DETAILS

P-1

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

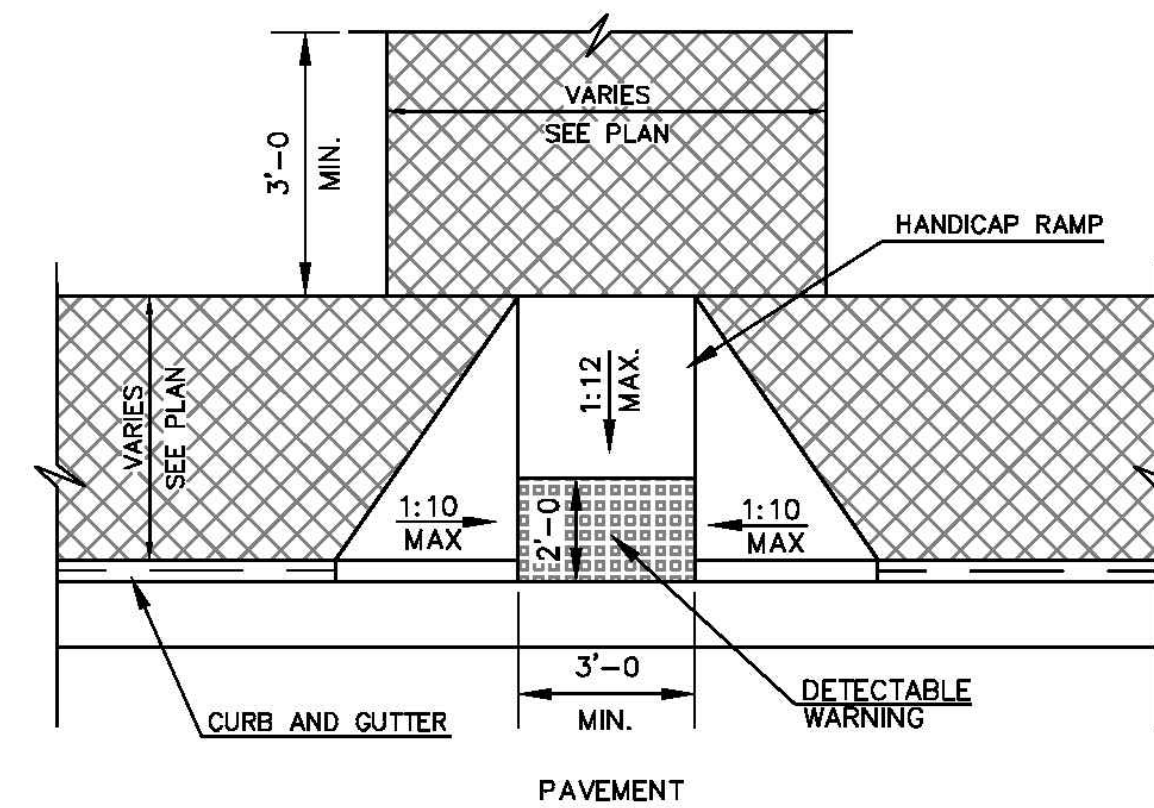
SCALE: N.T.S.
DATED: FEBRUARY 2007

DETECTABLE WARNINGS ON WALKING SURFACE OF HANDICAP RAMP

DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23mm). A HEIGHT OF NOMINAL 0.2 IN (5mm) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60mm) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE

SURFACES SHALL MEET THE ADA ACCESSIBILITY GUIDELINES SECTION 4.29.2.



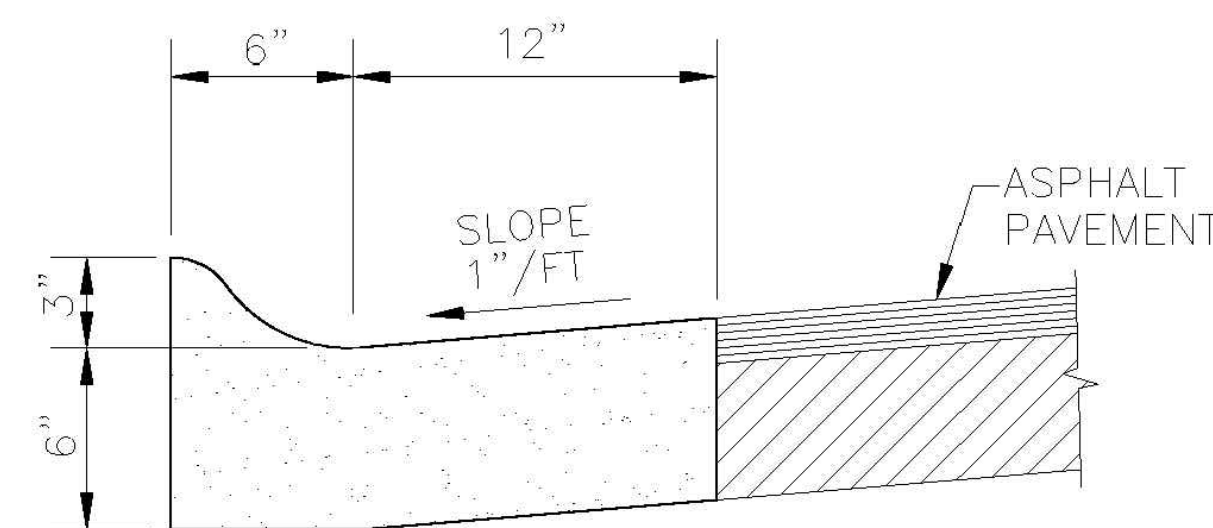
HANDICAP RAMP TYPE "A"

City of Port Wentworth
TECHNICAL DETAILS

P-4

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NOTE: FOR RESIDENTIAL USE ONLY

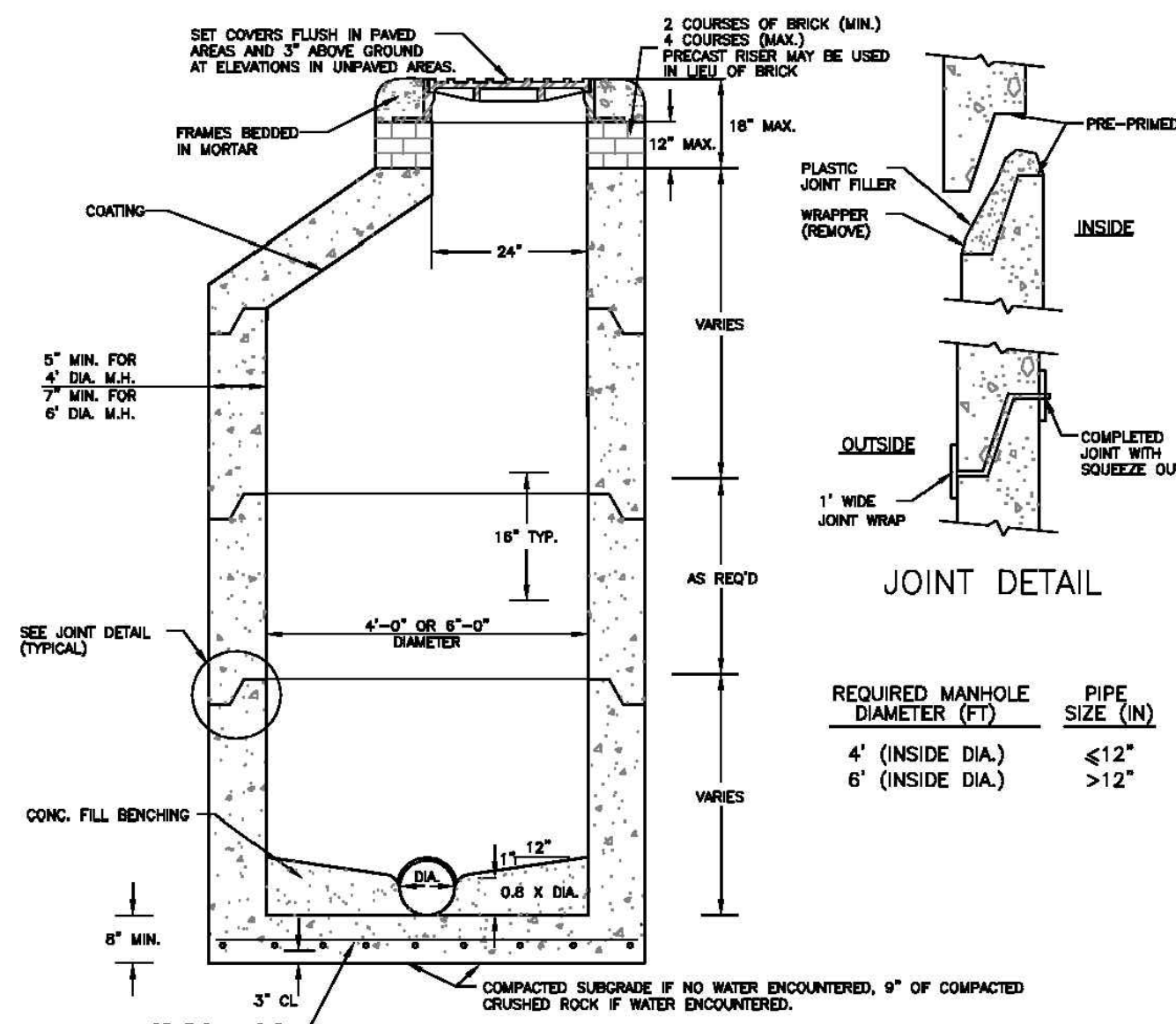
ROLL-OVER CURB

City of Port Wentworth
TECHNICAL DETAILS

P-11

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



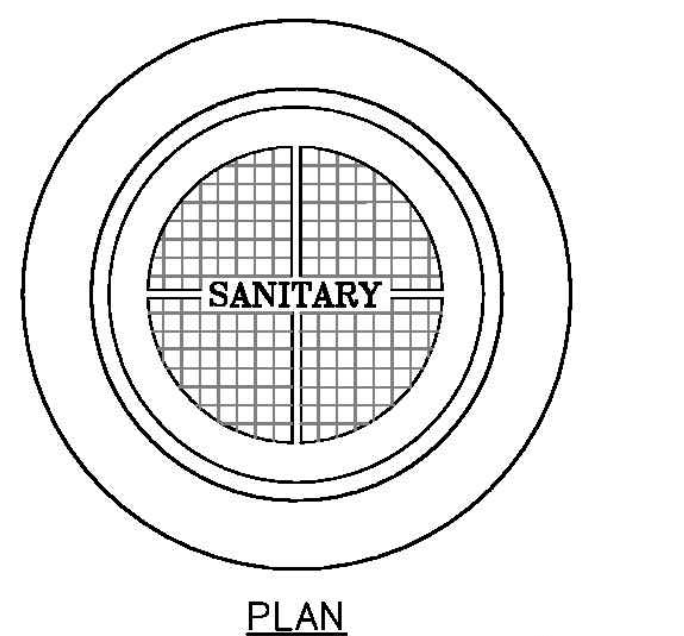
PRECAST CONCRETE MANHOLE

City of Port Wentworth
TECHNICAL DETAILS

S-1

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



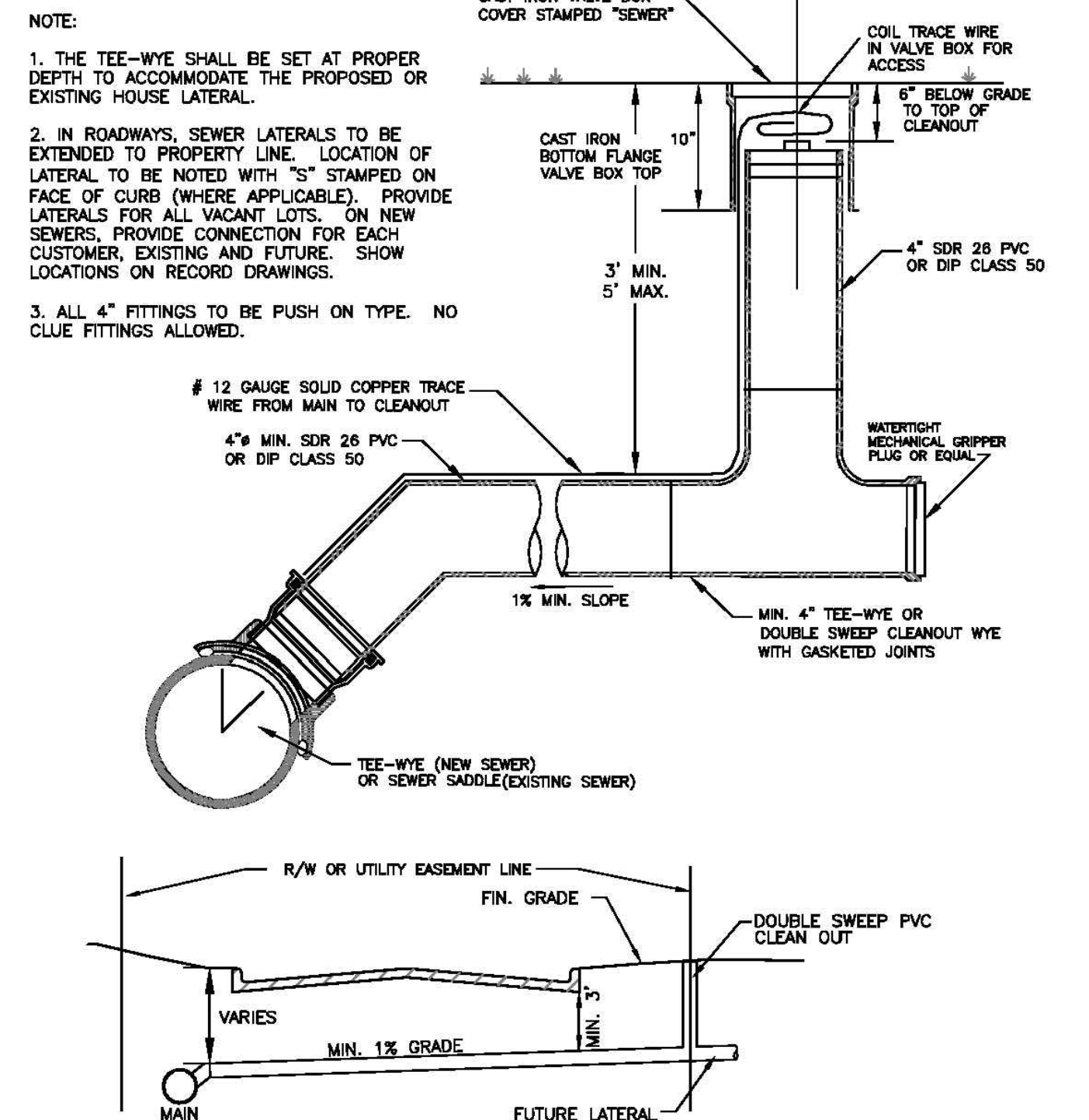
MANHOLE RING & COVER

City of Port Wentworth
TECHNICAL DETAILS

S-2

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



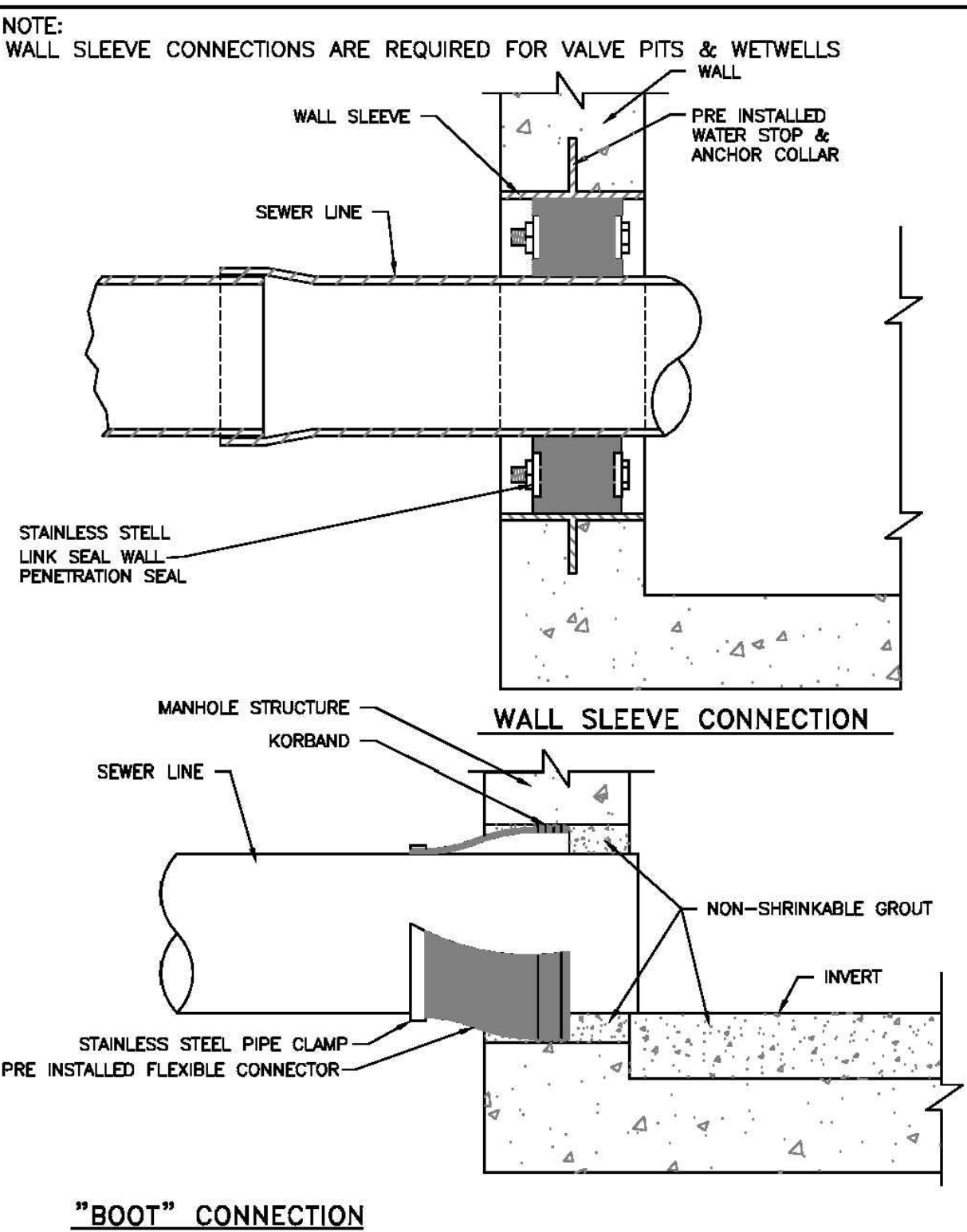
SANITARY SEWER SERVICE CONNECTION

City of Port Wentworth
TECHNICAL DETAILS

S-4

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



PRECAST STRUCTURE PIPE CONNECTION

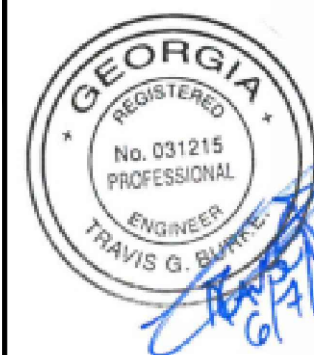
City of Port Wentworth
TECHNICAL DETAILS

S-6

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

COLEMAN COMPANY, INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041 (F) 912-200-3056



REVISION

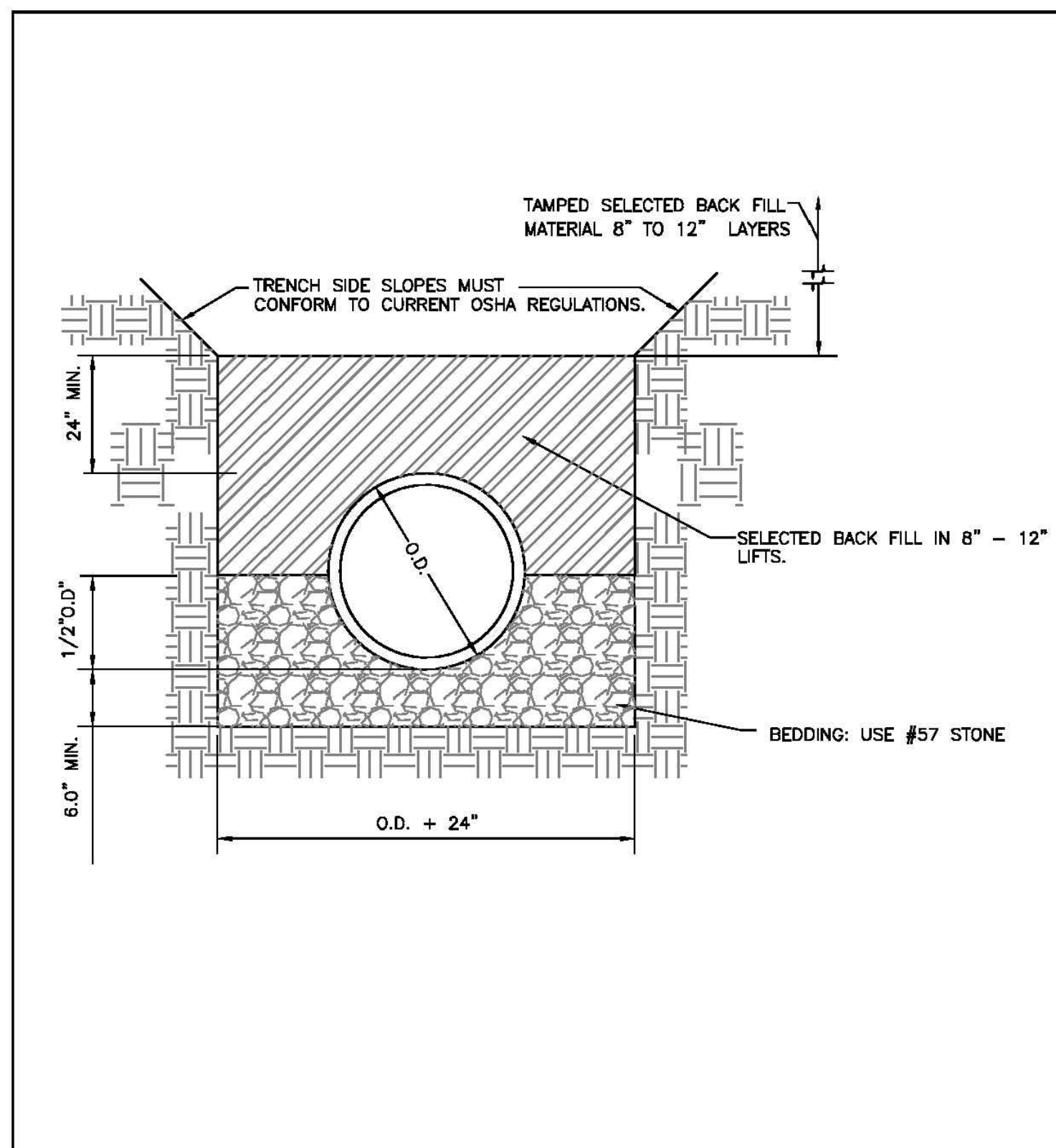
CIVIL CONSTRUCTION PLANS FOR:
MULBERRY TRACT PHASE I
LOCATED IN: PORT WENTWORTH
PREPARED FOR: BALD EAGLE PARTNERS

DETAILS

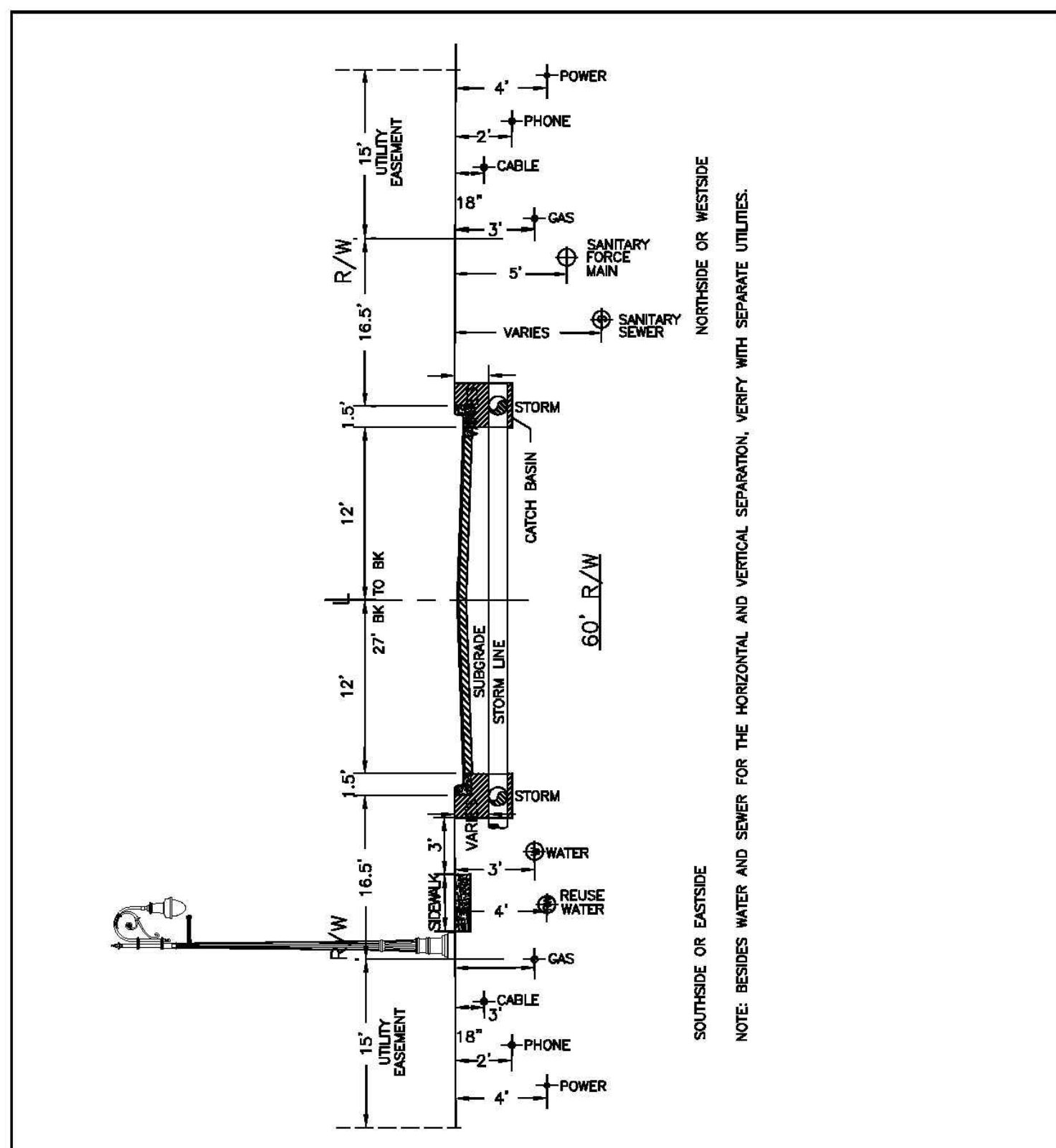
DATE: 5/17/2018
SCALE: NTS
JOB #: 17-100
DRAWN BY: DCP
CHECKED BY: TGB

SHEET
C8.0

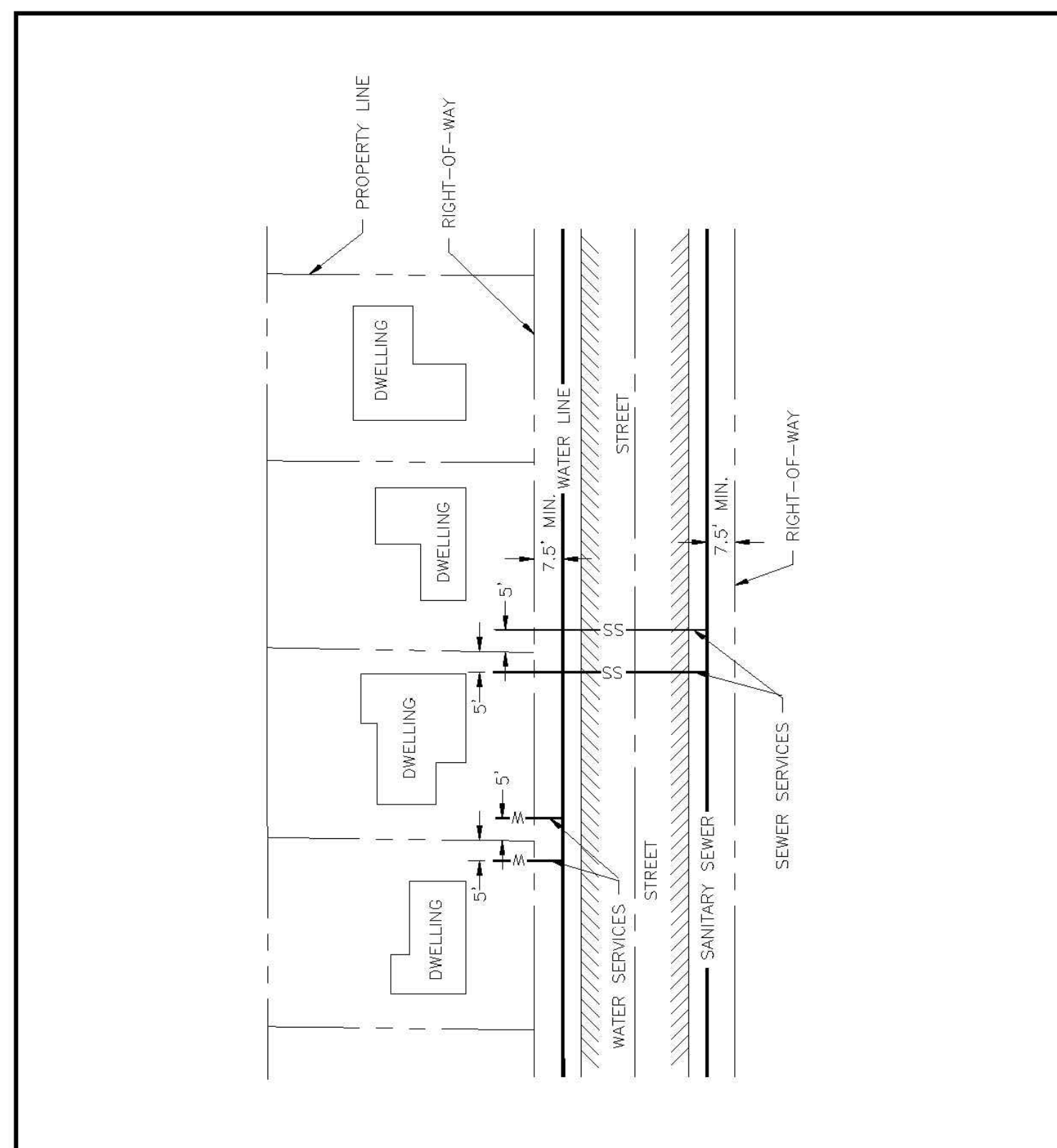
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DATE: _____ BY: _____



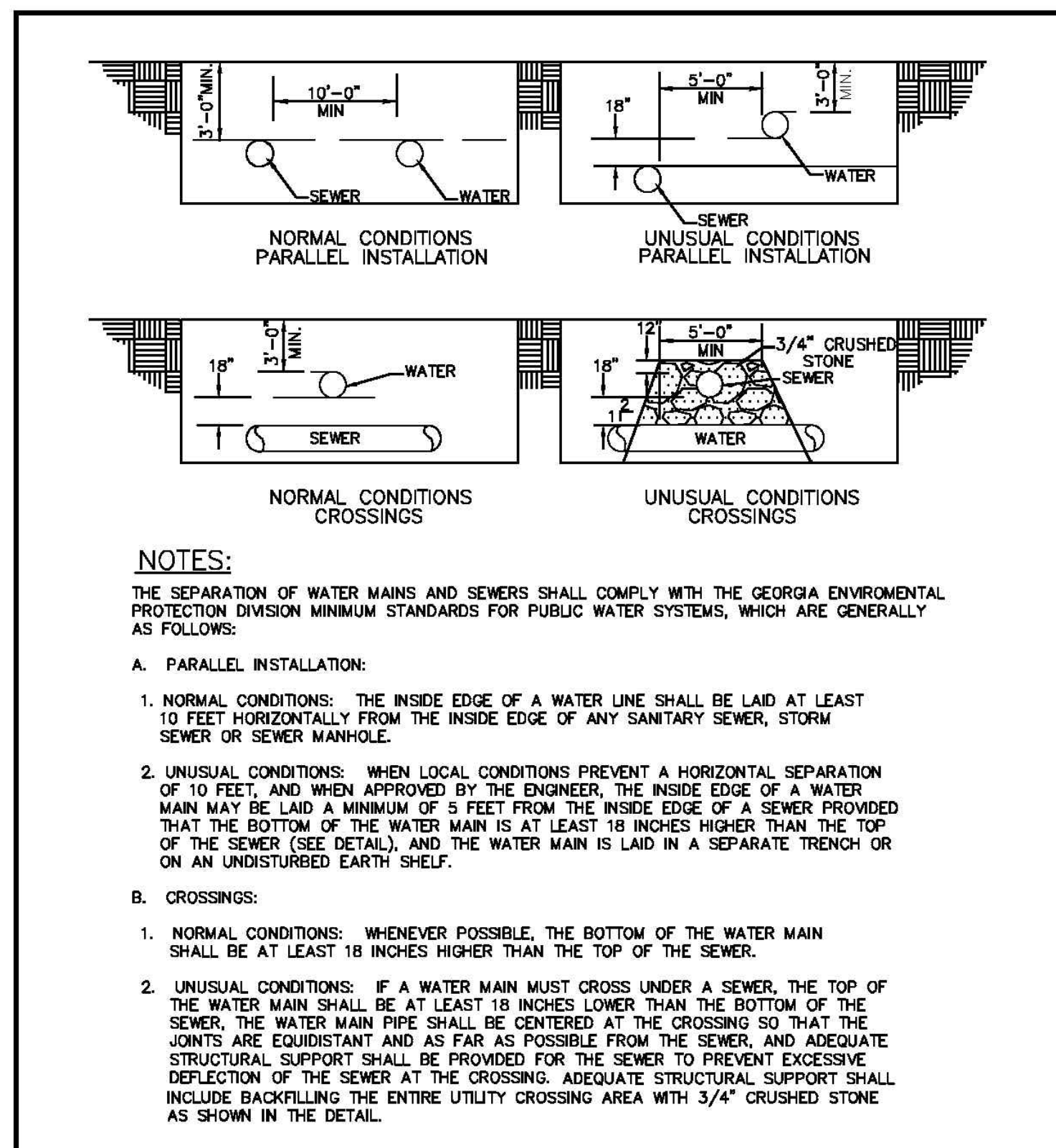
PIPE BEDDING
City of Port Wentworth
TECHNICAL DETAILS
 S-8
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



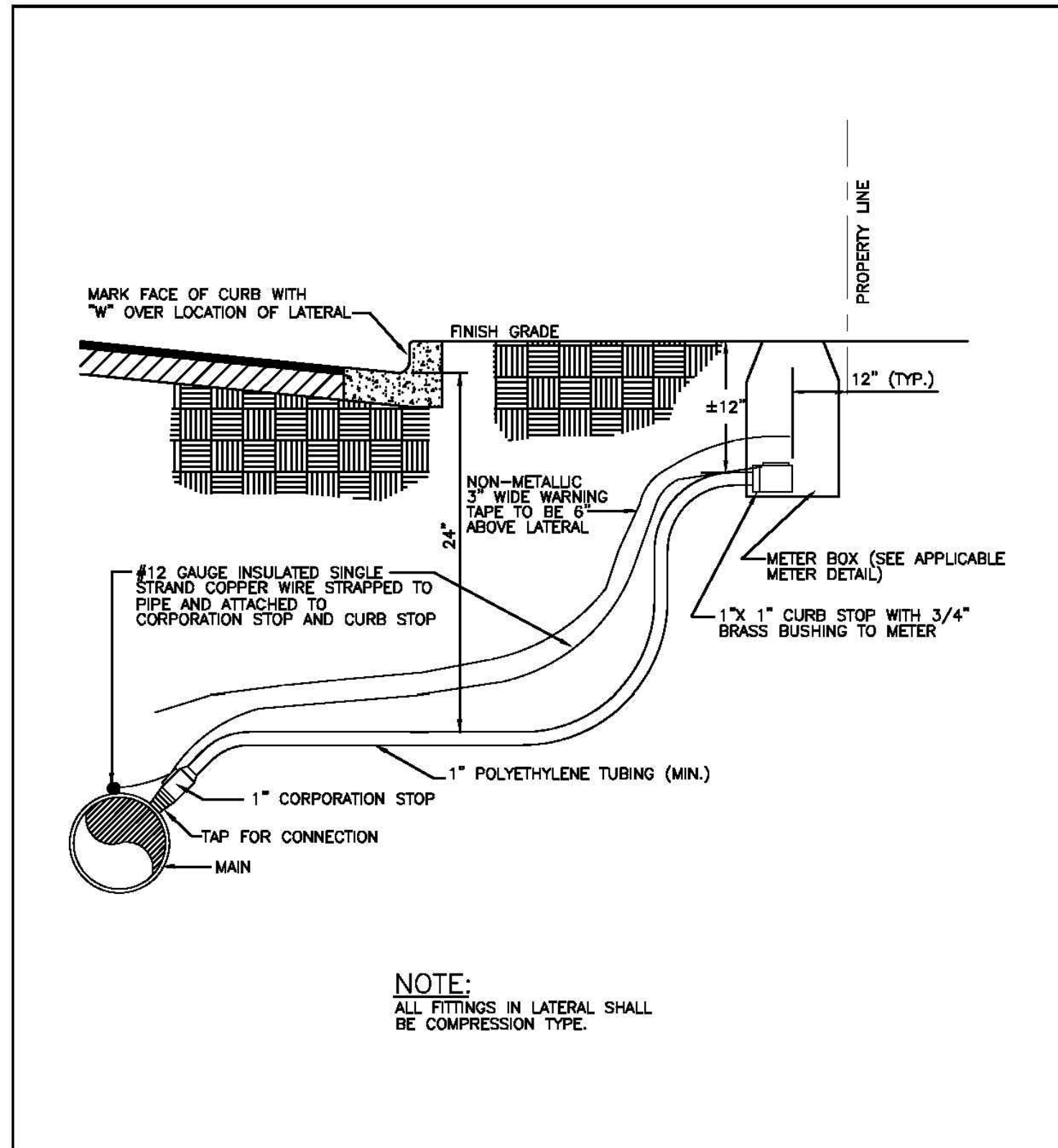
TYP. SECTION UNDERGROUND UTILITY INSTALLATION
City of Port Wentworth
TECHNICAL DETAILS
 U-1
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



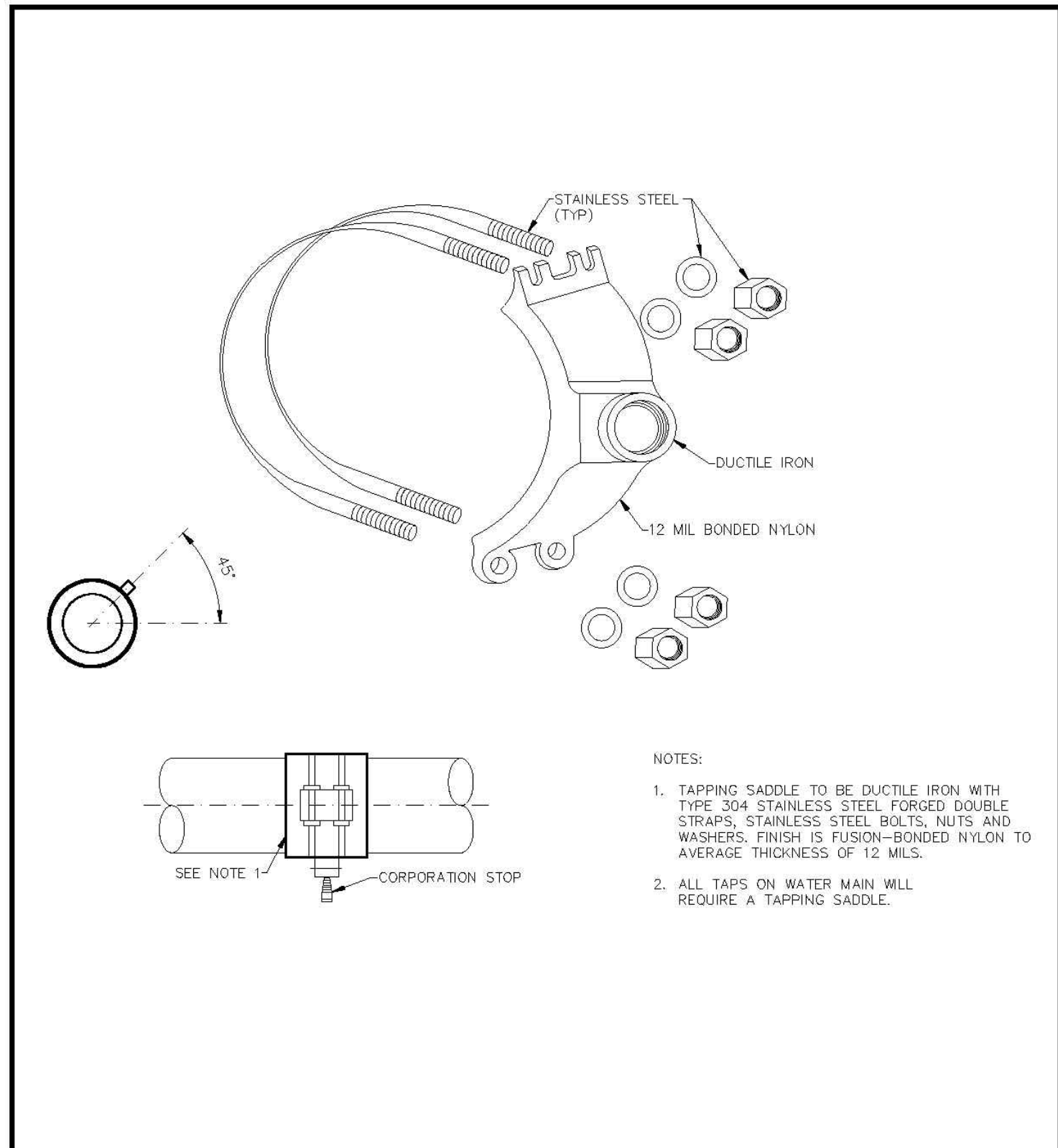
TYP. WATER & SEWER PLANNING
City of Port Wentworth
TECHNICAL DETAILS
 U-2
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



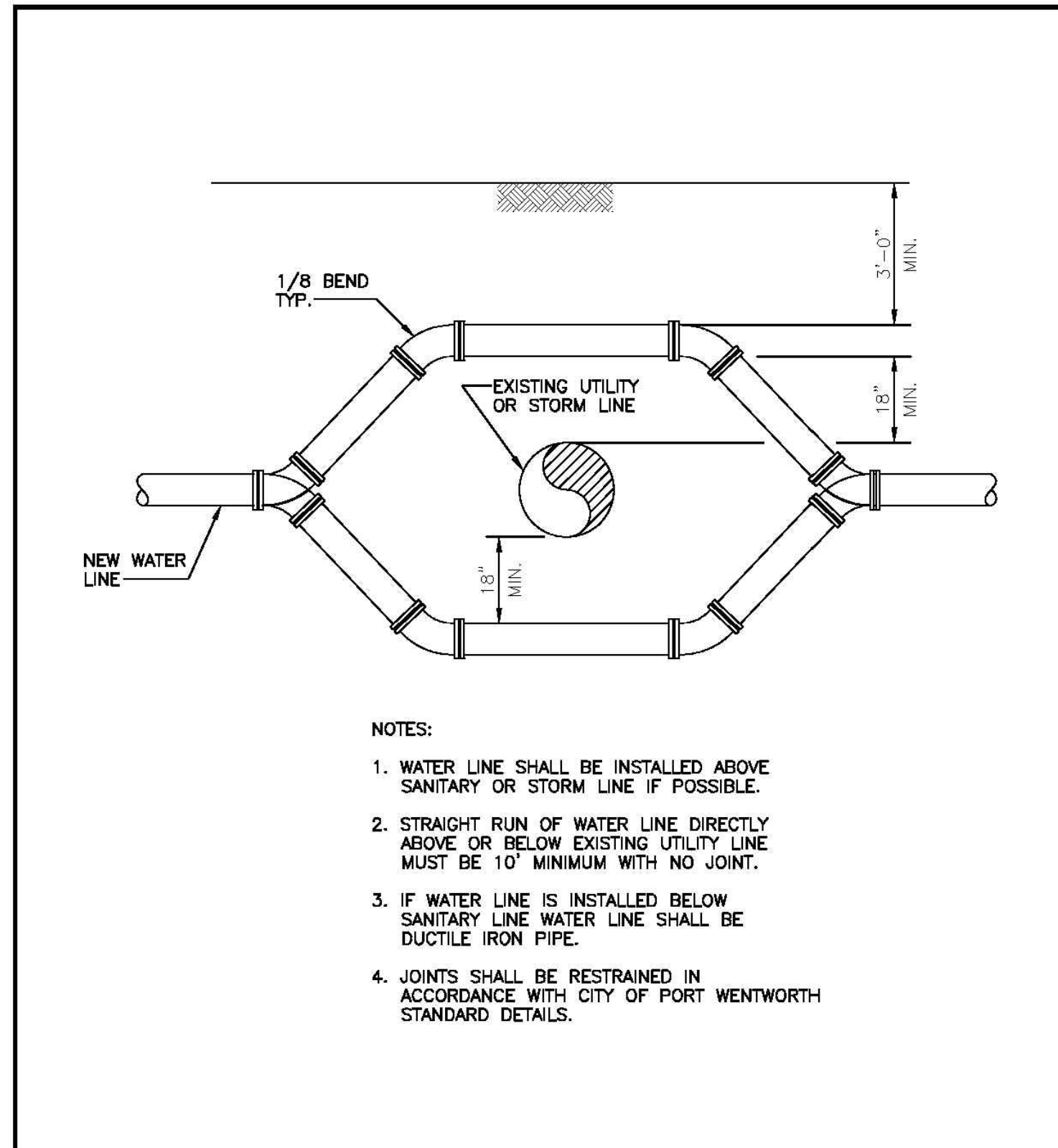
MINIMUM WATER & SEWER PIPE SEPARATION
City of Port Wentworth
TECHNICAL DETAILS
 U-3
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



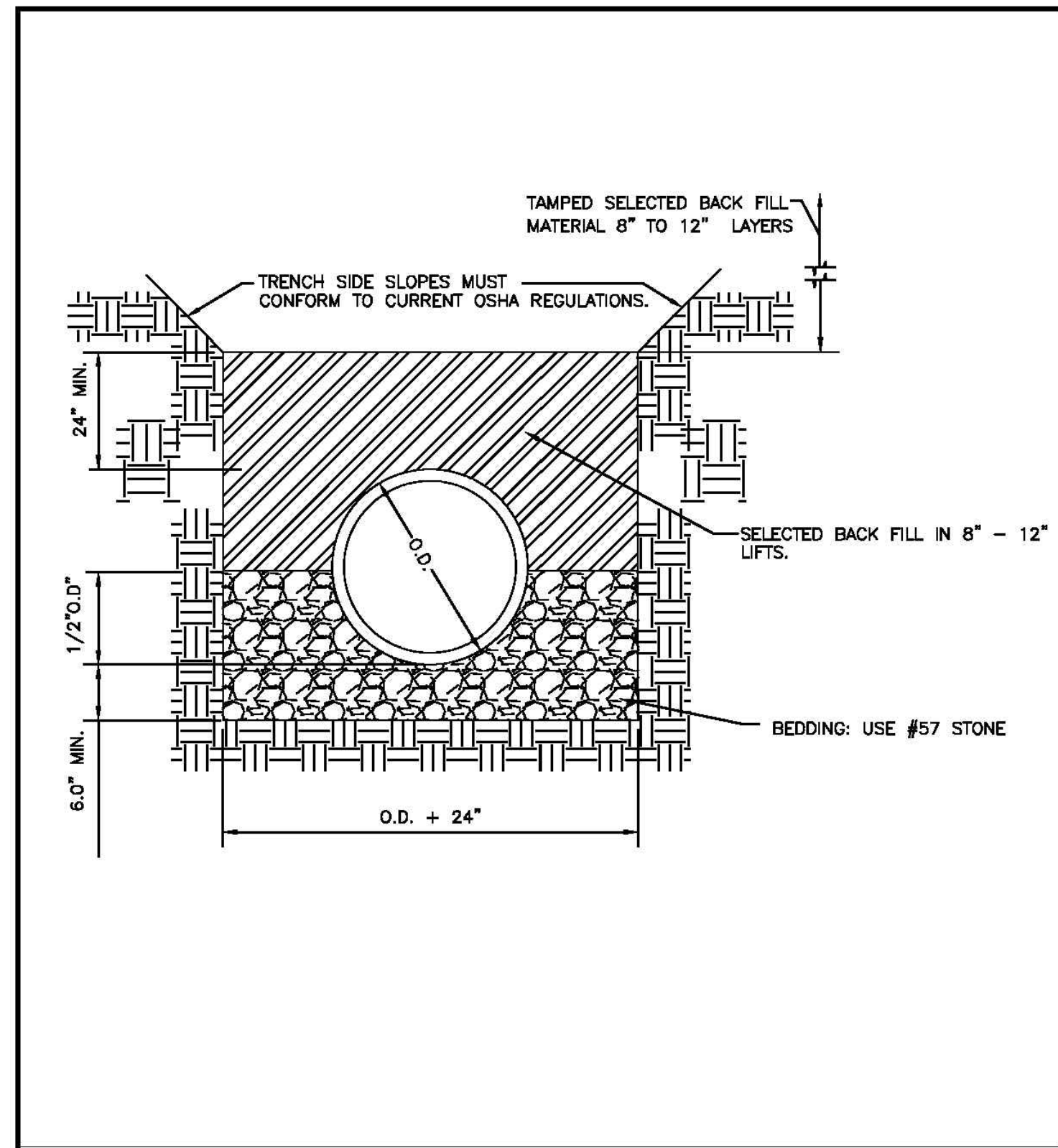
WATER SERVICE LATERAL
City of Port Wentworth
TECHNICAL DETAILS
 W-1
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



1" AND 2" TAPPING SADDLE
City of Port Wentworth
TECHNICAL DETAILS
 W-2
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

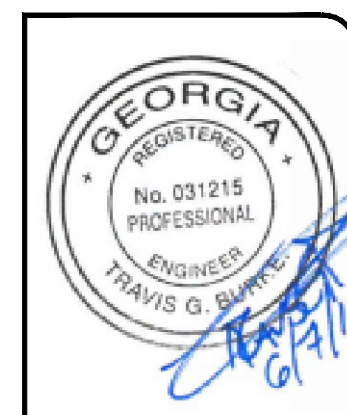


STANDARD UTILITY CROSSING
City of Port Wentworth
TECHNICAL DETAILS
 W-6
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



PIPE BEDDING
City of Port Wentworth
TECHNICAL DETAILS
 W-8
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE | SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 | (F) 912-200-3056



REVISION

CIVIL CONSTRUCTION PLANS FOR:
MULBERRY TRACT PHASE I
LOCATED IN: PORT WENTWORTH
PREPARED FOR: BALD EAGLE PARTNERS

DETAILS
 DATE: 5/17/2018
 SCALE: NTS
 JOB #: 17-100
 DRAWN BY: DCP
 CHECKED BY: TGB

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____

SHEET
08.1

BLUE REFLECTOR ON PAVEMENT PERPENDICULAR TO PUMP CONNECTOR

PUMP CONNECTION TO FACE STREET

CONCRETE COLLAR

FIN. GRADE

CAST IRON VALVE BOX WITH COVER

MAIN TEE

13" MIN.

6" GATE

6" MIN.

6" Ø DUCTILE IRON PIPE

12 GAUGE TRACING WIRE

MEGALUG RESTRAINED JOINT, (TYP.)

FIRE HYDRANT

2" MIN. EXPOSURE- PROVIDE EXTENSION WHERE NECESSARY

7 CUBIC FEET OF GRAVEL AROUND WEEP HOLES

CONCRETE SLAB 4"

NOTE:

1. ALL JOINTS FROM MAIN TO HYDRANT SHALL BE RESTRAINED.
2. PROTECT BOLTS AND THREADS FROM CONCRETE.

STANDARD FIRE HYDRANT
City of Port Wentworth
 TECHNICAL DETAILS
 W-9

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTES:

1. MANHOLE FRAME AND COVER SHALL BE NEENAH FOUNDRY CO. CATALOG NO. R-1668, TYPE C, LABELED "WATER".
2. THE BOTTOM OF THE MANHOLE FRAME SHALL NOT BE MORE THAN 12" ABOVE THE TOP OF THE MANHOLE STRUCTURE.
3. PRECAST CONCENTRIC CONE RISERS MAY BE USED WHERE REQUIRED FOR DEPTH.
4. THE MANHOLE FRAME AND COVER MUST BE CENTERED OVER THE VALVE.

PLAN

SECTION

CONCRETE COLLAR

MANHOLE FRAME & COVER

8" BRICK

6" Ø C. EACH WAY

12" MIN.

6" MIN.

GATE VALVE SHALL BE RESTRAINED JOINT

24" MIN.

TRACING WIRE

PRECAST CONCRETE

5" MIN.

18" MIN.

NOTE:

1. WATER METER FOR THE 3/4" AND 1" WATER METERS SHALL BE PURCHASED FROM CITY OF PORT WENTWORTH.
2. THE WATER METER BOX SHALL BE DONE BY THE CUSTOMER REQUIRING SERVICE.
3. IF A WATER TAP IS REQUIRED FOR THE WATER SERVICE, IT SHALL BE THE RESPONSIBILITY OF THE CUSTOMER AND SHALL BE INSTALLED IN THE DIRECTION OF THE CITY OF PORT WENTWORTH.
4. THE CUSTOMER REQUIRING SERVICE SHALL BE RESPONSIBLE FOR CALLING AND/OR REPAIRS OF EXCAVATED AREA.

VALVE MANHOLE FOR 8" & GREATER GATE VALVE
City of Port Wentworth
 TECHNICAL DETAILS
 W-14

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

FINISHED GRADE

CAST IRON METER BOX TOP

PLASTIC METER BOX

WATER METER

1/2" OF GRAVEL

1" BRASS COMPRESSION FITTING

1" POLYETHYLENE PIPE FROM MAIN

#12 GAUGE SOLID COPPER WIRE

1" TAP C.C. TREAD

WATER MAIN

STAINLESS STEEL DOUBLE STRIP TAPPING SAUSAGE

WATER METER INSTALLATION 1" SERVICE PIPE 3/4" METER & 1" METER

NOTE:

1. WATER METER FOR THE 3/4" AND 1" WATER METERS SHALL BE PURCHASED FROM CITY OF PORT WENTWORTH.
2. THE WATER METER BOX SHALL BE DONE BY THE CUSTOMER REQUIRING SERVICE.
3. IF A WATER TAP IS REQUIRED FOR THE WATER SERVICE, IT SHALL BE THE RESPONSIBILITY OF THE CUSTOMER AND SHALL BE INSTALLED IN THE DIRECTION OF THE CITY OF PORT WENTWORTH.
4. THE CUSTOMER REQUIRING SERVICE SHALL BE RESPONSIBLE FOR CALLING AND/OR REPAIRS OF EXCAVATED AREA.

RESIDENTIAL WATER METER W/BACKFLOW PREVENTER
City of Port Wentworth
 TECHNICAL DETAILS
 W-17

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

PVC LINE

PIPE DIA.	BEND ANGLE			
	11 1/4"	22 1/2"	45°	90°
4	3	6	12	29
6	4	8	17	41
8	5	11	22	53
10	6	13	26	64
12	7	15	31	75

DUCTILE IRON LINE

PIPE DIA.	BEND ANGLE			
	11 1/4"	22 1/2"	45°	90°
4	2	4	8	20
6	3	6	12	28
8	4	7	15	36
10	4	9	18	43
12	5	10	21	51
16	6	13	27	65
20	8	16	33	79
24	9	18	38	92

MINIMUM RESTRAINED LENGTH (L)

NOTES:

1. LENGTH OF RESTRAINED SHOWN IS IN FEET.
2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

STANDARD HORIZONTAL BEND RESTRAINT
City of Port Wentworth
 TECHNICAL DETAILS
 W-27

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

PVC LINE

PIPE DIA.	BEND ANGLE			
	11 1/4"	22 1/2"	45°	90°
4	5	10	22	52
6	7	15	30	74
8	9	19	40	96
10	11	23	48	115
12	13	27	56	136

DUCTILE IRON LINE

PIPE DIA.	BEND ANGLE			
	11 1/4"	22 1/2"	45°	90°
4	3	6	12	28
6	4	8	17	40
8	4	10	22	52
10	5	12	26	62
12	6	15	30	73
16	7	19	39	94
20	11	23	47	114
24	13	26	55	132

MINIMUM RESTRAINED LENGTH (L)

NOTES:

1. LENGTH OF RESTRAINED SHOWN IS IN FEET.
2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

STANDARD VERTICAL BEND RESTRAINT
City of Port Wentworth
 TECHNICAL DETAILS
 W-28

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

U1

U2

NOTE:

1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
2. WHERE LIMITS CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.
3. U1 AND U2 = UNINTERRUPTED STRAIGHT RUNS OF PIPE IN EACH DIRECTION.
4. U_r = THE SMALLER OF U1 OR U2.
5. L = MINIMUM RESTRAINED LENGTH ALONG THE BRANCH.
6. WHERE U_r IS LESS THAN 5', RESTRAIN TEE AS A 90° HORIZONTAL BEND.

TEE	U _r 5'-10"	11'-20"	21'-35"	> 35'
4x4	43	28	4	*
6x4	38	17	*	*
6x6	64	49	25	*
8x4	34	6	*	*
8x6	61	42	10	*
8x8	67	72	48	12
10x4	29	*	*	*
10x6	58	34	*	*
10x8	84	66	35	*
10x10	106	91	67	31
12x4	24	*	*	*
12x6	54	26	*	*
12x8	82	60	23	*
12x10	104	86	57	13
12x12	126	112	87	51

MINIMUM RESTRAINED LENGTH (L)
 * RESTRAIN AT TEE ONLY

STANDARD TEE RESTRAINT (PVC LINE)
City of Port Wentworth
 TECHNICAL DETAILS
 W-29

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

DUCTILE IRON LINE

PIPE DIA.	L
4	28
6	40
8	52
10	62
12	73
16	94
20	114
24	132

PVC LINE

PIPE DIA.	L
4	52
6	74
8	96
10	115
12	136

NOTE:

1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
2. WHERE LIMITS CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.
3. FOR LINE STUBS (SEE DETAIL W39), THE LENGTH OF RESTRAINT (L) SHALL BE FROM THE VALVE AND NOT THE CAP.

STANDARD DEAD END RESTRAINT
City of Port Wentworth
 TECHNICAL DETAILS
 W-31

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

PLAN

SECTION

NOTE:

MANHOLE RING & COVER SHALL BE HEAVY DUTY RATED EQUAL TO U. S. FOUNDRY CO. USP 195-ORS. TOTAL WEIGHT 326# TYPE "C" LID TO HAVE MACHINED BEARING SURFACES. LID TO BE LETTERED 2 1/2" -3" LETTER HEIGHT "WATER" (NON VENTED). MANHOLE RING SHALL INCLUDE A WATER TIGHT GASKET. STACKING SLEATS ON THE BOTTOM OF THE COVER SHALL NOT BE ALLOWED.

MANHOLE RING & COVER
City of Port Wentworth
 TECHNICAL DETAILS
 W-34

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (0) 912.200.3041 (F) 912.200.3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. WATKINS

REVISION

CIVIL CONSTRUCTION PLANS FOR:
MULBERRY TRACT PHASE I
LOCATED IN: PORT WENTWORTH
PREPARED FOR: BALD EAGLE PARTNERS

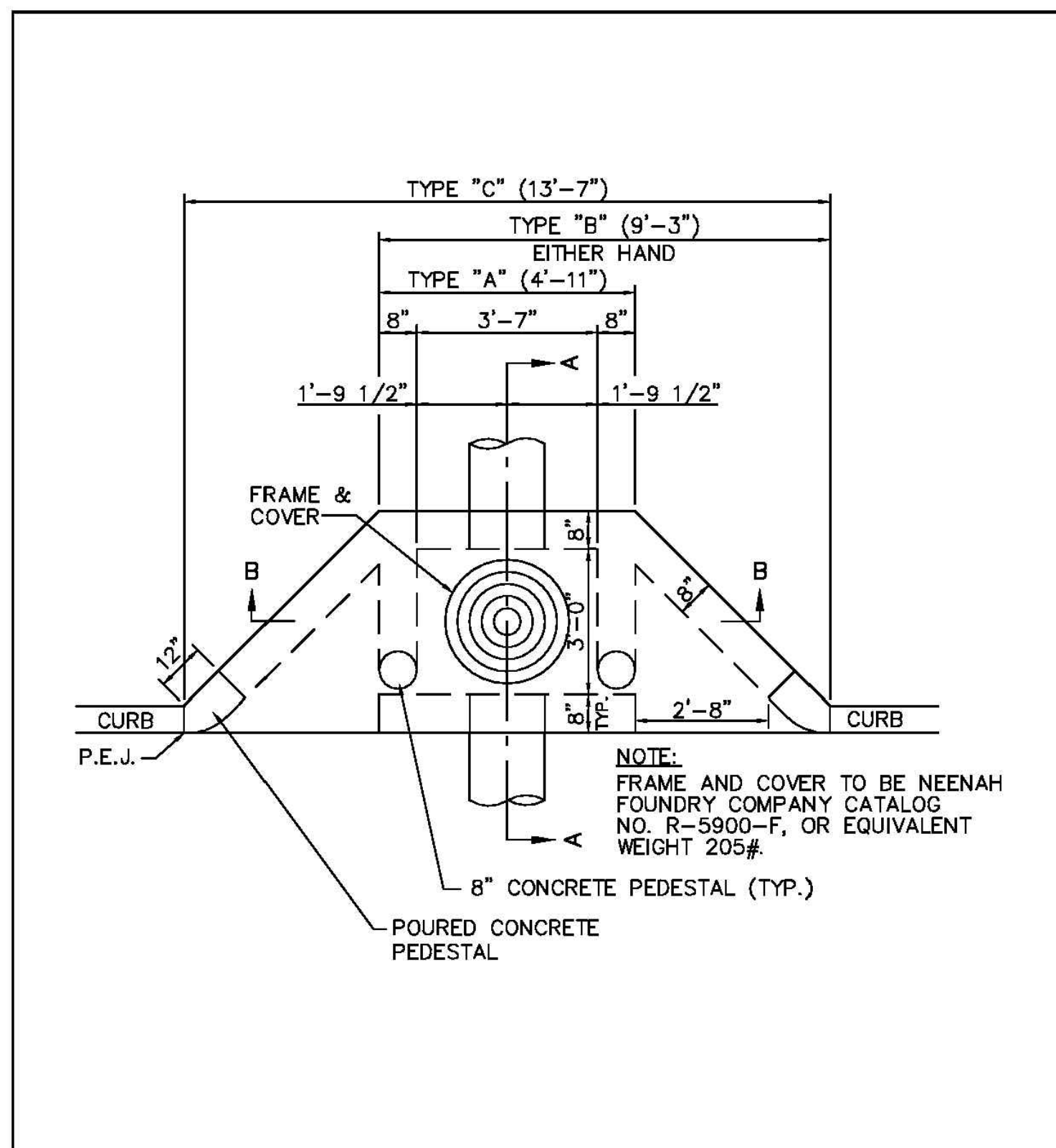
DETAILS

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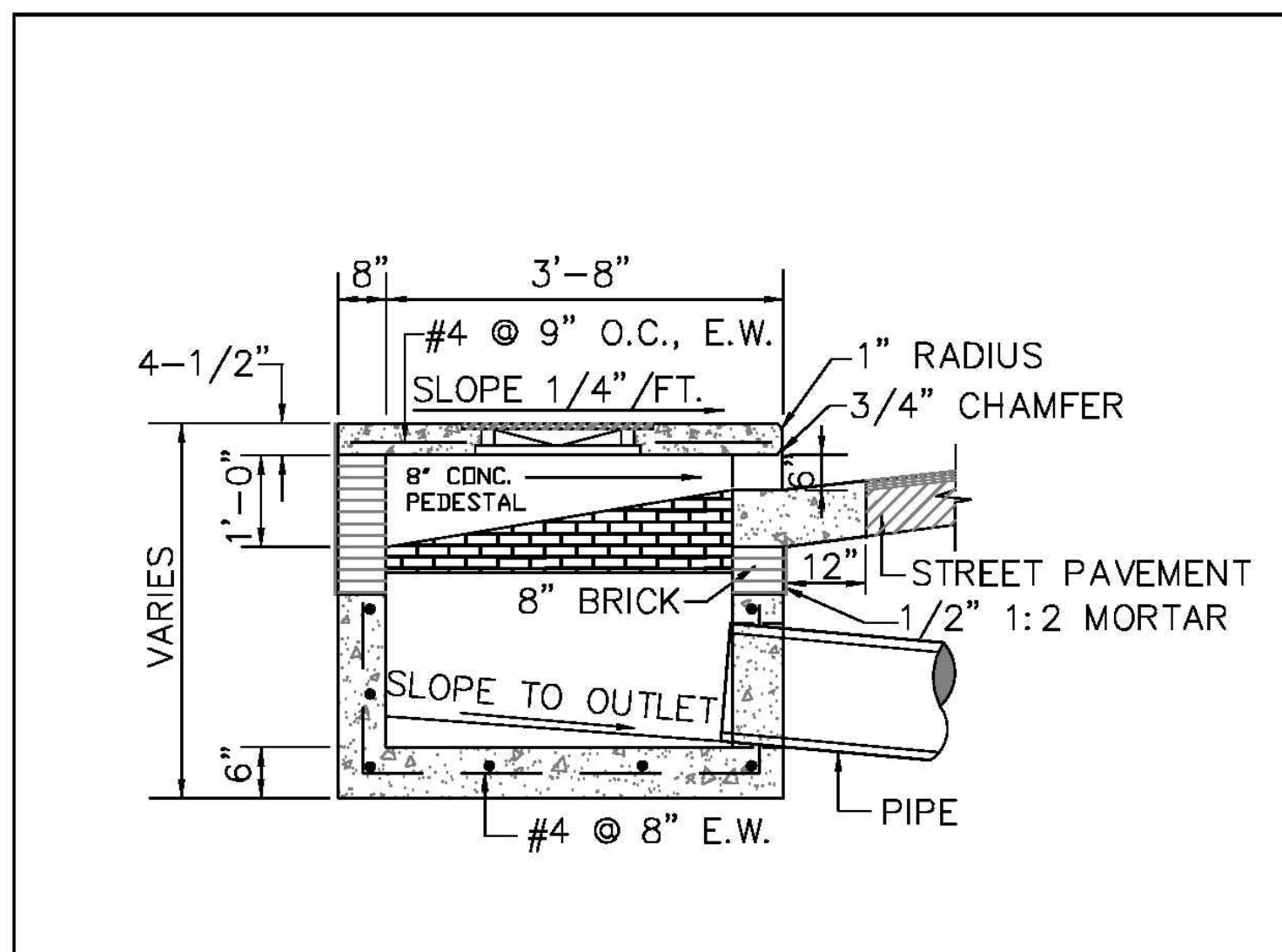
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SHEET
C8.2

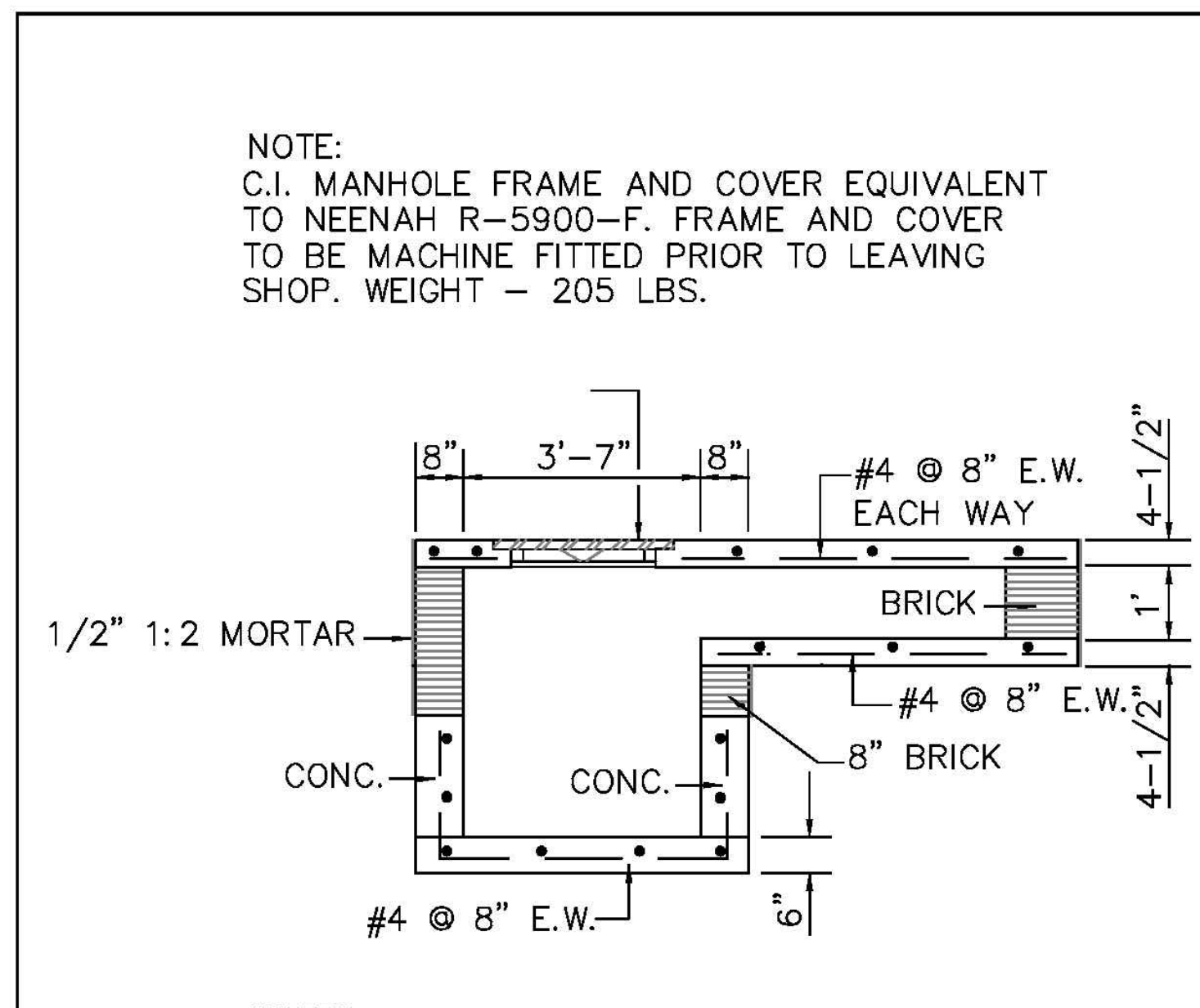
Packet Pg. 92



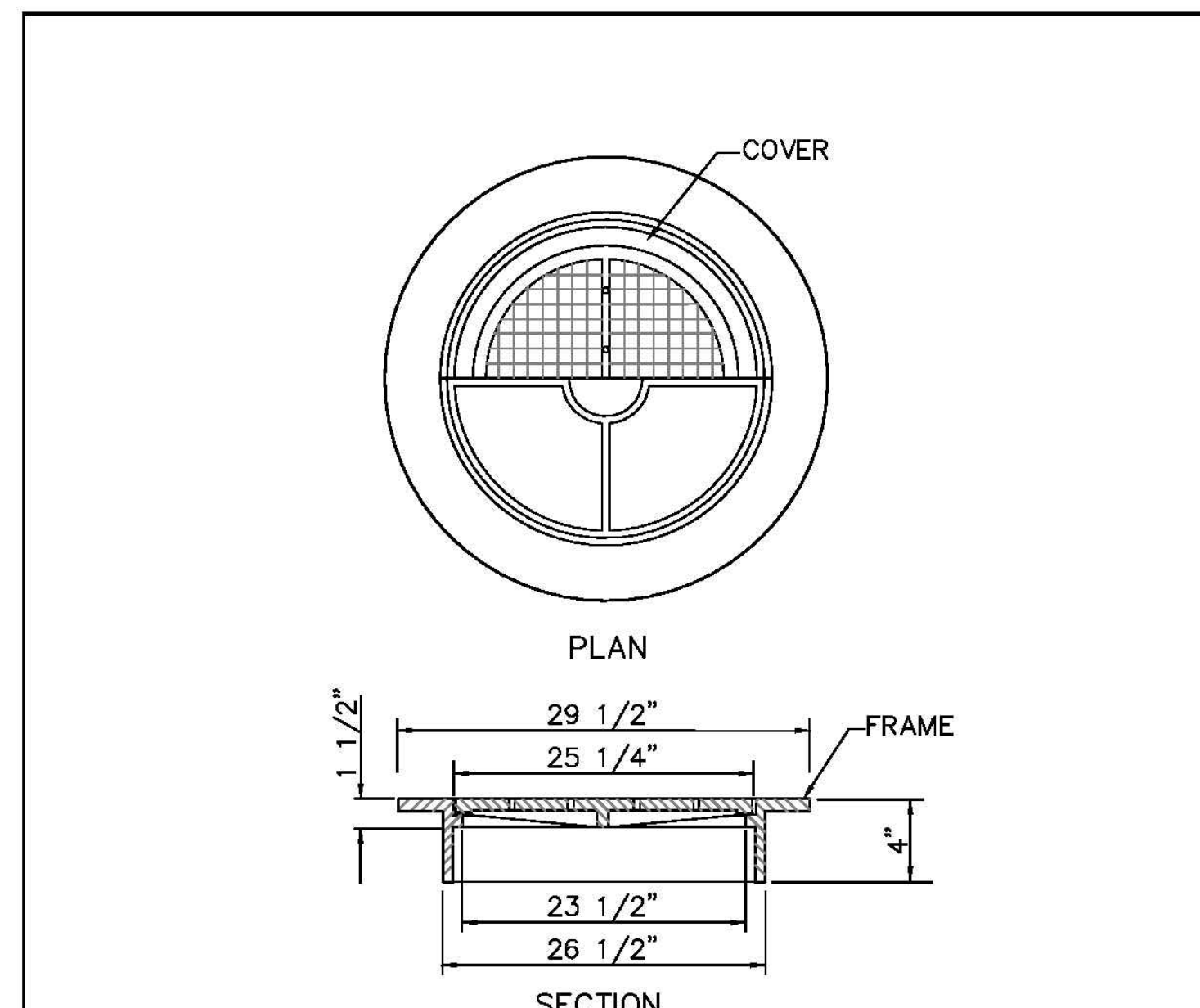
PLAN OF CURB INLET
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-1
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



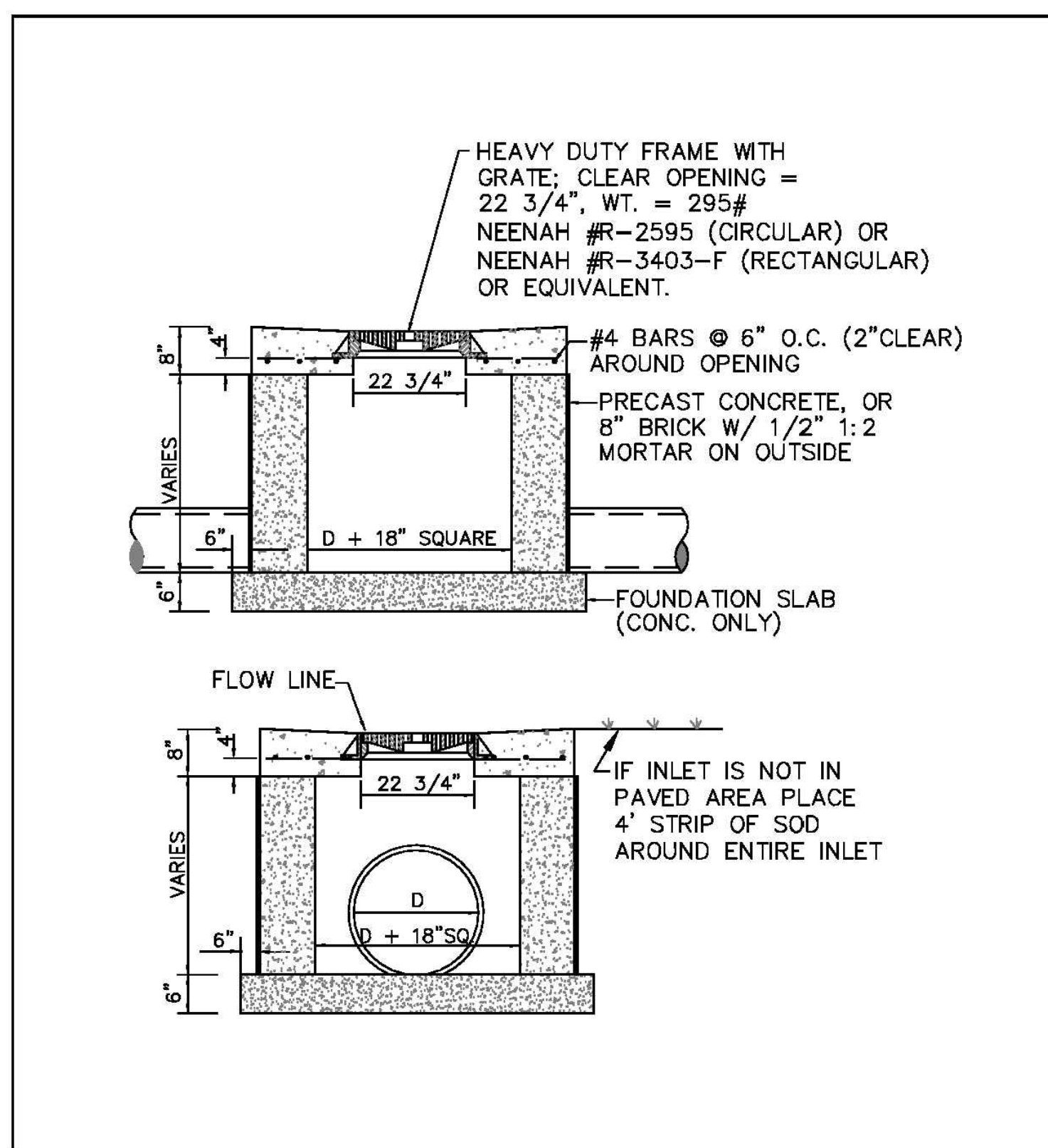
CURB INLET SECTION A - A
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-3
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



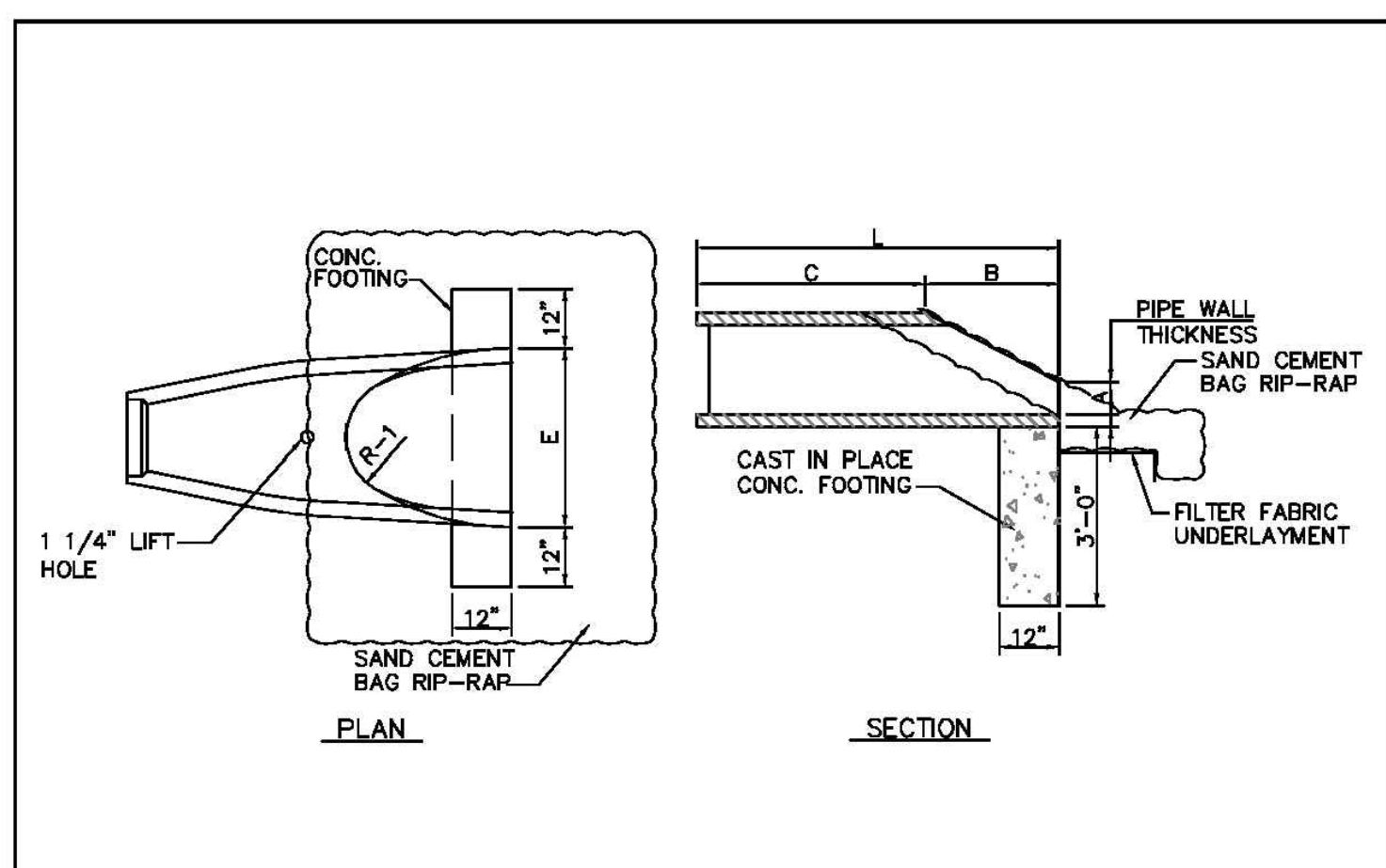
CURB INLET SECTION B - B
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-4
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



INLET FRAME & COVER
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-5
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



GRATE INLET
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-8
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

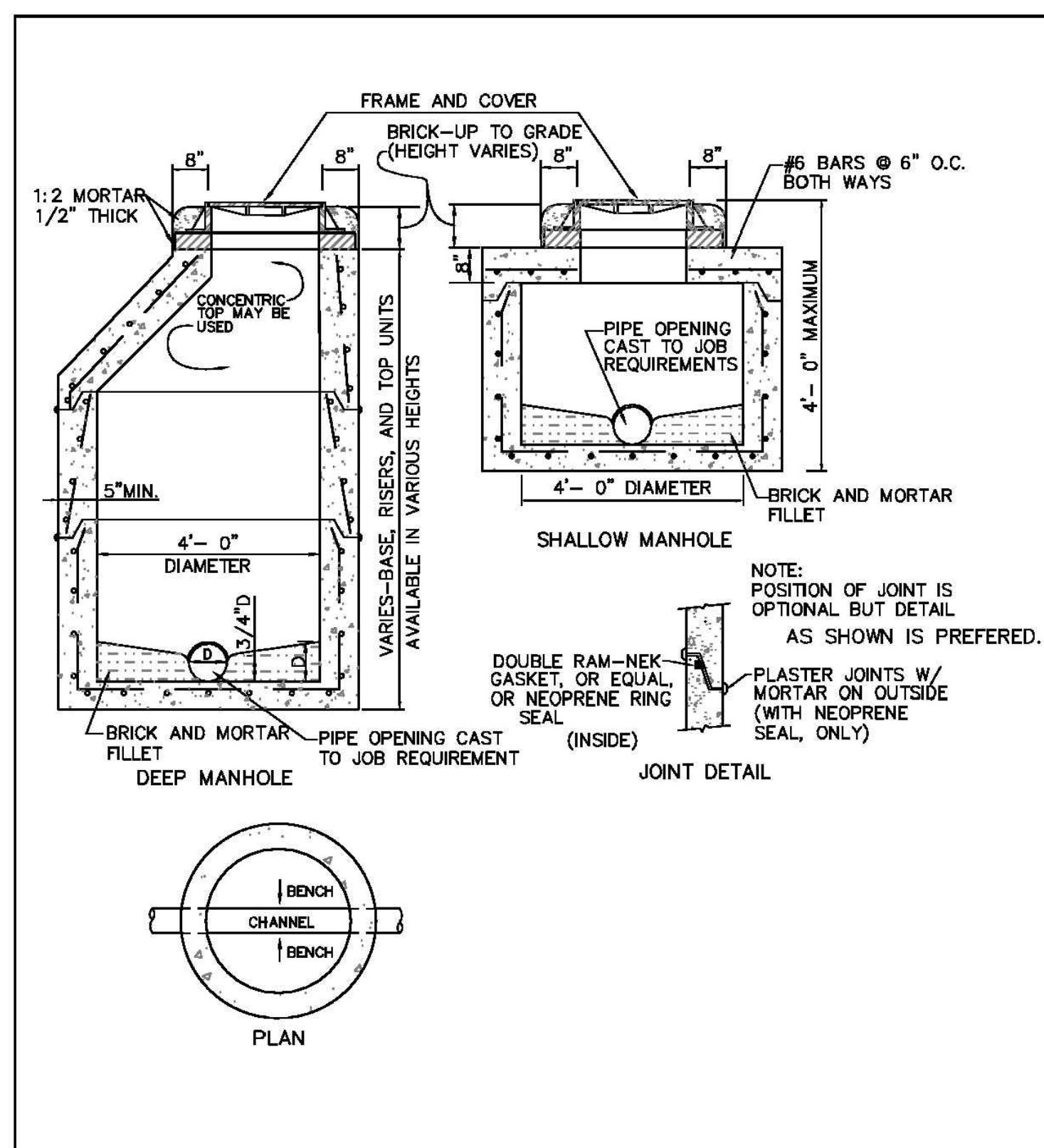


FLARE DIMENSIONS

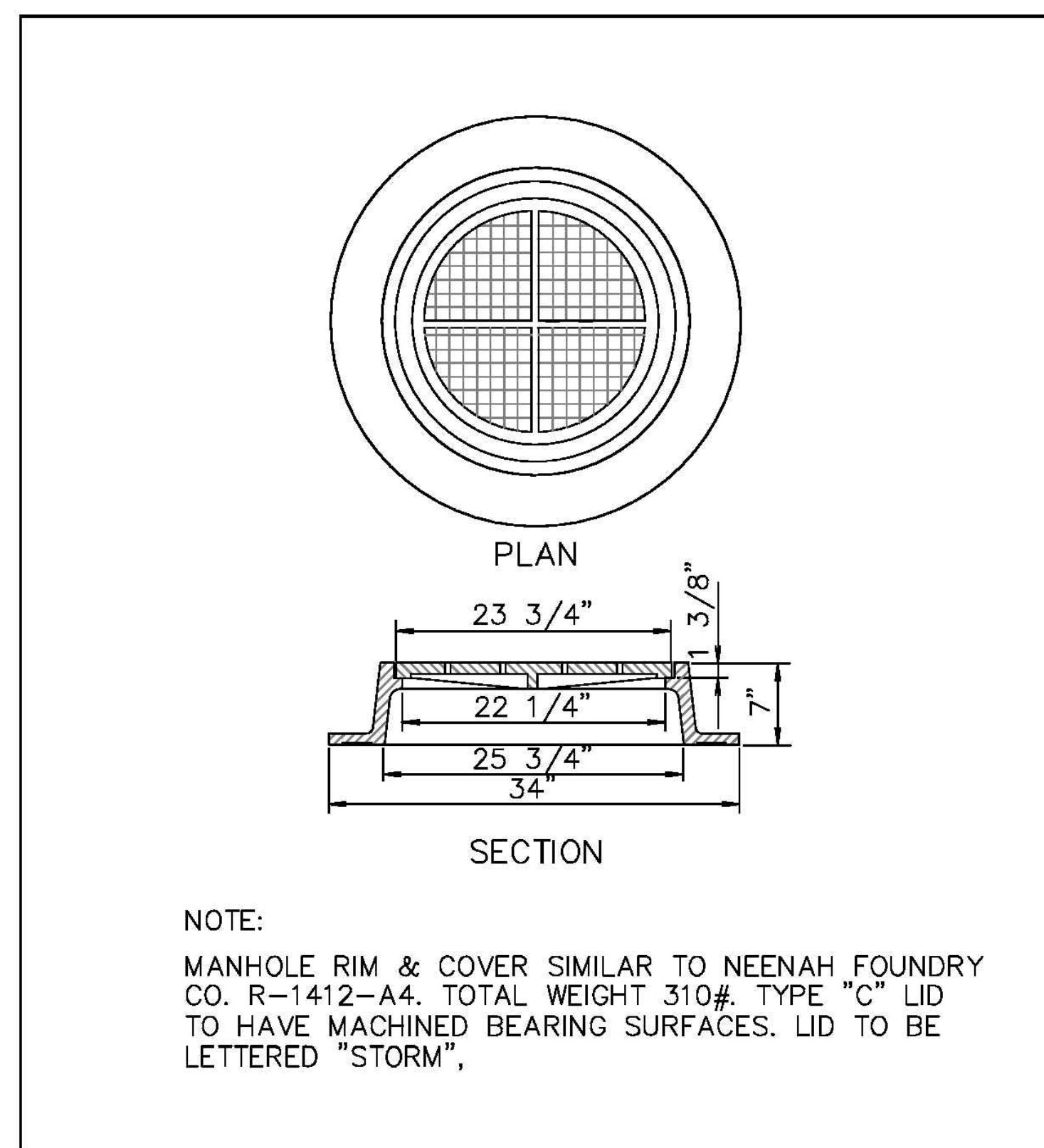
PIPE DIA.	A	B	C	L	E	R-1
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	1'-0"
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	1'-4"
24"	10"	3'-8"	2'-6"	6'-2"	4'-0"	1'-5"
30"	12"	4'-6"	1'-8"	6'-2"	5'-0"	1'-6"
36"	16"	5'-3"	2'-11"	8'-2"	6'-0"	2'-0"
42"	21"	5'-3"	2'-11"	8'-2"	6'-6"	2'-4"

REINFORCEMENT CONFORMS TO ASTM A-82

FLARED END SECTION
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-11
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



PRECAST STORM MANHOLE
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-12
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



STORM MANHOLE RING & COVER
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-14
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 (F) 912.200.3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. WINTER

REVISION

CIVIL CONSTRUCTION PLANS FOR:
 MULBERRY TRACT PHASE I
 LOCATED IN: PORT WENTWORTH
 PREPARED FOR: BALD EAGLE PARTNERS

DETAILS

DATE: 5/17/2018
 SCALE: NTS
 JOB #: 17-100
 DRAWN BY: DCP
 CHECKED BY: TGB

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____

SHEET
C8.3



June 25, 2018

Mr. Brian Harvey
 Director of Development Services
 City of Port Wentworth
 305 South Coastal Highway
 Port Wentworth, GA 31407

RE: Mulberry Tract Phase I (1st Submittal)

Dear Mr. Harvey:

We have the initial submittal for the referenced project. Below are our comments.

- 1) On sheet 2 – Place City of Port Wentworth’s name where appropriate in the notes.
- 2) Show all storm drainage pipe easements.
- 3) Sheet C5.0 - change 8” MJ Plug to 10” and show 8” GV east of tee at Circle Drive.
- 4) Sheet C5.0 call out length, size, material & slope from SSMH-4 to 1. Provide I.E. In for SSMH-4 (Plugged)
- 5) 8” water valves or larger shall be in manholes. Valve spacing shall be 800’ max.
- 6) Add a note water service pipe shall be SDR 9 HDPE.
- 7) Add a note water main pipe shall be P.C. 350 DIP or PVC C900 DR18.
- 8) Complete and submit the CDM 3.4.4 Exhibit 2 Fire Protection Design Requirements & Exhibit 3 Available Fire Flow (AFF).
- 9) Maximum sanitary sewer manhole spacing is 350’.
- 10) Complete and submit the CDM 3.5.4 Exhibit 2 Equivalent Residential Units (ERU) Calculations.
- 11) Comply with the City’s Reuse Ordinance. Submit reuse irrigation plans.
- 12) Show water, storm and sewer crossings in all profiles.
- 13) Peak discharge flow rates shall maintain pre-developed rates through the 50-year storm events. There is a typo in the CDM.
- 14) Verify that no storm sewer structure is overtopping during a 25-year storm event.
- 15) What are the pavement thickness’s? Show on detail.
- 16) The Coastal Stormwater Supplement needs to be addressed for this site.
- 17) Provide EPD E&S approval.
- 18) Provide EPD Water & Sewer approval.

Let us know if there are questions.

Sincerely,

GOODWYN MILLS CAWOOD, INC.


 James C. Vaughn, Jr., P.E.
 Project Manager

Goodwyn Mills Cawood

424 East Oglethorpe Avenue
 Savannah, GA 31401

T (912) 655-6790
 F (770) 955-1064

www.gmcnetwork.com

Cc: Coleman Company (via email)

Attachment: PW Mulberry Tract PH I Submittal 1 (1946 : Site Plan Review Application Mulberry Tract Phase I JULY 2018)



July 2, 2018

Mr. Brian Harvey
 Director of Development Services
 City of Port Wentworth
 305 South Coastal Highway
 Port Wentworth, GA 31407

RE: Mulberry Tract Phase I (2nd Submittal)

Dear Mr. Harvey:

We have the 2nd submittal for the referenced project. Below are our comments.

- 1) 8" water valves or larger shall be in manholes.
- 2) Water valve spacing shall be 800' max.
- 3) Sheet C5.1 – Label Fire Hydrant Assembly #3 at end of PH 1 line.
- 4) Sheet C5.1 - Add 8" and 10" gate valves and manholes at end of PH 1 water lines.
- 5) Sheet C5.1 - Add 8" gate valve to main line before Fire Hydrant Assembly #2 to satisfy the valves spacing requirement.
- 6) Comply with the City's Reuse Ordinance. Submit irrigation plans.
- 7) Provide EPD E&S approval.
- 8) Provide EPD Water & Sewer approval.

Let us know if there are questions.

Sincerely,

GOODWYN MILLS CAWOOD, INC.

James C. Vaughn, Jr., P.E.
 Project Manager

Cc: Coleman Company (via email)

Goodwyn Mills Cawood

424 East Oglethorpe Avenue
 Savannah, GA 31401

T (912) 655-6790
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