



CITY OF PORT WENTWORTH

PLANNING COMMISSION

JUNE 11, 2018

Council Meeting Room

Regular Meeting

6:30 PM

**305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GA 31407**

1. CALL MEETING TO ORDER

2. PRAYER AND PLEDGE OF ALLEGIANCE

3. ROLL CALL - SECRETARY

4. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - May 14, 2018 6:30 PM

5. ZONING MAP AMENDMENTS (REZONING)

A. Application to Amend the Zoning Map submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Inter Metro Properties (GA), LLC., for PIN #'s 7-0002-01-001A, 7-0002-01-001, 7-0002-01-002, 7-0002-01-002A, & 7-0002-01-003 (6520, 5630, 6532, & 6548 Highway 21) to rezone the properties from P-C-3 (Planned Community Business) & RA (Residential Agriculture) to P-I-2 (Planned Industrial)

- Public Hearing
- Action

6. ZONING TEXT AMENDMENTS (ORDINANCES)

7. SITE PLAN/SUBDIVISION APPROVAL

A. Site Plan Review Application submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Inter Metro Properties (GA), LLC., for PIN #'s 7-0002-01-001A, 7-0002-01-001, 7-0002-01-002, 7-0002-01-002A, & 7-0002-01-003 (6520, 6530, 6532, 6546, & 6548 Highway 21) for a General Development Site Plan to allow warehouses in a P-C-3 (Planned General Business) Zoning District

- Public Hearing
- Action

B. Site Plan Review Application submitted by Sherry Davis for PIN # 7-0020-01-010 (409 Grange Rd) for a General Development Site Plan to allow a trucking facility with an office in a P-I-2 (Planned Industrial) Zoning District

- Public Hearing
- Action

C. Site Plan Review Application submitted by Haydon Rollins, Hussey, Gay, & Bell, on behalf of CRN Development, LLC., for PIN # 7-0037-01-012 (Coldbrook Station Cir) for a Specific Development Site Plan to allow a multi-family apartment development in a P-R-M (Planned Residential Multi-Family) Zoning District

- Public Hearing
- Action

- D. Subdivision Application submitted by Joshua Akins, Coleman Company, INC., on behalf of Bald Eagle Partners, for PIN # 7-0906B-14-003 (Birch Circle) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Parkside Subdivision, Phase 1-C) for the purpose of Single-Family Homes

- Public Hearing
- Action

8. NEW BUSINESS

- A. Carl Vinson Institute of Government Training Opportunities

9. ADJOURNMENT



CITY OF PORT WENTWORTH

PLANNING COMMISSION

MAY 14, 2018

Council Meeting Room

Regular Meeting

6:30 PM

305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

Vice Chairman Jerry Bogus called the meeting to order.

2. PRAYER AND PLEDGE OF ALLEGIANCE

Vice Chairman Jerry Bogus led in Prayer and the Pledge of Allegiance.

3. ROLL CALL - SECRETARY

Attendee Name	Title	Status	Arrived
Jerry Bogus	Planning Commissioner	Present	
Larry Longo	Planning Commissioner	Present	
Rufus Bright	Planning Commissioner	Present	
Rosetta Franklin	Planning Commissioner	Present	
Donna Blalock	Planning Commissioner	Present	
Wanda Rolf	Planning Commissioner	Present	
Andy Quinney	Planning Commissioner	Present	
Maurice Rahn	Planning Commissioner	Absent	
Brian Harvey	Director of Development Services	Present	
Melanie Ellis	Administrative Secretary	Present	

4. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - Apr 9, 2018 6:30 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Andy Quinney, Planning Commissioner
SECONDER:	Rufus Bright, Planning Commissioner
AYES:	Longo, Bright, Franklin, Blalock, Rolf, Quinney
ABSENT:	Rahn

5. ZONING MAP AMENDMENTS (REZONING)

6. ZONING TEXT AMENDMENTS (ORDINANCES)

7. SITE PLAN/SUBDIVISION APPROVAL

A. Alcoholic Beverage License Application submitted by Earlishia Collins for a Beer / Wine License for SAI 18 Inc (101 North Coastal Highway) located in a P-C-2 (Planned Community Business) Zoning District.

Mr. Harvey informed the Commission that the application was complete. The applicant, Earlishia Collins, was present to answer questions. The Commission asked several questions regarding who would be managing the store for the applicant. Ms. Collins responded that the current manager would be operating the business and they have

protocols in place to prevent underage sale of alcoholic beverages. After several minutes of discussion, Rufus Bright made a motion to approve the application. Donna Blalock seconded the motion to approve. The vote to approve the application was unanimous.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Rufus Bright, Planning Commissioner
SECONDER:	Donna Blalock, Planning Commissioner
AYES:	Longo, Bright, Franklin, Blalock, Rollf, Quinney
ABSENT:	Rahn

8. OFFICER ELECTION

A. Election of Chairman

1. Vote

Larry Longo nominated Jerry Bogus for the position of Chairman. Rosetta Franklin seconded the motion to approve the nomination. The vote was unanimous.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Larry Longo, Planning Commissioner
SECONDER:	Rosetta Franklin, Planning Commissioner
AYES:	Longo, Bright, Franklin, Blalock, Rollf, Quinney
ABSENT:	Rahn

B. Election of Vice Chairman

1. Vote

Wanda Rollf nominated Donna Blalock for the position of Vice Chairman. Larry Longo seconded the motion to approve the nomination. The vote was unanimous.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Wanda Rollf, Planning Commissioner
SECONDER:	Larry Longo, Planning Commissioner
AYES:	Longo, Bright, Franklin, Blalock, Rollf, Quinney
ABSENT:	Rahn

9. ADJOURNMENT

There being no further business to discuss, Commissioner Bright made a motion to adjourn the meeting. Commissioner Quinney seconded the motion to adjourn. The vote was unanimous.

Jerry Bogus, Chairman

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2018.

Minutes Acceptance: Minutes of May 14, 2018 6:30 PM (ADOPTION OF MINUTES)

Larry Longo, Secretary

Minutes Acceptance: Minutes of May 14, 2018 6:30 PM (ADOPTION OF MINUTES)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 06/11/18 06:30 PM
Department: Public Services
Category: Ordinance
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 1919)

DOC ID: 1919

Application to Amend the Zoning Map submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Inter Metro Properties (GA), LLC., for PIN #'s 7-0002-01-001A, 7-0002-01-001, 7-0002-01-002, 7-0002-01-002A, & 7-0002-01-003 (6520, 5630, 6532, & 6548 Highway 21) to rezone the properties from P-C-3 (Planned Community Business) & RA (Residential Agriculture) to P-I-2 (Planned Industrial)

Issue/Item: Application to Amend the Zoning Map submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Inter Metro Properties (GA), LLC., for PIN #'s 7-0002-01-001A, 7-0002-01-001, 7-0002-01-002, 7-0002-01-002A, & 7-0002-01-003 (6520, 5630, 6532, & 6548 Highway 21) to rezone the properties from P-C-3 (Planned Community Business) & RA (Residential Agriculture) to P-I-2 (Planned Industrial)

Background: The subject properties are currently vacant and are accessed by private drives.

Facts and Findings: The subject properties are adjacent to other properties currently zoned P-I-2. The Development Impact Assessment indicates that the owner intends to use the subject properties as warehouse / truck/trailer/storage yard space as in adjacent zoning districts if the properties are rezoned.

Funding: N/A

Recommendation: The Planning Commission will hear this application on June 11, 2018 at 6:30 P.M.

ATTACHMENTS:

- Flonnel Zoning Map Amendment Application JUNE 2018 (PDF)

RECEIVED

MAY 24 2018

141095

5.A.a

APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

Name of Applicant: McClarkle & Johnson, LLP Phone #: 912.232.4080
 Attn: Philip McClarkle

Mailing Address: 319 Tattnall Street Savannah, GA 31401

Name of Property Owner: Inter Metro Properties (GA) LLC Phone #: 973-624-6444
 (Use back if more than one owner) Attn: Richard Leventhal

Address of Property: 6520, 6530, 6532, 6546, & 6548 GA Hwy No 21
7-0002-01-001A, PT 7-0002-01-001,
 PIN #: 7-0002-01-002, 7-0002-01-002A Number of Acres: 13.615 Ac.
PT 7-0002-01-003

Zoning Classification: Present P-C-3 + R-A Requested P-I-2
 Use of Property: Present Vacant Requested Industrial

_____ If the requested change is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

_____ If the requested change is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

Expansion of current P-I-2 which exists to the
northeast & south

Attach the following documents:

1. Written legal description of the property (e.g. copy of deed) – full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of owners of all properties within 250 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale. **Submit fifteen (15) copies of the plat in 11"x17" or larger and one copy in 8.5"x11".**
4. Site Plan of proposed use of property. **Submit fifteen (15) copies in 11"x17" or larger and one copy in 8.5"x11".**
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form.
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorization of Attorney form.
8. Filing fee of \$356 + \$50 per acre + \$50 Administrative Fee, payable to the City of Port Wentworth.

APPLICATION MUST BE FILED 20 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 21st day of May, 2018.

Brandi Griffin
 Notary Public



[Signature]
 Signature of Applicant

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

Clock#: 1456284

FILED FOR RECORD

10/11/2012 02:20pm

PAID: 14.00

Daniel W. Massey, Clerk
Superior Court of Chatham County
Chatham County, Georgia

Real Estate Transfer Tax

PAID \$1200.00

Shery S. Reed
For Clerk of Superior Court

Return to: McCorkle & Johnson, LLP
319 Tattnall Street, Savannah, Georgia 31401

STATE OF GEORGIA
COUNTY OF CHATHAM

LIMITED WARRANTY DEED

THIS INDENTURE is made and entered into this 5th day of October, 2012, between **Heritage Bank of the South**, as "Grantor", and **Inter Metro Properties (GA), LLC**, a New Jersey limited liability company, as "Grantee",

WITNESSETH:

That the said Grantor for and in consideration of the sum of Ten (\$10.00) Dollars in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell or convey unto the Grantee all that tract or parcel of land known as a 10 acre tract, more or less, on Highway 21 and the eastern 819 feet of a tract containing 5 acres, more or less, Port Wentworth, Chatham County, Georgia, which is more fully described in the attached Exhibit "A", incorporated herein by reference.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same belonging, or in anywise appertaining, to the only proper use, benefit, and behoof of the said Grantee forever in FEE SIMPLE.

AND THE SAID Grantor, for its successors and assigns, will warrant and forever defend the right and title to the above-described property, unto the said Grantee against the claims of all persons owning, holding or claiming by, through or under the Grantor.

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

IN WITNESS WHEREOF, the said Grantor has caused these presents to be executed by its duly authorized officials on the day and year first above written.

Heritage Bank of the South

By: Howard L. Ellis Jr
Name: Howard L. Ellis Jr
Its: Vice President

Attest: Chris Clift
Name: Chris Clift
Its: Vice President

(CORPORATE SEAL)



Signed, sealed and delivered in the presence of:

Grant W. Anderson
Witness

Marie McKinney
Notary Public

Notary Public Date of Expiration: 10/19/14



C I C M I O C

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

EXHIBIT "A"

All that certain lot, tract or parcel of land situate, lying, and being in the 8th G.M. District, Chatham County, Georgia, on Highway Number Twenty-one (21), the Augusta Road, about nine miles from the City of Savannah, Georgia, containing Ten (10) acres, more or less, and having a frontage of Three Hundred (300) feet on the east side of said road, with a depth of Fourteen Hundred and Fifty-two (1452) feet; and beginning at a stake on the east side of said Highway Six Hundred (600) feet northwardly from a stake on said road between the lands of G.C. Dotson and Southern Natural Gas Company; running thence north seventeen degrees, forty minutes west a distance of three hundred (300) feet along the east side of said Augusta Road (Highway 21) to a stake; running thence north eighty degrees, forty minutes east a distance of fourteen hundred and fifty-two (1452) feet to a stake; running thence south seventeen degrees, forty minutes east a distance of three hundred (300) feet to a stake, running thence south eighty degrees forty minutes west a distance of fourteen hundred and fifty-two (1452) feet to a point of beginning, all of which will more fully appear by reference to a plat of land recorded in Chatham County records in Map Book F, page 277; this being the same property conveyed to P.C. Altman and Reaby Altman by J.T. Floyd by Warranty Deed dated January 20, 1956, recorded in Chatham County Records in Book 63-T, folio 212.

This being the same property conveyed by Charles B. Rahn to Hamco Rentals, L.L.C. as evidenced by that certain Warranty Deed dated February 6, 2003, recorded in Deed Book 247-M, page 491, aforesaid records.

SUBJECT, HOWEVER to all valid restrictive covenants, easements and rights-of-way of record.

AND, ALSO, ALL that certain lot, tract or parcel of land situate, lying and being in Chatham County, Georgia, about Nine (9) miles from Savannah, Georgia, on State Highway Twenty-one (21), and being the eastern eight hundred and nineteen (819) feet of a tract of land containing Five (5) acres, more or less, as described in a Warranty Deed to Louie H. Heath and Bessie L. Heath, dated April 6, 1955, and recorded in Chatham County Records in Book 61-W, folio 9, and shown on a plat thereof made by Lester Ackerman and recorded in Chatham County Records in Plat Record H, folio 272; the part of said Five (5) acre tract hereby conveyed being bounded on the north by land of J.W. Blackburn, on which it has a measurement of eight hundred and nineteen (819) feet; on the east by land now or formerly of Lovett, on which it measures one hundred and fifty (150) feet, on the south by lands of grantee herein, on which the measurement is eight hundred and nineteen (819) feet, and on the west by the remaining portion of said Five acre tract, with a measurement thereon of one hundred and fifty (150) feet. This being the same property given to Reaby Altman by Pinkle Curtis Altman and found in Probate File A-1435.

This being the same property conveyed by Charles B. Rahn to Hamco Rentals, L.L.C., as evidenced by that certain Warranty Deed dated February 6, 2003, recorded in Deed Book 247-M, page 491, aforesaid records.

SUBJECT, HOWEVER to all valid restrictive covenants, easements and rights-of-way of record,

This property is located in Chatham County at 6520 Highway 21, Port Wentworth, Georgia, 31407.

919 N 188

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

Clock#: 1464806
FILED FOR RECORD

11/14/2012 03:27pm

PAID: 14.00

Daniel W. Massey, Clerk
Superior Court of Chatham County
Chatham County, Georgia

Real Estate Transfer Tax

PAID \$*1034.70

Chris Phillips
For Clerk of Superior Court

Return to: McCorkle & Johnson, LLP
319 Tattnall Street
Savannah, Georgia 31401

BOOK PAGE
382 L 050

STATE OF GEORGIA
COUNTY OF CHATHAM

WARRANTY DEED

THIS INDENTURE is made and entered into this 31st day of October, 2012, between **Henry Jasper Blackburn**, as "Grantor" and **Inter Metro Properties (GA), LLC**, a New Jersey limited liability company, as "Grantee",

WITNESSETH:

That the said Grantor for and in consideration of the sum of Ten (\$10.00) Dollars in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell or convey unto the said Grantee all that tract or parcel of land known as 10 acres, more or less, near 9 mile post on State Highway 21, 8th G.M. District, and also 5 acres on State Highway 21, Port Wentworth, Chatham County, Georgia, which is more fully described in the attached Exhibit "A,"

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same belonging, or in anywise appertaining, to the only proper use, benefit, and behoof of the said Grantee forever in FEE SIMPLE.

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

BOOK PAGE
382 L 051

AND THE SAID Grantor, for his heirs, executors and administrators, will warrant and forever defend the right and title to the above-described property, unto the said Grantee, as hereinabove provided, against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor has hereunto set his hand and seal on the day and year first above written.

Henry Jasper Blackburn
Henry Jasper Blackburn

Signed, sealed and delivered
in the presence of:

[Signature]
Witness

Ruth S. Higgins
Notary Public

Notarized the 31st day of October, 2012

(Notary Seal)



Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

BOOK PAGE
382 L 052

EXHIBIT "A"

ALL that certain lot, tract or parcel of land, containing 10 acres, more or less, situate, lying and being in the 8th G.M. District of Chatham County, Georgia, at or near the nine mile post on State Highway 21, locally known as "The Old Augusta Road"; said tract of of land having the following metes and bounds: Beginning at a pipe in the southwest corner of the above described tract of land, running northwardly 18°33' west for a distance of 300 feet to an iron pin; thence northwardly 80°0' east a distance of 1452 feet to a pipe in the northeast corner of said tract; thence southwardly 18°33' east for a distance of 300 feet to a pipe in the southeast corner of said tract; thence 80°0' west for a distance of 1452 feet to the point of beginning, and bounded as follows: northwardly by lands now or formerly of C.C. Barnwell; eastwardly and southwardly by lands now or formerly of George C. Dotson; and westwardly by the eastern right-of-way of State Highway 21; as shown by a plat of survey made by L.B. Ackerman, C.E. (Licensed Engineer No. 565), February, 1953, for the account of J.W. Blackburn (now deceased), said plat of survey being recorded in the records of Chatham County, Georgia in Plat Book F, folio 11, and made a part and parcel of this conveyance.

AND, ALSO, ALL that certain lot or tract of land situate, lying and being in Chatham County, Georgia, about nine miles from Savannah on State Highway 21, containing 5 acres, more or less, and having a frontage of 150 feet on said Highway 21, with a rectangular depth of 1452 feet eastwardly, and being bounded on the north by a 10 acre tract now owned by Grantor herein by virtue of a Deed of Gift from Nell M. Blackburn, dated June 27, 1994 and recorded in Deed Book 179-F, page 307, of the records of Chatham County, Georgia; on the east by property now or formerly of Lovett; on the south by lands now or formerly of George Dotson, and on the west by State Highway 21. Both parcels of land being the same property described in instrument recorded in Deed Book 119-F, page 454 of the records of Chatham County, Georgia.

SAVING AND EXCEPTING that certain right-of-way conveyed in that certain Right-of-Way Deed dated June 14, 1961, recorded in the office of the Clerk of Superior Court of Chatham County, Georgia, in Deed Book 78-O, page 478.

AND, ALSO, SAVING AND EXCEPTING that certain right-of-way conveyed in that certain Right-of-Way Deed dated June 14, 1961, recorded in the office of the Clerk of Superior Court of Chatham County, Georgia, in Deed Book 78-O, page 479.

This being the same property conveyed to Grantor herein by Deed of Gift dated June 27, 1994, recorded in the office of the Clerk of Superior Court of Chatham County, Georgia, in Deed Book 179-F, page 307.

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

Return to:
Phillip R. McCorkle
McCorkle, & Johnson, LLP
319 Tattnall Street
Savannah, Georgia 31401
File No. 6919-24



Doc ID: 029710180002 Type: ESTD
Recorded: 06/01/2016 at 04:33:58 PM
Fee Amt: \$312.00 Page 1 of 2
Transfer Tax: \$300.00
Chatham, Ga. Clerk Superior Court
Daniel Massey Clerk Superior Court

STATE OF GEORGIA }
COUNTY OF CHATHAM }

BK 810 PG 788-789

Executor's Deed

THIS INDENTURE made and entered into this 1st day of June, 2016 between **Glenda R. Mullins, as Executrix of the Last Will and Testament of Frankie L. Roberts a/k/a Frankie Laverne Roberts, late of the State of Georgia and County of Chatham, deceased**, as Party of the First Part, hereinafter referred to as "Grantor" and **Inter Metro Properties (GA), LLC**, a New Jersey limited liability company, as Party of the Second Part, hereinafter referred to as "Grantee" (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

W I T N E S S E T H:

That the said Grantor, acting under and by virtue of the power and authority contained in the Last Will and Testament of Frankie L. Roberts, the same having been duly probated and recorded in the Court of Probate of Chatham County, Georgia on May 11, 2016, and the said Grantor, for and in consideration of the sum of (**Three Hundred Thouand and no/100 Dollars**) (\$300,000.00) in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold, and conveyed, and by these presents

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

does grant, bargain, sell, and convey unto the said Grantee all of the deceased's interest in the following described property:

ALL that certain lot, tract or parcel of land situate, lying and being in Chatham County, Georgia, about nine miles from Savannah, Georgia , on State Highway Number twenty-one (21), containing five (5) acres, more or less, with a frontage of State Highway 21 of one hundred fifty (150) feet, and extending eastwardly a distance of fourteen hundred fifty-two (1452) feet, and being bounded as follows: on the north by J.W. Blackburn, Jr.; on the east by Lovett property; on the south by J.T. Floyd, and on the west by State Highway #21.

LESS AND EXCEPT that certain portion of the above-mentioned property conveyed by instruments recorded in Deed Book 77-L, page 71; Deed Book 78-O, page 481 and Deed Book 128-Q, page 381, Chatham County, Georgia records.

To Have and To Hold the said lot, tract, or parcel of land, with all and singular the rights, members, and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit, and behoof of the said Grantee forever, IN FEE SIMPLE: in as full and ample a manner as the same was held, possessed, and enjoyed, by the said deceased.

IN WITNESS WHEREOF, the said Grantor has hereunto set its hand and seal, on the day and year first above written.

Glenda R. Mullins

Glenda R. Mullins, as Executrix of the Last Will and Testament of Frankie L. Roberts

Signed, sealed, and delivered this 1st day of June, 2016 in the presence of:

Ruth S. Higgins
Unofficial Witness
Ruth A. Blissio
Notary Public
My Commission Expires:



Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

Return to: McCorkle & Johnson, LLP
319 Tattnall Street
Savannah, Georgia 31401
File No.: 6919-24



Doc ID: 029710190003 Type: WD
Recorded: 06/01/2016 at 04:34:41 PM
Fee Amt: \$14.00 Page 1 of 3
Chatham, Ga. Clerk Superior Court
Daniel Massey Clerk Superior Court

BK 810 PG 790-792

STATE OF GEORGIA

COUNTY OF CHATHAM

WARRANTY DEED

THIS INDENTURE is made and entered into this 1st day of June, 2016, between **Ronald H. Roberts and Suzana C. Roberts**, as "Grantors" and **Inter Metro Properties (GA), LLC**, a New Jersey limited liability company, as "Grantee",

WITNESSETH:

That the said Grantors for and in consideration of the sum of Ten (\$10.00) Dollars in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell or convey unto the said Grantee all that tract or parcel of land known as a 0.551 acre portion of a 5 acre tract, Highway 21, 8th G.M. District, Port Wentworth, Chatham County, Georgia, which is more fully described in the attached Exhibit "A,"

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same belonging, or in anywise appertaining, to the only proper use, benefit, and behoof of the said Grantee forever in FEE SIMPLE.

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

AND THE SAID Grantors, for their heirs, executors and administrators, will warrant and forever defend the right and title to the above-described property, unto the said Grantee, as hereinabove provided, against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantors have hereunto set their hands and seals on the day and year first above written.

Ronald H. Roberts
Ronald H. Roberts
Suzana C. Roberts
Suzana C. Roberts

Signed, sealed and delivered
in the presence of:

[Signature]
Witness
Ruth S. Higgins
Notary Public

Notarized the 1st day of June, 2016

(Notary Seal)



Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

EXHIBIT "A"

ALL that certain lot, tract or parcel of land situate, lying and being in the 8th G.M. District, Town of Port Wentworth, Chatham County, Georgia, and a 0.551 acre portion of a 5 acre tract shown on a plat of survey by Lester Ackerman, dated March 1957 and recorded in Plat Record Book H, page 272, in the office of the Clerk of Superior Court of Chatham County, and being more particularly described as follows: commencing at the intersection of the eastern right of way of Georgia Highway 21 and the northern right of way of Flonnel Ave.; thence in a northerly direction along the eastern right of way of Georgia Highway 21 a distance of of 766.6 feet more or less to a point; thence N 80°40' E a distance of 240 feet to the point of beginning; thence continuing N 80°40' E a distance of 323.41 feet to a point; thence S 17°40' E a distance of 75 feet to a point; thence S 80°40' W a distance of 323.41 feet to a point; thence N 17°40' W a distance of 75 feet to the point of beginning. Said parcel containing 0.551 acres and being bounded on the north by lands now or formerly of J.W. Blackburn, on the east, south and west by other portions of the aforementioned 5 acre tract.

The above described parcel being provided ingress and egress to/from Georgia Highway 21 by a 30' wide access easement centered on an existing paved drive.

This being the same property conveyed to Grantors herein by Quitclaim Deed dated October 25, 1987, recorded in the office of the Clerk of Superior Court of Chatham County, Georgia, in Deed Book 128-Q, page 381.

AUTHORIZATION OF PROPERTY OWNER
Application for Rezoning or Variance

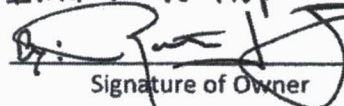
I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: McDorkle & Johnson, LLP - Attn: Phillip McDorkle

Address: 319 Tattnall Street
Savannah, GA 31401

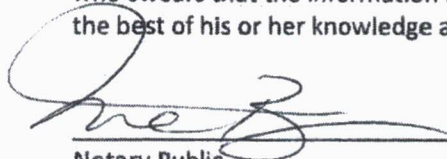
Telephone Number: 912.232.4080

Inter Metro Properties (GA), LLC

Signature of Owner MANAGER

Personally appeared before me

ROBERT D. SANSONE

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.


Notary Public

5/16/18
Date

Maria Burgagni
Notary Public of New Jersey
My Commission Expires April 20, 2021

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

DEVELOPMENT IMPACT ASSESSMENT

**FLONNEL AVE LOGISTIC FACILITY
PHASE III**

**FLONELL AVE
PORT WENTWORTH, GA**

PROJECT NO. 160003.000

PREPARED BY:

**KERN & CO., LLC.
P.O. BOX 15179
7 MALL COURT
SAVANNAH, GA 31406
(912)-354-8400
FAX (912)-356-1865**

May 15, 2018

I. *Executive Summary-*

Fedway Associates, Inc. is requesting to rezone 13.615 acres. The property is currently zoned P-C-3 and is being requested to be rezoned to P-I-2. The property is adjacent to the Jimmy Deloach Parkway expansion which connects I-95 to the Georgia Ports Authority and has recently been approved for funding by the State of Georgia.

II. *Introduction, Project Description, Objective, Environmental Setting-*

Fedway Associates, Inc. is proposing to construct a 627,000 sf facility and needs to obtaining rezoning on 13.615 acres. The facility will provide short-term storage and transfers which upon the completion of the Jimmy Deloach Connector will have minimal impact on the local roadway system. The property has letters of approval from the Georgia Department of Natural Resources and United States Army Corps of Engineers for the development of this property.

III. *Project Impacts and Mitigation Alternatives-*

A. Fiscal-

The estimated value of this project at the proposed 2020 completion date is \$25,000,000.

B. Community Facilities-

1. Water Supply and Distribution- The development intends to connect to existing City of Port Wentworth Water Supply System. The estimated demand for this site will be 1000 GPD.
2. Wastewater Collection and Treatment- The development intends to connect to existing City of Port Wentworth Sanitary Sewer Collection System utilizing a pumping station and force main. The estimated demand for this site will be 1000 GPD.
3. Solid Waste- No amount of hazardous waste will be generated by this facility. The amount of solid waste generated annually from the site is projected to be less than 2 tons.
4. Stormwater Management- The parcel drains directly into a tributary of St. Augustine Creek. Post-development run-off is not required to meet pre-development run-off. However, detention will be provided to improve the quality of the run-off prior to discharging from out site.
5. Stormwater Quality- The parcel drains directly into a tributary of St. Augustine Creek. Post-development run-off is not required to meet pre-development run-off. However, detention will be provided to improve the quality of the run-off prior to discharging from out site.

6. Schools - The development of this project will not have an impact on the local school system.
7. Park and Recreation- The development of this project will not have an impact on the local parks and recreation facilities.
8. Public Safety (Police and Fire)- The development of this project should have minimal impact on the police and fire departments.
9. Traffic Impact Study- See Attached

C. Environmental Quality

1. Noise- The noise created by the proposed development will be generated by vehicles traveling to and from the site. It is estimated the noise levels should range from 65 to 75 decibels as trucks arrive and depart. Similar noise levels will be produced by the construction of the Jimmy Deloach connector regardless of whether or not this site is developed.
 2. Jurisdictional and Non-Jurisdictional Wetlands- A jurisdictional letter of approval has been provided from the United States Army Corps of Engineers.
 3. Floodplain- Based on my observation these properties are located .in Federal Emergency Management Agency, Insurance Rate Map Number 13051C0045F, Dated 9/26/08, Base Flood Elevation: 11', NAVD 88.
 4. Water of the State- A jurisdictional letter of approval has been provided from the Georgia Department of Natural Resources.
 5. Historic Resources- No evidence of historical site observed.
- D. Comprehensive Plan- The proposed development complies with the City of Port Wentworth's Comprehensive Plan.
- E. Proposed Operating Plan- Will Follow

Traffic Impact Report

Description/ITE Code	Acres	Daily	AM Hour	PM Hour	AM In	AM Out	Pass-By	PM In	PM Out
General Light Industrial 110	13.6	705	102	99	85	17	0	22	

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on May, 2016, to rezone
real property described as follows:

13.615 Acres shown on Exhibit "A".

Within the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each such campaign contribution.

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this

21st day of May, 2018.

Brandi Griffin
Notary Public

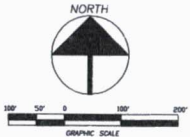
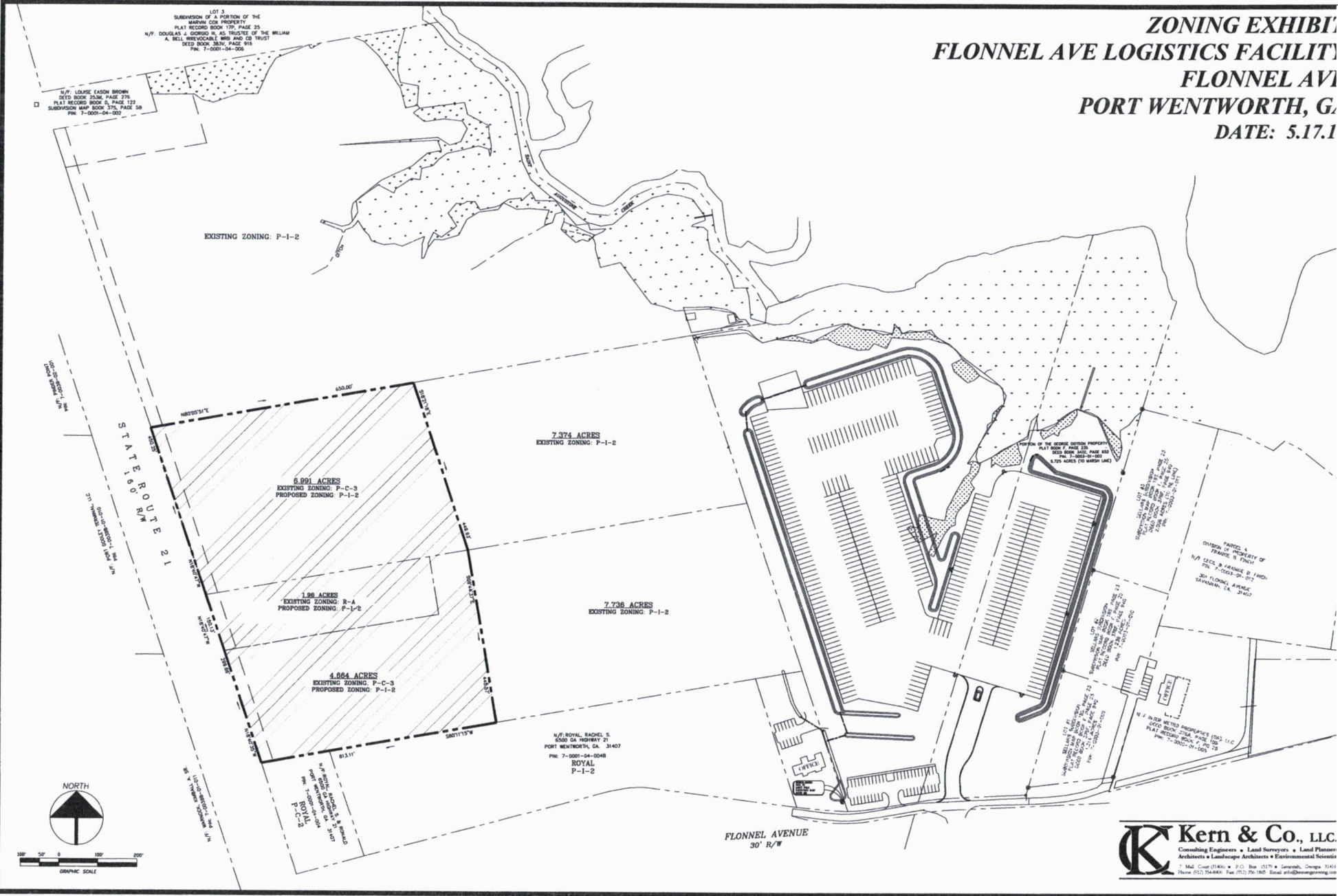


[Signature]
Signature of Applicant

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment Application for PIN's # 7-0002-01-001A,

ZONING EXHIBIT FLONNEL AVE LOGISTICS FACILITY FLONNEL AVE PORT WENTWORTH, GA DATE: 5.17.1

Exhibit "A"



Kern & Co., LLC.
 Consulting Engineers • Land Surveyors • Land Planners
 Architects • Landscape Architects • Environmental Scientists
 7 Mail Court (2145) • P.O. Box 15171 • Savannah, Georgia 31416
 Phone (912) 354-8833 Fax (912) 356-1803 Email info@kernandco.com

Attachment: Flonnel Zoning Map Amendment Application JUNE 2018 (1919 : Zoning Map Amendment

PROPERTY OWNERS WITHIN 250 FEET

PIN: 7-0002-01-004

PIN: 7-0002-01-004B

OWNER: Royal, Rachel S. & Ronald

ADDRESS: 6500 Highway 21, Port Wentworth, GA 31407



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 06/11/18 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 1918)

DOC ID: 1918

Site Plan Review Application submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Inter Metro Properties (GA), LLC., for PIN #'s 7-0002-01-001A, 7-0002-01-001, 7-0002-01-002, 7-0002-01-002A, & 7-0002-01-003 (6520, 6530, 6532, 6546, & 6548 Highway 21) for a General Development Site Plan to allow warehouses in a P-C-3 (Planned General Business) Zoning District

Issue/Item: Site Plan Review Application submitted by Phillip McCorkle, McCorkle & Johnson, LLP., on behalf of Inter Metro Properties (GA), LLC., for PIN #'s 7-0002-01-001A, 7-0002-01-001, 7-0002-01-002, 7-0002-01-002A, & 7-0002-01-003 (6520, 6530, 6532, 6546, & 6548 Highway 21) for a General Development Site Plan to allow warehouses in a P-C-3 (Planned General Business) Zoning District

Background: The subject properties are currently vacant and are accessed by private drives.

Facts and Findings: The subject properties are adjacent to other properties currently zoned P-I-2. The Development Impact Assessment indicates that the owner intends to use the subject properties as warehouse / truck/trailer/storage yard space as in adjacent zoning districts if the properties are rezoned.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, June 11, 2018 at 6:30 P.M.

ATTACHMENTS:

- Flonnel Site Plan Application JUNE 2018 (PDF)

141094

City of Port Wentworth
Site Plan Review Application



Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Name of Site Plan: Flonnel Ave Logistics Facility
Site Plan Address: 6520, 6530, 6532, 6546 & 6548 GA Hwy No 21
PIN #: 7-0002-01-001A, PT 7-002-01-001, 7-0002-01-002, 7-0002-01-002A PT 7-002-01-003 Zoning: P-C-3
Type of Construction: Warehouses
Estimated Cost of Construction: \$ 20,000,000

Applicant's Name: McCorkle & Johnson, LLP - Attn: Phillip McCorkle
Address: 319 Tattnall Street
Savannah, GA 31401
Phone #: 912.232.6000 Fax #: 912.232.4080

Owner's Name (If Different from Applicant): Inter Metro Properties (GA) LLC Attn: Richard Leventhal
Address: PO Box 651
Basking Ridge, NJ 07920
Phone #: 973-624-6444 Fax #: _____

I hereby acknowledge that the above information is true and correct.

[Signature] _____ Date 5/18/18
Applicant's Signature Date

Owner's Signature (If Different from Applicant) Date

- Please submit the following with completed application:**
1. Name, address & PIN # for all adjacent property owners.
 2. Fifteen (15) copies in 11"x17" or larger of your site plan & one 8.5"x11".

Attachment: Flonnel Site Plan Application JUNE 2018 (1918 : Flonnel Ave Logistics Facility Site Plan Application JUNE 2018)

ADJACENT PROPERTY OWNERS

PIN: 7-0002-01-004

PIN: 7-0002-01-004B

OWNER: Royal, Rachel S. & Ronald

ADDRESS 6500 Highway 21, Port Wentworth, Ga. 31407

PIN: 7-0001-04-002

OWNER: Brown Louise Eason

ADDRESS: 6598 Highway 21, Port Wentworth, Ga. 31407

PIN: 7-0001-04-006

OWNER: Bell, William R Ind & Trustee

ADDRESS: 6620 Highway 21, Port Wentworth, Ga. 31407

PIN: 7-0039-02-001

OWNER: Pinder Point Properties, LLC

ADDRESS: 115 Pinder Point Road, Port Wentworth, Ga. 31407

PIN: 7-0039B-01-010

OWNER: Port Godley Terminal LLC

ADDRESS: 764 Chester Thomas Road, Springfield, Ga. 31329

PIN: 7-0039B-01-011

OWNER: Warnock, Kimball A. Sr.

ADDRESS: PO Box 7501, Savannah, Ga. 31418

PIN: 1-0812-01-001

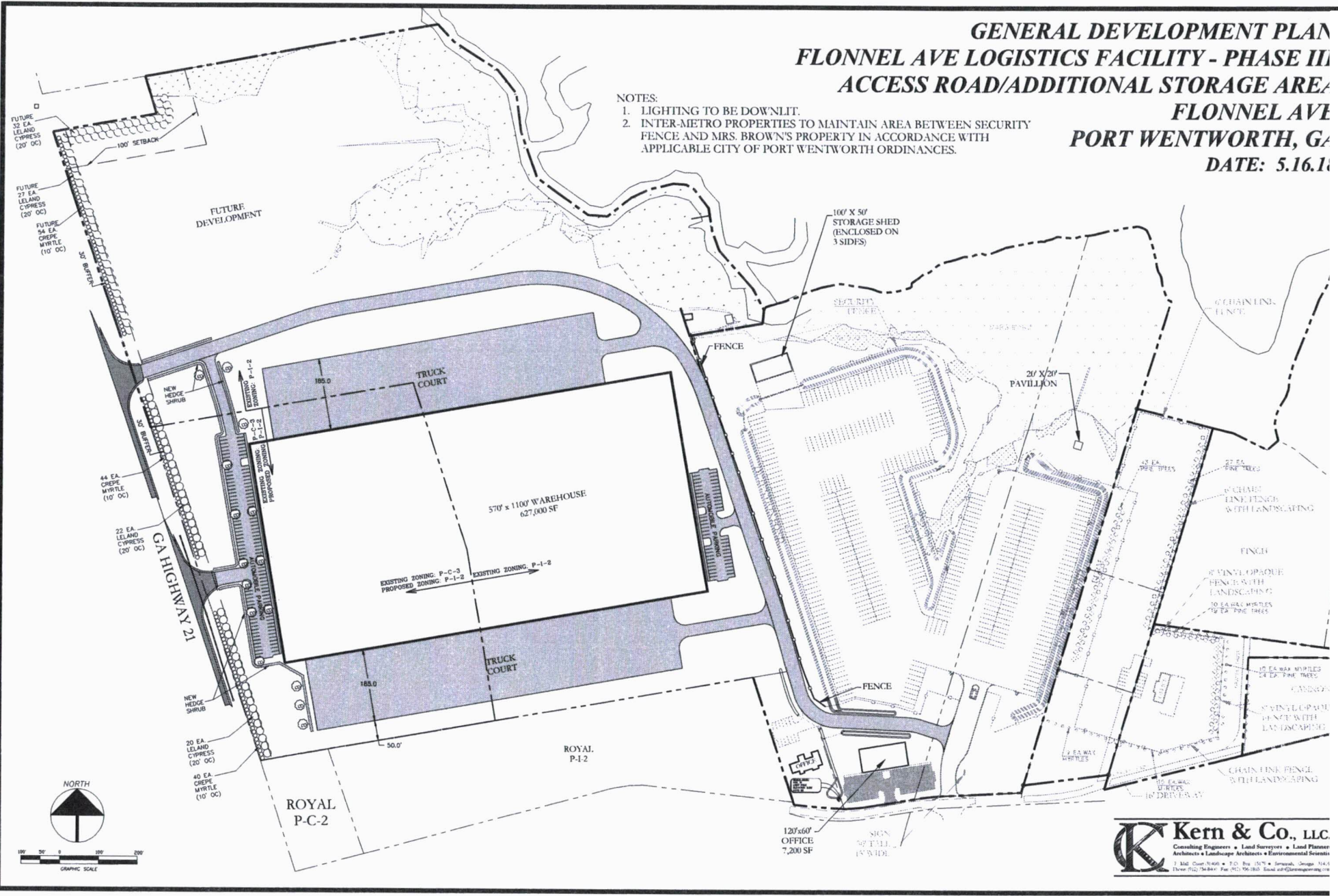
PIN: 7-0003-01-007

OWNER: Georgia Ports Authority

ADDRESS: PO Box 2406, Savannah, Ga. 31402

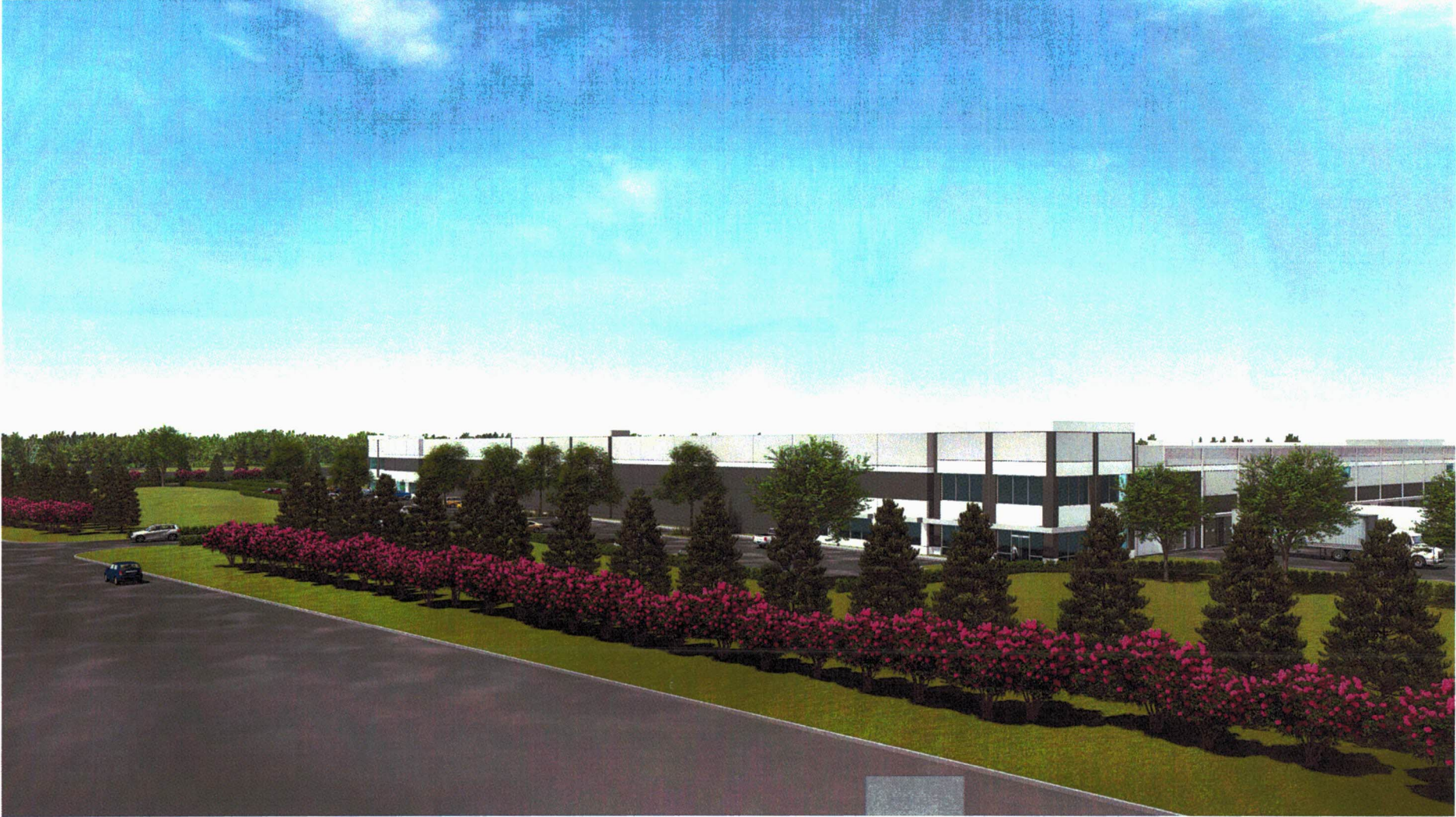
GENERAL DEVELOPMENT PLAN
FLONNEL AVE LOGISTICS FACILITY - PHASE II
ACCESS ROAD/ADDITIONAL STORAGE AREA
FLONNEL AVE
PORT WENTWORTH, GA
DATE: 5.16.18

- NOTES:
 1. LIGHTING TO BE DOWNLIT.
 2. INTER-METRO PROPERTIES TO MAINTAIN AREA BETWEEN SECURITY FENCE AND MRS. BROWN'S PROPERTY IN ACCORDANCE WITH APPLICABLE CITY OF PORT WENTWORTH ORDINANCES.



Kern & Co., LLC
 Consulting Engineers • Land Surveyors • Land Planners
 Architects • Landscape Architects • Environmental Scientists
 7 Mid. Court, N.W. • P.O. Box 15175 • Marietta, Georgia 30148
 Phone: (770) 576-8877 • Fax: (770) 576-8822 • Email: info@kernco.com

Attachment: Flonnel Site Plan Application JUNE 2018 (1918 : Flonnel Ave Logistics Facility Site Plan



This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed. Signage shown is for illustrative purposes only and does not necessarily reflect municipal code compliance.

CONCEPTUAL RENDERING

INTERMETRO FREIGHT
 PORT WENTWORTH, GEORGIA - ATL18-0000-00

WARE MALCOMB

05.21.2018

PAGE
2



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 06/11/18 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 1915)

DOC ID: 1915

Site Plan Review Application submitted by Sherry Davis for PIN # 7-0020-01-010 (409 Grange Rd) for a General Development Site Plan to allow a trucking facility with an office in a P-I-2 (Planned Industrial) Zoning District

Issue/Item: Site Plan Review Application submitted by Sherry Davis for PIN # 7-0020-01-010 (409 Grange Rd) for a General Development Site Plan to allow a trucking facility with an office in a P-I-2 (Planned Industrial) Zoning District

Background: The subject property currently has an existing asphalt parking lot in the front and a one-story metal building.

Facts and Findings: The owner intends to construct a 1,500 square foot office on the front of the existing building and a 5,000 square foot shop with a 2,850 square foot covered area on rear of the existing building. The owner also will be adding new fencing around the property and a gravel truck parking lot in the rear of the property.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, June 11, 2018 at 6:30 P.M.

ATTACHMENTS:

- 409 Grange Rd-Site Plan Application JUNE 2018 (PDF)
- 409 Grange Rd Site Plan JUNE 20180001 (PDF)
- 409 Grange Rd Site Plan JUNE 20180002 (PDF)

141096

City of Port Wentworth
Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Name of Site Plan: DAVIS

Site Plan Address: 409 Grange Road

PIN #: 7-0020-01-010 Zoning: _____

Type of Construction: Addition - Metal / Stick / Yard improvement

Estimated Cost of Construction: \$ unknown exact figures

Applicant's Name: Sherry Davis

Address: 1407 Kings way
Savannah, GA 31406

Phone #: 9125074101 Fax #: 9129641159
sdaviscc@bellsouth.net

Owner's Name (If Different from Applicant): _____

Address: _____

Phone #: _____ Fax #: _____

I hereby acknowledge that the above information is true and correct.

Sherry Davis
Applicant's Signature

5/8/18
Date

Owner's Signature (If Different from Applicant)

Date

Please submit the following with completed application:

1. Name, address & PIN # for all adjacent property owners.
2. Fifteen (15) copies in 11"x17" or larger of your site plan & one 8.5"x11".

Attachment: 409 Grange Rd-Site Plan Application JUNE 2018 (1915 : Site Plan Review Application (General) 409 Grange Rd JUNE 2018)

GRANGE ROAD R/W VARIES

HAZARD LINE

CHAINLINK FENCE WITH BARBED WIRE

GEORGIA POWER COMPANY R/W (DB 389L, PG 324-28)

REMOVE CONCRETE

TURF & TREES CONCRETE RAMP

Office

METAL CHIMNEY

EXISTING ASPHALT PARKING LOT

GATE

ONE-STORY METAL BUILDING FINISHED FLOOR: 17.8 NAVD88

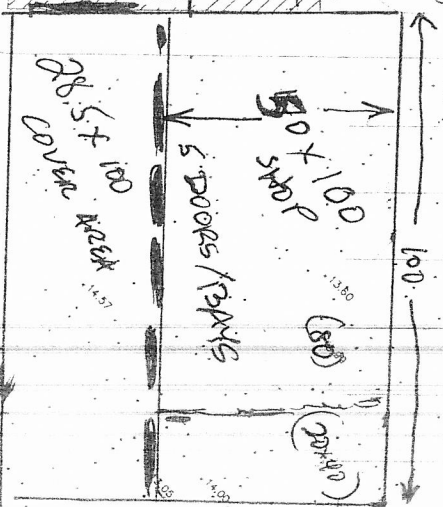
SEPTIC TANK & DRAIN FIELD

WESTERN 16 FEET OF LOT 38

PORTION OF THE EAST HALF OF LOT 34

FENCE

FENCE



JIMMY DELDACH PARKWAY R/W VARIES

Attachment: 409 Grange Rd-Site Plan Application JUNE 2018 (1915 : Site Plan Review Application (General) 409 Grange Rd JUNE 2018)

Brian Harvey

From: Trent R Long <TRLong@trlongeng.com>
Sent: Wednesday, April 11, 2018 12:24 PM
To: Brian Harvey
Subject: Grange Road - Union Hall Driveway

I have been in contact with the Traffic Operations Department of the Georgia Department of Transportation this morning. I was informed that permitting of driveways along Grange Road remains the responsibility of the City of Port Wentworth. A GDOT permit for a commercial driveway is not required.

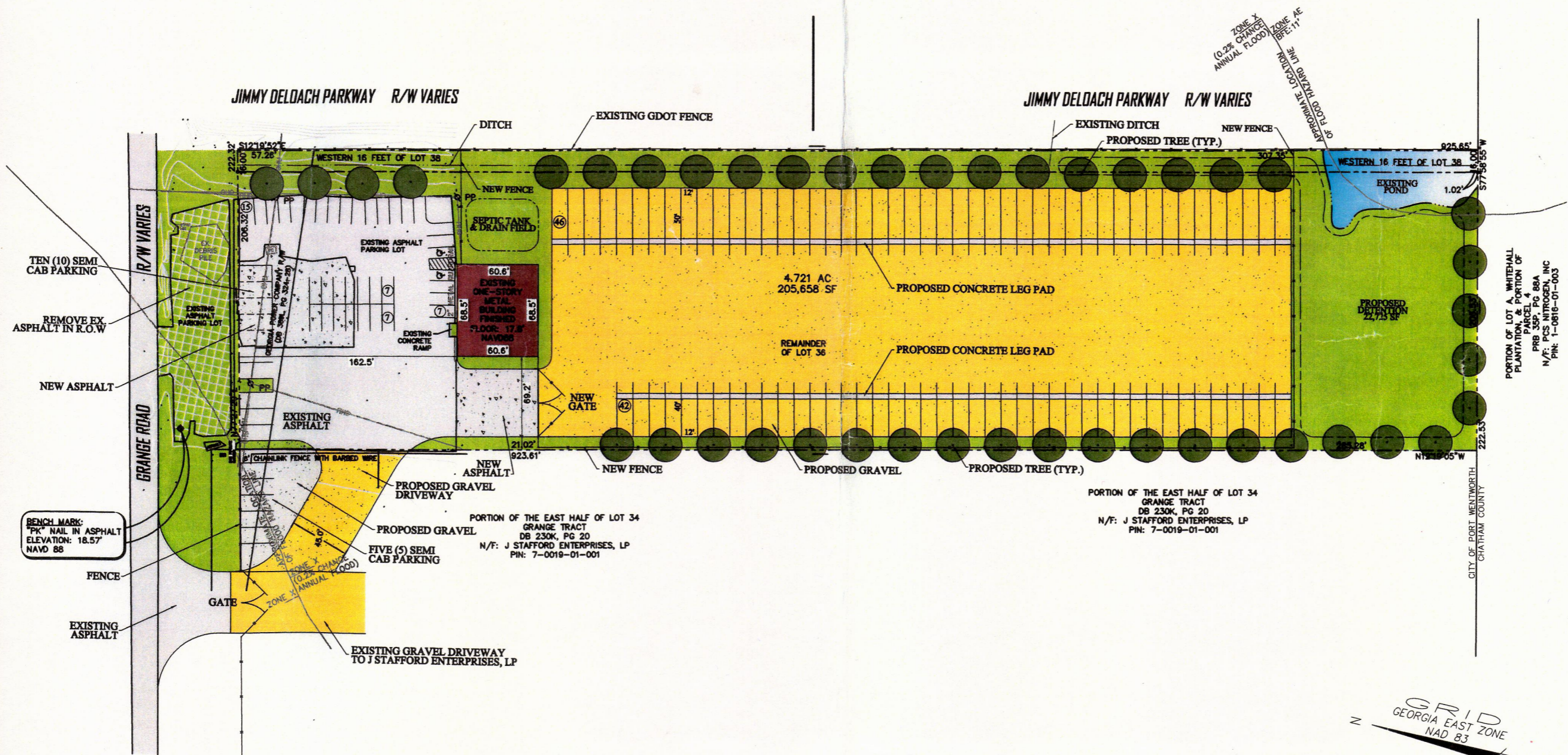
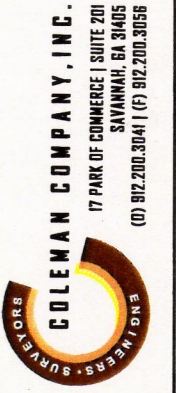
Trent R. Long, P.E.
trlong@trlongeng.com
www.trlongeng.com

Hinesville location:

T. R. Long Engineering, P.C.
114 North Commerce Street
Hinesville, Georgia 31313
(912) 368-5664 (Office)
(912) 368-7206 (Fax)

Savannah location:

T. R. Long Engineering, P.C.
306 Commercial Drive, Suite B
Savannah, Georgia 31406
(912) 335-1046 (Office)
(912) 335-1642 (Fax)

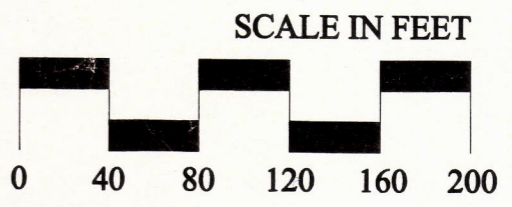


PORTION OF LOT A, WHITEHALL PLANTATION, & PORTION OF PARCEL 4 PRB 35P, PG 88A N/F: PCS NITROGEN, INC PIN: 1-0816-01-003

PORTION OF THE EAST HALF OF LOT 34 GRANGE TRACT DB 230K, PG 20 N/F: J STAFFORD ENTERPRISES, LP PIN: 7-0019-01-001

BENCH MARK: "PK" NAIL IN ASPHALT ELEVATION: 18.57 NAVD 88

GRID GEORGIA EAST ZONE NAD 83



CONCEPTUAL SITE PLAN FOR
Mark & Sherry Davis
PORT WENTWORTH, GEORGIA

DATE: 05/03/2016
SCALE: 1"=40'
JOB #: 15-118
DRAWN BY: BDB
CHECKED BY: TMC

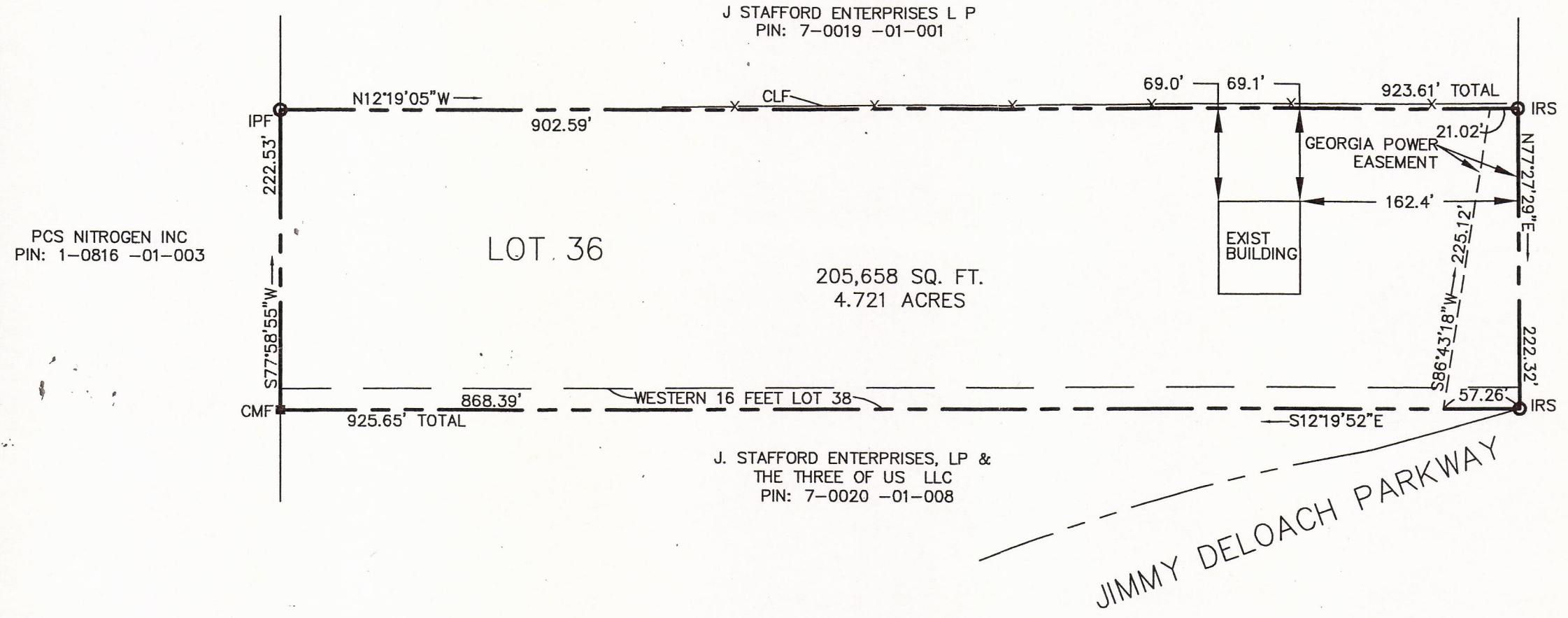
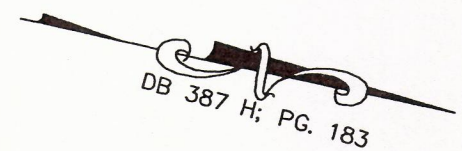
SHEET 1/1
Packet Pg. 36

SURVEYORS GENERAL NOTES:

1. THIS PLAT IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
2. WETLANDS THAT MAY EXIST ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR THE DEPT. OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT PROPER PERMIT APPLICATIONS AND APPROVAL.
3. ACCORDING TO F.I.R.M. MAP NO. 13051C0045F, EFFECTIVE DATE 9/26/08, THIS PARCEL SHOWN HEREON LIES IN ZONE X SHADED, 0.2% CHANCE ANNUAL FLOOD HAZARD.

LEGEND

- CMF - CONCRETE MONUMENT FOUND
- IRS - IRON ROD SET
- IPF - IRON PIPE FOUND
- CLF - CHAIN LINK FENCE
- — — — — PROPERTY LINE
- PPo - POWER POLE



GRANGE ROAD R/W VARIES

PCS NITROGEN INC
PIN: 1-0816 -01-003

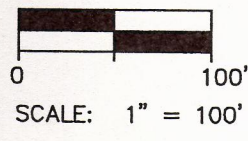
J STAFFORD ENTERPRISES L P
PIN: 7-0019 -01-001

LOT 36

205,658 SQ. FT.
4.721 ACRES

J. STAFFORD ENTERPRISES, LP &
THE THREE OF US LLC
PIN: 7-0020 -01-008

JIMMY DELOACH PARKWAY



THIS WILL CERTIFY THAT THE PROVISIONS RELATIVE TO GEORGIA CODE SECTION 15-6-67 (D) DO NOT REQUIRE APPROVAL OF THIS PLAT BY ANY GOVERNING AUTHORITY PRIOR TO THE RECORDING WITH THE CLERK OF SUPERIOR COURT.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67

- REFERENCE:
1. DB. 389 I; PG. 328
 2. PRB Z; PG. 78
 3. PB 7-P; PG. 98
 3. DB 387 H; PG. 183
 4. 109 O; PG. 744

JOB# 13-138
 ERROR OF CLOSURE:
 FIELD: 1/35,820
 PLAT: 1/509,804
 ADJUSTED BY : COMPASS
 EQUIPMENT: TOPCON GTS236W TOTAL STATION; SINGLE PRISM
 FIELD SURVEY DATE: OCTOBER/NOVEMBER 2013
 DATE: 11/21/13

PLAT OF THE REMAINDER OF LOT 36 AND THE REMAINDER OF THE WESTERN 16 FEET OF LOT 38, GRANGE SUBDIVISION, 8TH, G.M. DISTRICT, PORT WENTWORTH, CHATHAM COUNTY, GEORGIA

PIN#: 7-0020 -01-010
 ALSO KNOWN AS: 409 GRANGE RD
 FOR: ROBERT B. CRONIN

Vincent Helmlly
 129-A BURTON ROAD
 SAVANNAH, GEORGIA 31405
 (912) 925-3523



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 06/11/18 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 1916)

DOC ID: 1916

Site Plan Review Application submitted by Haydon Rollins, Hussey, Gay, & Bell, on behalf of CRN Development, LLC., for PIN # 7-0037-01-012 (Coldbrook Station Cir) for a Specific Development Site Plan to allow a multi-family apartment development in a P-R-M (Planned Residential Multi-Family) Zoning District

Issue/Item: Site Plan Review Application submitted by Haydon Rollins, Hussey, Gay, & Bell, on behalf of CRN Development, LLC., for PIN # 7-0037-01-012 (Coldbrook Station Cir) for a Specific Development Site Plan to allow a multi-family apartment development in a P-R-M (Planned Residential Multi-Family) Zoning District

Background: The subject property is currently undeveloped land. The proposed development is at the end of Coldbrook Station Circle.

Facts and Findings: The applicant intends to develop a new apartment complex and associated infrastructure. The Wood Meadow Apartment complex will contain four (4) apartment buildings, clubhouse, play ground, and two (2) picnic pavilions. The complex will have a total of eighty (80) units (8 one bedroom, 48 two bedroom, and 24 three bedroom units). Utilities and access to the development will be privately owned and maintained. This application is currently under technical review by City Engineers, Goodwyn, Mills, & Cawood.

Funding: N/A

Recommendation: The Planning Commission will hear this application on June 11, 2018 at 6:30 P.M.

ATTACHMENTS:

- Wood Meadow Apartments Specific Site Plan Application JUNE 2018 (PDF)
- Wood Meadow Apartment Specific Site Plan 3rd revision JUNE 2018 (PDF)
- Wood Meadow Apartments Specific Site Plan 1st Comment Letter GMC JUNE 2018 (PDF)
- Wood Meadow Apartments Specific Site Plan 1st Return Comment Letter HGB JUNE 2018 (PDF)
- Wood Meadow Apartments Specific Site Plan 2nd Comment Letter GMC JUNE 2018 (PDF)
- Wood Meadow Apartments Specific Site Plan 2nd Return Comment Letter HGB JUNE 2018 (PDF)
- Wood Meadow Apartments Specific Site Plan 3rd Comment Letter GMC JUNE 2018 (PDF)

141085



7.C.a

City of Port Wentworth
Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Name of Site Plan: Wood Meadow Apartments

Site Plan Address: Coldbrook Station Circle

PIN #: 7-0037-01-012 Zoning: P-R-M

Type of Construction: Multi-Family Apartments

Estimated Cost of Construction: \$ 9,500,000

Applicant's Name: Haydon Rollins - Hussey Gay Bell

Address: 329 Commercial Drive
Savannah, GA 31406

Phone #: (912) 354-4626 Fax #: (912) 354-6754

Owner's Name (if Different from Applicant): Thomas Ward - CRN Development, LLC

Address: P.O. Box 220
Florence, Alabama 35631-0220

Phone #: (256) 760-9657 Fax #:

I hereby acknowledge that the above information is true and correct.

Applicant's Signature (with handwritten signature)

Date: 5-3-2018

Owner's Signature (with handwritten signature)

Date: 5-3-18

Please submit the following with completed application:

- 1. Name, address & PIN # for all adjacent property owners.
2. Fifteen (15) copies in 11"x17" or larger of your site plan & one 8.5"x11".

Attachment: Wood Meadow Apartments Specific Site Plan Application JUNE 2018 (1916 : Site Plan Review Application Wood Meadow

Attachment: Wood Meadow Apartments Specific Site Plan Application JUNE 2018 (1916 : Site Plan Review Application Wood Meadow

HUSSEY, GAY, BELL, & DEYOUNG, INC
CONSULTING ENGINEERS
329 COMMERCIAL DR.
SAVANNAH, GA 31406

249

EZCheckSM Check
Protection for the
67-98/53

DATE 05-03-18

PAY
TO THE
ORDER OF

City of Port Wentworth

\$ 886.00

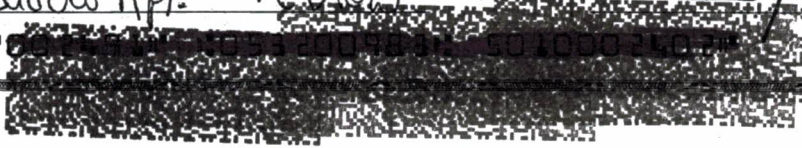
\$886.00

DOLLARS

S SOUTH STATE BANK

FOR Wood Meadow Apt. Site plan review

[Handwritten Signature]



CITY OF PORT WENTWORTH
(912) 964-4379REC#: 00192463 5/07/2018 2:14 PM
OPER: SD TERM: 003
REF#: 2491TRAN: 112.0000 BLDG PERMIT
141085 886.00CR
CRN DEVELOPMENT, LLC
7-0037-01-012
DEV-SPR 886.00CRTENDERED: 886.00 CHECK
APPLIED: 886.00-CHANGE: _____
0.00

Attachment: Wood Meadow

Wood Meadow Apartments**List of Adjacent Property Owners**

1. BEP RICE HOPE LLC
HIGHWAY 21 PORT WENTWORTH
7-0906-04-075
2. CHATHAM-COLDBROOK ASSOCIATES L
501 OLD RICHMOND ROAD PORT WENTWORTH
7-0037-01-051
3. IDEAL HOSPITALITY INVESTMENTS
COLDBROOK STATION CIRCLE PORT WENTWORTH
7-0037-01-034
4. 2195 HOSPITALITY GROUP LLC
7210 HIGHWAY 21 PORT WENTWORTH
7-0037-01-017
5. SRS HOSPITALITY LLC
7206 HIGHWAY 21 PORT WENTWORTH
7-0037-01-003A
6. SHREE OHM GAJANAND INC
110 TRAVELERS WAY PORT WENTWORTH
7-0037-01-019
7. GEORGIA/CAROLINA I & D LLC
TRAVELERS LANE PORT WENTWORTH
7-0037-01-020

CLEARING, PAVING, GRADING, STORM DRAINAGE WATER DISTRIBUTION & SANITARY SEWER

WOOD MEADOW APARTMENTS COLDBROOK STATION CIRCLE PORT WENTWORTH, GEORGIA

FOR

CRN DEVELOPMENT, LLC
P.O. BOX 220
FLORENCE, ALABAMA 35631-0220
PHONE No. (256) 760-9657

MAY 2, 2018

GENERAL REVISION MAY 21, 2018
GENERAL REVISION JUNE 5, 2018



HUSSEY GAY BELL
— Established 1958 —



VICINITY MAP
SCALE: 1"=2000'

SHEET NO.	DESCRIPTION
01	COVER SHEET, VICINITY MAP AND SCHEDULE OF DRAWINGS
02	CONSTRUCTION NOTES AND LEGEND
03 AND 04	STAKING & TRAFFIC CONTROL PLAN
05 AND 06	PAVING, GRADING AND DRAINAGE PLAN
07 AND 08	SANITARY SEWER AND WATER DISTRIBUTION PLAN
09	STORM & SEWER PROFILE
10 THROUGH 14	CONSTRUCTION DETAILS
15	LIFT STATION PLAN & DETAILS
16 AND 17	ACCESSIBILITY PLAN
18 AND 19	EROSION AND SEDIMENT CONTROL NOTES
20 AND 21	EROSION AND SEDIMENT CONTROL PLAN - INITIAL PHASE
22 AND 23	EROSION AND SEDIMENT CONTROL PLAN - INTERMEDIATE PHASE
24 AND 25	EROSION AND SEDIMENT CONTROL PLAN - FINAL PHASE
26	EROSION AND SEDIMENT CONTROL DETAILS

SCHEDULE OF DRAWINGS

329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626
SAVANNAH • ATLANTA • CHARLESTON • COLUMBIA
www.husseygaybell.com

Attachment: Wood Meadow Apartment Specific Site Plan 3rd revision JUNE 2018 (1916 - Site Plan Review Application Wood Meadow Apartments JUNE 2018)

CONSTRUCTION NOTES & LEGEND:

GENERAL NOTES:

- ALL ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION UNTIL THE PROPER PERMITS HAVE BEEN ISSUED AND THE REQUIRED PRE-CONSTRUCTION MEETING HAS OCCURRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE STATE SOIL AND WATER CONSERVATION COMMITTEE'S "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA." ALL SEDIMENT CONTROL FEATURES SHALL BE MAINTAINED ON A REGULAR BASIS AND SHALL BE REMOVED BY THE CONTRACTOR UPON ACCEPTANCE OF THE SITE BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY CLEAR AND GRUB ALL AREAS NECESSARY FOR COMPLETION OF THE WORK UNLESS INDICATED OTHERWISE.
- DURING CLEARING OPERATIONS, STUMP HOLES SHALL BE BACKFILLED LEVEL WITH THE ADJACENT GROUND ELEVATIONS IMMEDIATELY UPON REMOVAL OF THE STUMP. THE CLEARING CONTRACTOR SHALL AVOID LEAVING HOLES AND LARGE DEPRESSIONS WHICH WILL COLLECT AND HOLD WATER.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GEOTECHNICAL REPORT BY OTHERS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE SITE AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH FINDINGS.
- AT PROJECT COMPLETION, THE CONTRACTOR SHALL FURNISH AS-BUILT INFORMATION TO THE ENGINEER MEETING THE MINIMUM REQUIREMENTS OF THE CITY OF PORT WENTWORTH. IF THE CONTRACTOR IS NOT FAMILIAR WITH THESE REQUIREMENTS, THE ENGINEER WILL FURNISH REQUIREMENTS UPON REQUEST.
- WHERE INDICATED, TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY CLEARING ACTIVITY AND MAINTAINED UNTIL INSTRUCTED BY OWNER OR ENGINEER TO REMOVE THEM. AREAS WITHIN THE BOUNDARY OF THE TREE PROTECTION BARRICADES SHALL REMAIN UNDISTURBED. THIS AREA CANNOT BE USED FOR STORED MATERIALS, VEHICULAR PARKING, SOIL STOCKPILES, ETC.
- WETLAND DELINEATION HAS BEEN PERFORMED BY OTHERS.

STAKING PLAN NOTES:

- ALL ANGLES ARE 90° UNLESS OTHERWISE INDICATED.
- ALL RADII IN THE PARKING AREAS ARE 5', UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB AND EDGE OF PAVEMENT WHERE NO CURB IS PROVIDED UNLESS OTHERWISE SHOWN.
- LAYOUT INFORMATION FOR MANHOLES, INLETS, ETC., IS NOT SHOWN ON THIS PLAN. COORDINATES FOR SUCH STRUCTURES CAN BE PROVIDED TO THE SELECTED CONTRACTOR.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING CONCRETE MONUMENTS AND/OR IRON PIPES USED FOR PROPERTY LINES. ANY AND ALL MONUMENTS OR IRON PIPES DISTURBED OR REMOVED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND MAINTAINING VERTICAL AND HORIZONTAL CONTROL.
- ANY DISCREPANCIES IN THE VERTICAL OR HORIZONTAL CONTROL SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
- THE CONTRACTOR SHALL REMOVE EXISTING BENCHMARKS SHOWN ON THE PLANS TO ESTABLISH VERTICAL CONTROL ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THESE BENCHMARKS DURING THE CONSTRUCTION PROJECT AND FOR BEARING ANY EXPENSE RESULTING FROM UNAUTHORIZED REMOVAL OR REPLACEMENT OF BENCHMARKS. WHEN A PERMANENT BENCHMARK IS LOCATED SUCH THAT IT MUST BE REMOVED TO COMPLETE THE PROJECT, THE CONTRACTOR SHALL ESTABLISH SUCH TEMPORARY BENCHMARKS AS HE MAY REQUIRE PRIOR TO REMOVING THE PERMANENT BENCHMARK. THE CONTRACTOR SHALL PROVIDE THE LOCATION, IDENTIFICATION AND ELEVATION OF ANY TEMPORARY BENCHMARK ESTABLISHED TO THE OWNER AND ENGINEER.
- BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF THE BUILDING, REFER TO ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

PAVING, GRADING & DRAINAGE PLAN NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- CONTOURS SHOWN ARE BASED ON FINISHED GRADES AND INCLUDE SIDEWALK AND PAVEMENT SURFACINGS. FINAL EARTHWORK CONTOURS IN AREAS TO BE COVERED BY OTHER SURFACES WILL BE DIFFERENT FROM THOSE SHOWN ON THIS PLAN.
- CONTOURS SHOWN ON THESE PLANS ARE FOR GENERAL GUIDANCE AND INFORMATIONAL PURPOSES. THE CONTRACTOR SHALL GRADE THE SITE IN ACCORDANCE WITH ELEVATIONS SHOWN, IN CASES OF CONFLICT BETWEEN SPOT ELEVATIONS AND CONTOURS THE SPOT ELEVATIONS WILL GOVERN.
- LOAD BEARING AND STRUCTURAL FILLS SHALL BE APPROVED SUITABLE MATERIALS AS DEFINED IN THE GEOTECHNICAL REPORT. WASTE MATERIALS MAY BE USED FOR FLUSHING OF SHOULDER OR CONSTRUCTION OF PEDESTRIAN OR LANDSCAPED AREAS IF THEY CAN BE STABILIZED AND WILL SUPPORT PLANT GROWTH AND MEET THE REQUIRED DEGREE OF COMPACTION. SEE GEOTECHNICAL REPORT FOR COMPACTION REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING THE SITE TO FINISHED GRADE +/- ONE INCH. FINISHED GRADE WITHIN THE BUILDING AREA SHALL BE AT AN ELEVATION TO ALLOW FOR THE CONCRETE SLAB.
- SEE SPECIFICATIONS FOR REQUIREMENTS FOR CONTROL, CONSTRUCTION AND EXPANSION JOINTS IN SLABS, SIDEWALKS AND CURB AND GUTTER.
- CATCH CURB AND GUTTER WILL BE USED WHERE THE DRAWINGS INDICATE THAT THE GUTTER IS TO CARRY WATER. PITCHED CURB AND GUTTER WILL BE USED WHERE THE DRAWINGS INDICATE THE WATER WILL DRAIN AWAY FROM THE GUTTER. TRANSITIONS BETWEEN THE TWO CONDITIONS SHALL BE MADE AS SMOOTHLY AS POSSIBLE, USUALLY THROUGH A RADIUS.
- INVERT ELEVATIONS SHOWN ON THE PLANS ARE TO THE INVERT OF THE LOWEST PIPE, OR AS OTHERWISE INDICATED.
- CHLORINATED DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORM WATER SYSTEM.
- IF A PAVEMENT SPECIFICATION IS PROVIDED IN THE GEOTECHNICAL REPORT, AND EXCEEDS THE REQUIREMENTS ON THESE PLANS, THE CONTRACTOR SHALL INSTALL AS REQUIRED IN THE GEOTECHNICAL REPORT AND NOTIFY THE ENGINEER OF THE CHANGE.

SIGNAGE AND STRIPING PLAN NOTES:

- ALL TRAFFIC CONTROL MEASURES SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES." THE MANUAL IDENTIFICATION AND DIMENSIONS ARE SHOWN FOR EACH REQUIRED SIGN. THE ORIENTATION OF EACH SIGN FROM AN APPROACHING DRIVERS POINT OF VIEW IS ALSO SHOWN. SIGN AND SUPPORT POST MATERIAL AND INSTALLATION SHALL CONFORM TO THE PERTINENT SECTIONS OF THE CURRENT EDITION OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- ALL STRIPING AND PAVEMENT MARKINGS SHALL BE TRAFFIC RATED PAINT CONFORMING TO THE PERTINENT SECTIONS OF THE GEORGIA DEPARTMENT OF TRANSPORTATION FOR MATERIALS AND APPLICATIONS. (NO GLASS BEADS)

WATER AND SEWER PLAN NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE CURRENT CITY OF PORT WENTWORTH SPECIFICATIONS AND REQUIREMENTS.
- ALL 12" DIAMETER AND SMALLER WATER DISTRIBUTION PIPE SHALL BE AWWA C-900 PRESSURE RATED PIPE, PRESSURE CLASS 150, WITH DIMENSION RATIO 18 OR LOWER.
- SANITARY SEWER PIPE SHALL BE P.V.C. ASTM D 3034, SDR 26 OR DUCTILE IRON PIPE CLASS 50 WHERE SHOWN.
- MANHOLE TOP ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOPS AS INDICATED ON MANHOLE DETAIL.
- ALL P.V.C. WATER MAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES AND A MAXIMUM COVER OF 60 INCHES. A MINIMUM 18 INCHES VERTICAL SEPARATION DISTANCE AND MINIMUM 10 FEET HORIZONTAL SEPARATION DISTANCE SHALL BE PROVIDED BETWEEN ALL WATER MAINS/LATERALS AND ALL STORM LINES AND SANITARY SEWER MAINS/LATERALS. WHENEVER POSSIBLE THE WATER MAIN SHALL BE INSTALLED ABOVE STORM AND SANITARY SEWER LINES TO AVOID CONFLICTS.
- WHEN PIPE LAYING IS NOT IN PROGRESS, A MECHANICAL JOINT PLUG OR CAP WILL BE USED TO FORM A WATER TIGHT SEAL AT BOTH ENDS OF THE LINE BEING INSTALLED.
- THE FOLLOWING PROCEDURE SHALL BE FOLLOWED DURING FLUSHING OF THE LINES PRIOR TO CONNECTION TO THE CITY WATER SYSTEM: FLUSH THE NEW PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE DONE AFTER THE PRESSURE TEST AND BEFORE DISINFECTING. SPECIFY MINIMUM FLUSH TIME AND VELOCITY (2.5 FEET PER SECOND) WHICH ARE NECESSARY TO PURGE THE LINE OF ANY FOREIGN MATERIAL.
- ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACK FLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CITY OF PORT WENTWORTH.
- WATER DISTRIBUTION PIPE SHALL HAVE A #12 GAUGE, SINGLE STRAND COPPER TRACING WIRE INSTALLED ALONG ITS LENGTH AND ATTACHED TO CORPORATION STOPS AND CURB STOPS.
- ALL FIRE AND POST-TYPE HYDRANTS SHALL HAVE A #12 GAUGE, SINGLE STRAND COPPER TRACING WIRE INSTALLED ALONG THE BARREL, WRAPPED AROUND THE BOTTOM FLANGE AND ATTACHED TO THE WIRE ON THE WATER MAIN.
- ALL WATER VALVE MANHOLES SHALL HAVE A #12 GAUGE, SINGLE STRAND COPPER TRACING WIRE ATTACHED TO THE MANHOLE FRAME/RING AND ATTACHED TO THE WIRE ON THE WATER MAIN.
- WATER AND SANITARY SEWER SERVICE LINES TERMINATE FIVE FEET FROM THE BUILDING LINES UNDER SITE WORK CONTRACT. REFER TO PLUMBING PLANS FOR EXACT LOCATIONS OF WATER AND SEWER CONNECTIONS. THE CONTRACTOR SHALL COORDINATE HIS UTILITY INSTALLATIONS WITH BUILDING PLUMBING AND MECHANICAL AND FIRE PROTECTION CONTRACTORS.
- BACKFLOW PREVENTERS AND WATER METERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- DISPOSAL OF HIGHLY CHLORINATED WATER SHALL COMPLY WITH THE REQUIREMENTS OF GEORGIA E.P.D. AND AWWA STANDARD C651, LATEST REVISION. IF REQUIRED BY THE CITY OF PORT WENTWORTH, A REDUCING AGENT SHALL BE USED TO NEUTRALIZE THE CHLORINE. HIGHLY CHLORINATED WATER SHALL BE DISCHARGED INTO THE SANITARY SEWER SYSTEM.
- PIPE FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES.
- ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM INSIDE THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE ENDS OF THE PIPE SHALL BE CLOSED BY APPROVED MEANS AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
- CLEAN THE INTERIORS OF ALL PIPE BY BRUSHING, SWABBING OR WASHING OUT OF ALL DIRT BEFORE LAYING.
- SANITARY SEWER LATERALS THAT TIE INTO MANHOLES SHALL BE INSTALLED WITH THE CROWN OF THE LATERAL EQUAL TO, OR HIGHER THAN, THE CROWN OF SEWER MAIN.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- ALL MATERIALS USED AND COME INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE/ NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61).

SPECIAL NOTES:

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- THE INTERIOR ROADWAYS AND DRAINAGE SYSTEM FOR THIS PROJECT WILL BE PRIVATE AND MAINTAINED BY THE PROPERTY OWNER, NOT THE CITY OF PORT WENTWORTH. THE CITY OF PORT WENTWORTH RETAINS THE RIGHT TO OPERATE AND MAINTAIN ITS SANITARY SEWER AND WATER DISTRIBUTION SYSTEMS WITHIN ESTABLISHED UTILITY EASEMENTS OF THE SITE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ALL ORDINANCES, STANDARDS, SPECIFICATIONS, AND DETAILS FOR THE CITY OF PORT WENTWORTH WILL PREVAIL IN THE EVENT OF CONFLICT WITH ANY SPECIFICATIONS SHOWN BY THE ENGINEER.
- ALL DESIGN MEETS THE REQUIREMENTS OF THE CITY OF PORT WENTWORTH AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA.

HANDICAP ACCESS NOTES

- ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 SLOPE IN ALL DIRECTIONS.
- ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 SLOPE FOR THE WIDTH OF THE SIDEWALK.
- IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.

BUILDING FOOTPRINT DIMENSIONS:

RESIDENTIAL BUILDINGS:	NON-RESIDENTIAL BUILDINGS:
① AND ② : WIDTH = 210'	CLUBHOUSE: WIDTH = 70'
DEPTH = 80'	DEPTH = 35'
AREA = 11,750± FT ²	AREA = 2,400± FT ²
③ : WIDTH = 160'	UTILITY: WIDTH = 40'
DEPTH = 80'	DEPTH = 15'
AREA = 9,900± FT ²	AREA = 500± FT ²
④ : WIDTH = 180'	
DEPTH = 80'	
AREA = 10,950± FT ²	

SITE DATA:

PROPERTY ADDRESS.....	COLDBROOK STATION CIRCLE
BUILDING USE.....	MULTI-FAMILY APARTMENTS
BUILDING HEIGHT.....	38'
ZONE.....	P-R-M
TOTAL PARCEL ACREAGE.....	23.5 ACRES
TOTAL WETLAND ACREAGE.....	10.5 ACRES
TOTAL UPLAND ACREAGE.....	13.0 ACRES
F.I.N.....	7-0037-01-012

PARKING CRITERIA:

REQUIRED:

- ONE-BEDROOM: 8 UNITS - 1.50 SPACES PER UNIT
- TWO-BEDROOM: 48 UNITS - 1.75 SPACES PER UNIT
- THREE-BEDROOM: 24 UNITS - 2.00 SPACES PER UNIT

(8 * 1.50) + (48 * 1.75) + (24 * 2.00) = 144 SPACES TOTAL

PROVIDED:

- 153 SPACES FOR RESIDENT PARKING, PLUS
- 7 HANDICAP SPACES = TOTAL OF 160 SPACES

GREENSPACE:

TOTAL PROJECT AREA = 6.0 ACRES
 PROPOSED GREENSPACE = 2.43 ACRES
 GREENSPACE PERCENTAGE = 40.5%

LEGEND:

EXISTING	PROPOSED
ASPHALT PAVEMENT (STANDARD)	
ASPHALT PAVEMENT (HEAVY DUTY)	
CONCRETE PAVEMENT (STANDARD)	
CONCRETE SIDEWALK	
STORM DRAINAGE PIPE	
STORM DRAINAGE INLET	
STORM DRAINAGE MANHOLE	
SANITARY SEWER PIPE	
SANITARY SEWER MANHOLE	
FORCE MAIN	
WATER MAIN	
WATER VALVE	
FIRE HYDRANT	
OVERHEAD ELECT. CABLE	
CONTOURS	17 19

FLOOD ZONE NOTE:

ACCORDING TO F.I.R.M. MAP NO. 13051C003DF, EFFECTIVE DATE: SEPTEMBER 26, 2008, THE PROPOSED INSTALLATION FALLS WITHIN ZONE X WHICH IS DETERMINED TO BE OUTSIDE OF FLOODING AREAS.

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HUSSEY GAY BELL
Established 1958
 329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:

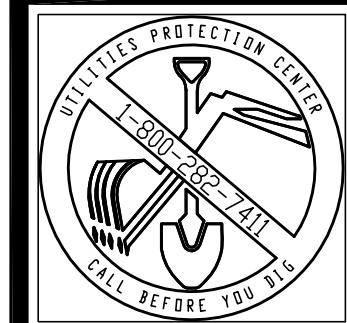
NO.	DATE	DESCRIPTION
1	05/21/2018	GENERAL REVISIONS
2	06/05/2018	GENERAL REVISIONS

DESIGNED	DRAWN	CHECKED
H.F.R.	J.J.M.	C.J.C.
DATE: 05/02/2018		
JOB NO. 117297502		
SCALE: NOT TO SCALE		

WOOD MEADOW APARTMENTS
 COLD BROOK STATION CIRCLE
 PORT WENTWORTH, GEORGIA
 FOR CRN DEVELOPMENT, LLC
CONSTRUCTION NOTES AND LEGEND

DRAWING NUMBER	02
	OF 28

Jun 05, 2018 - 3:28pm Printed By: jkopolic
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HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

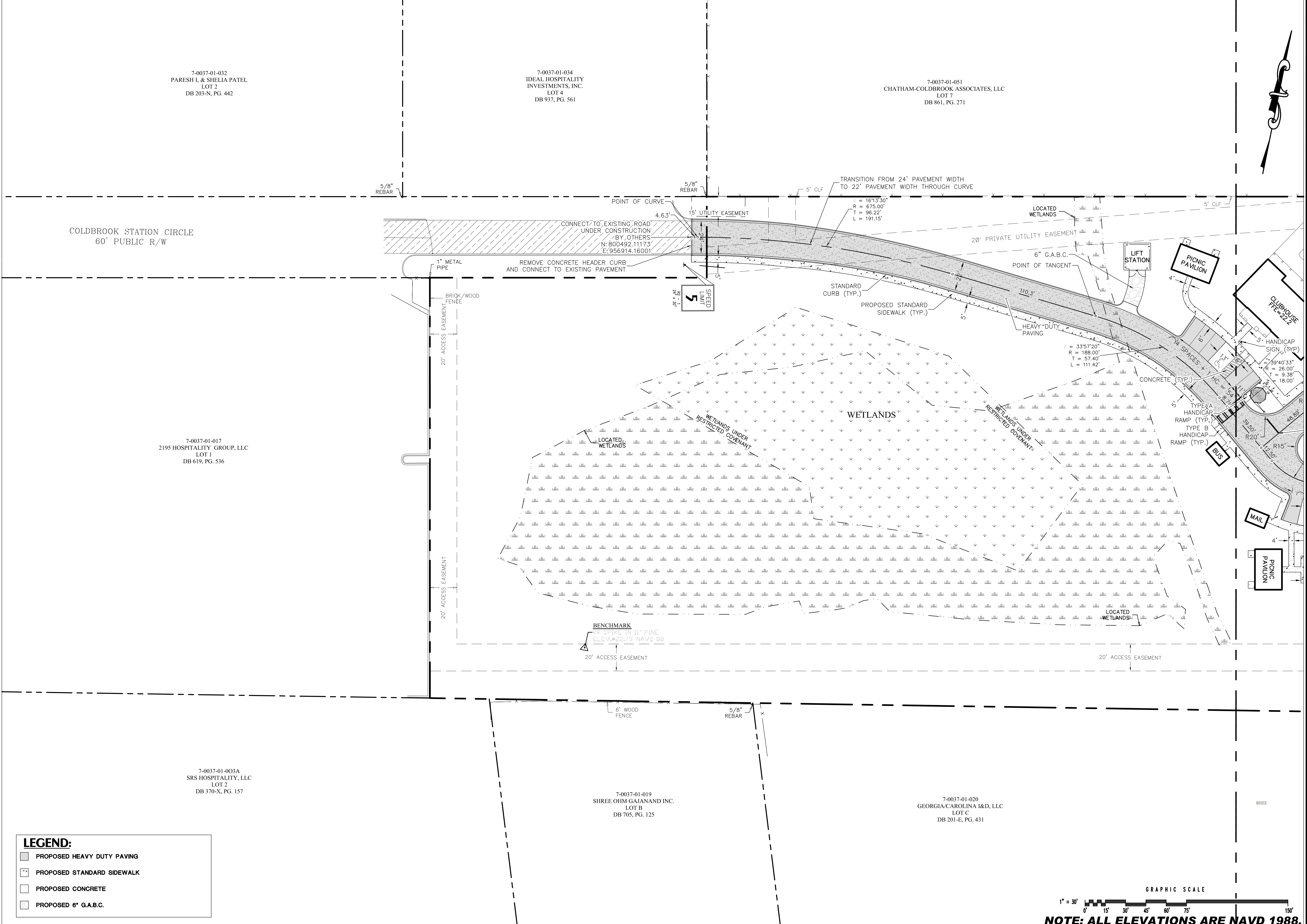
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DATE:	05/02/2018				
JOB NO.	117297502				
SCALE:	1" = 30'				
REVISIONS:	GENERAL REVISIONS 05/21/2018 GENERAL REVISIONS 05/05/2018				

DESIGNED	H.F.R.	DRAWN	J.J.M.	CHECKED	C.J.C.
DATE:	05/02/2018				
JOB NO.	117297502				
SCALE:	1" = 30'				

WOOD MEADOW APARTMENTS
COLD BROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC
STAKING & TRAFFIC CONTROL PLAN

DRAWING NUMBER
03
OF 28

Attachment: Wood Meadow Apartment Specific Site Plan 3rd revision JUNE 2018 (1916 - Site Plan Review Application Wood Meadow Apartments JUNE 2018)



7-0037-01-032
PARESH I. & SHELIA PATEL
LOT 2
DB 203-N, PG. 442

7-0037-01-034
IDEAL HOSPITALITY
INVESTMENTS, INC.
LOT 4
DB 937, PG. 561

7-0037-01-051
CHATHAM-COLDBROOK ASSOCIATES, LLC
LOT 7
DB 861, PG. 271

7-0037-01-017
2195 HOSPITALITY GROUP, LLC
LOT 1
DB 619, PG. 536

7-0037-01-003A
SRS HOSPITALITY, LLC
LOT 2
DB 370-X, PG. 157

7-0037-01-019
SHREE OHM GAJANAND INC.
LOT B
DB 705, PG. 125

7-0037-01-020
GEORGIA/CAROLINA I&D, LLC
LOT C
DB 201-E, PG. 431

COLDBROOK STATION CIRCLE
60' PUBLIC R/W

CONNECT TO EXISTING ROAD
UNDER CONSTRUCTION
BY OTHERS
N: 800492.11173
E: 956914.16001

BENCHMARK
BR SPIKE IN 11" PINE
ELEV. = 22.79 NAVD 88

LOCATED WETLANDS

STANDARD CURB (TYP.)

PROPOSED STANDARD SIDEWALK (TYP.)

HEAVY DUTY PAVING

POINT OF TANGENT

6" G.A.B.C.

POINT OF CURVE

15' UTILITY EASEMENT

5/8" REBAR

5' CLF

5/8" REBAR

5' CLF

5/8" REBAR

5' CLF

5/8" REBAR

5' CLF

5/8" REBAR

5' CLF

5/8" REBAR

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5' CLF

5/8" REBAR

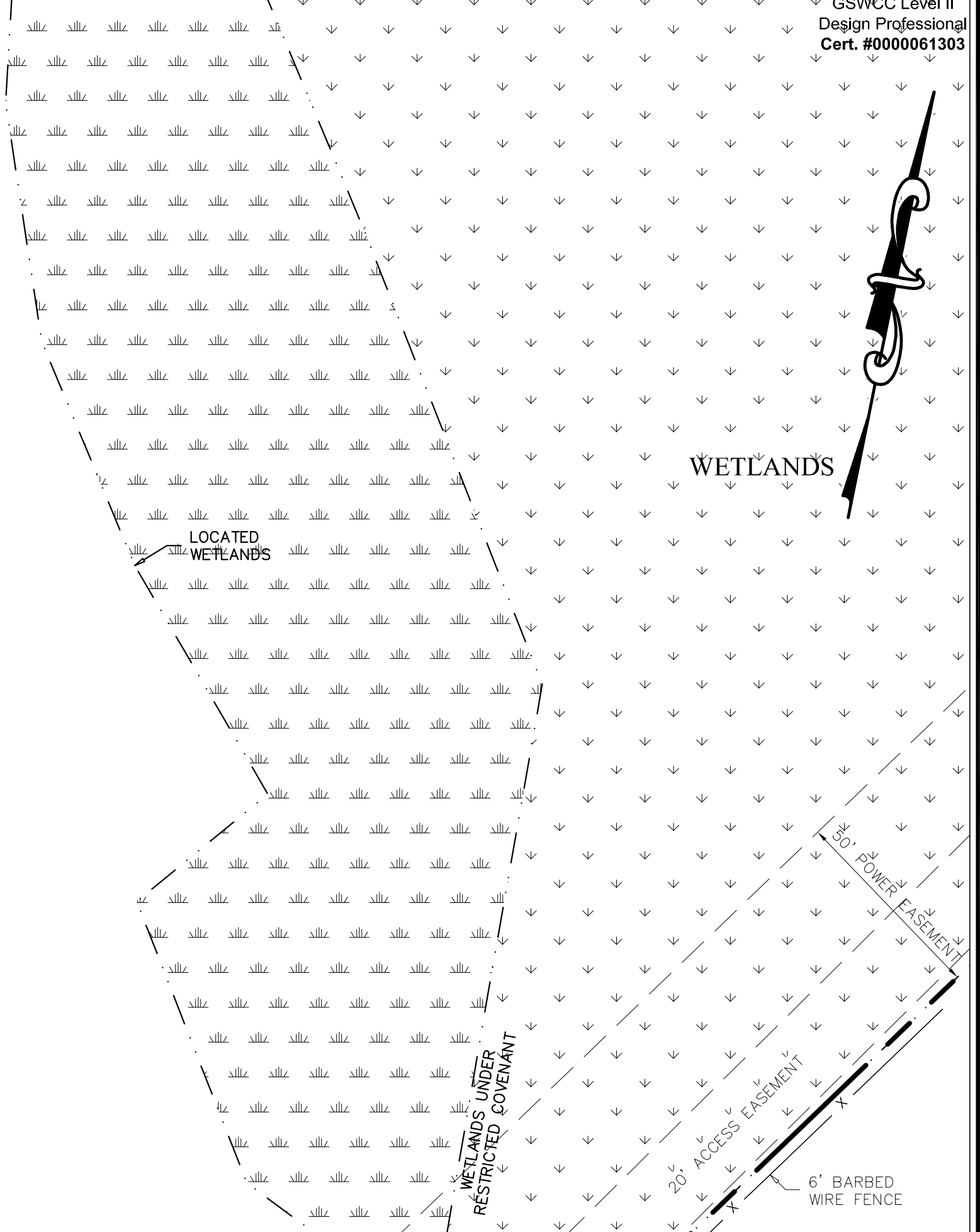
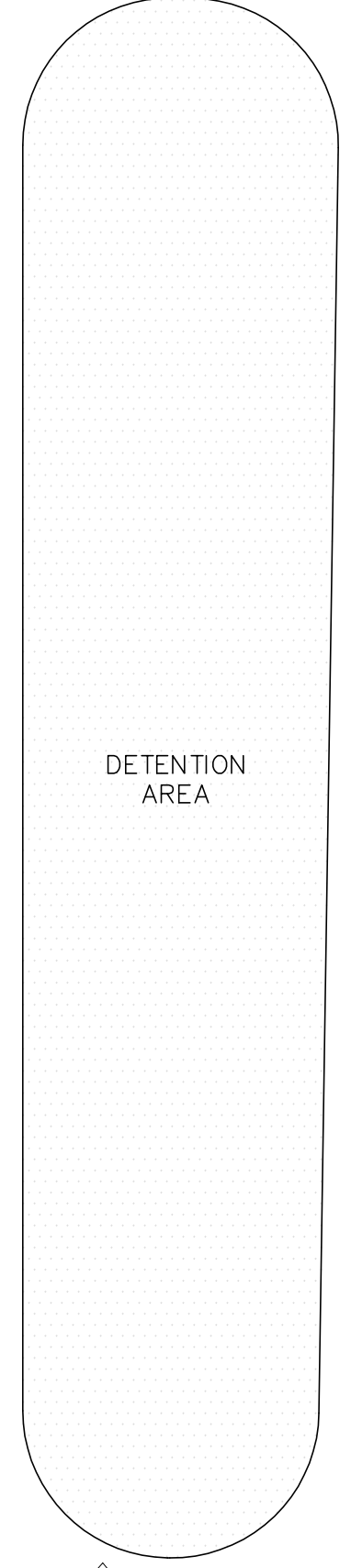
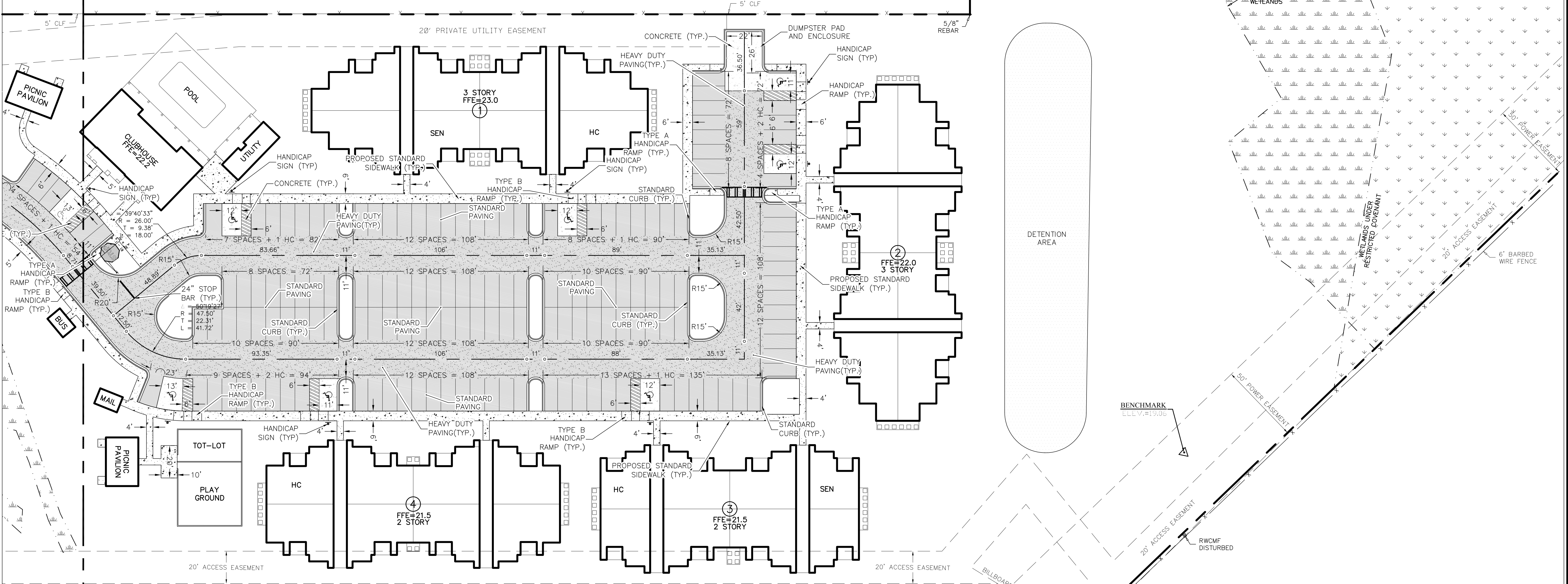
5' CLF

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7-0037-01-051
CHATHAM-COLDBROOK ASSOCIATES, LLC
LOT 7
DB 861, PG. 271

7-0037-01-020
GEORGIA/CAROLINA I&D, LLC
LOT C
DB 201-E, PG. 431

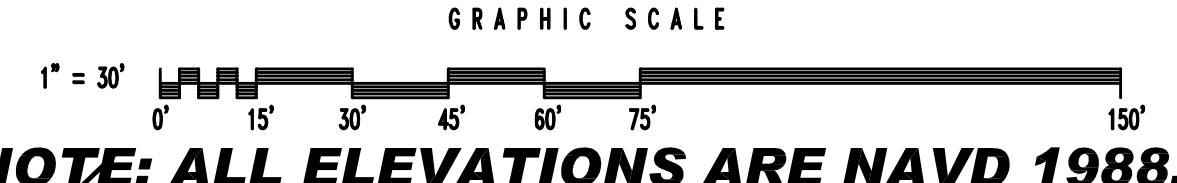
- LEGEND:**
- PROPOSED HEAVY DUTY PAVING
 - PROPOSED STANDARD SIDEWALK
 - PROPOSED CONCRETE
 - PROPOSED 6" G.A.B.C.



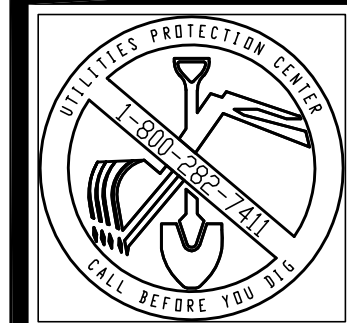
BENCHMARK
12\"/>

BENCHMARK
11\"/>

INTERSTATE HIGHWAY
NO. 95
400' PUBLIC R/W



GSWCC Level II
Design Professional
Cert. #0000061303



HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:

GENERAL REVISIONS	05/21/2018
GENERAL REVISIONS	06/05/2018

DESIGNED	H.F.R.	DRAWN	J.J.M.	CHECKED	C.J.C.
DATE:	05/02/2018				
JOB NO.	117297502				
SCALE:	1" = 30'				

WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC
STAKING & TRAFFIC CONTROL PLAN

DRAWING NUMBER
04
OF 26

Attachment: Wood Meadow Apartment Specific Site Plan 3rd revision JUNE 2018 (1916 - Site Plan Review Application Wood Meadow Apartments JUNE 2018)

7-0037-01-032
PARESH I. & SHELIA PATEL
LOT 2
DB 203-N, PG. 442

7-0037-01-034
IDEAL HOSPITALITY
INVESTMENTS, INC.
LOT 4
DB 937, PG. 561

7-0037-01-051
CHATHAM-COLDBROOK ASSOCIATES, LLC
LOT 7
DB 861, PG. 271

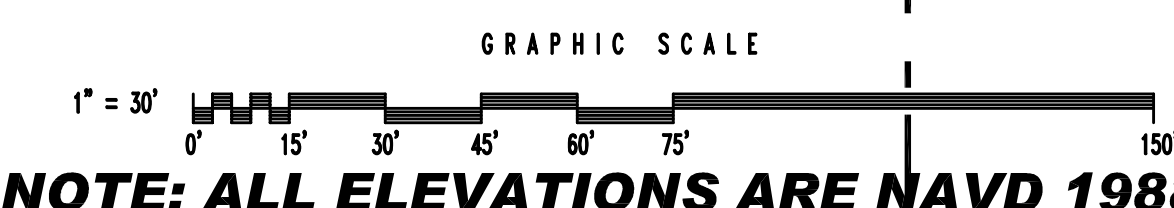
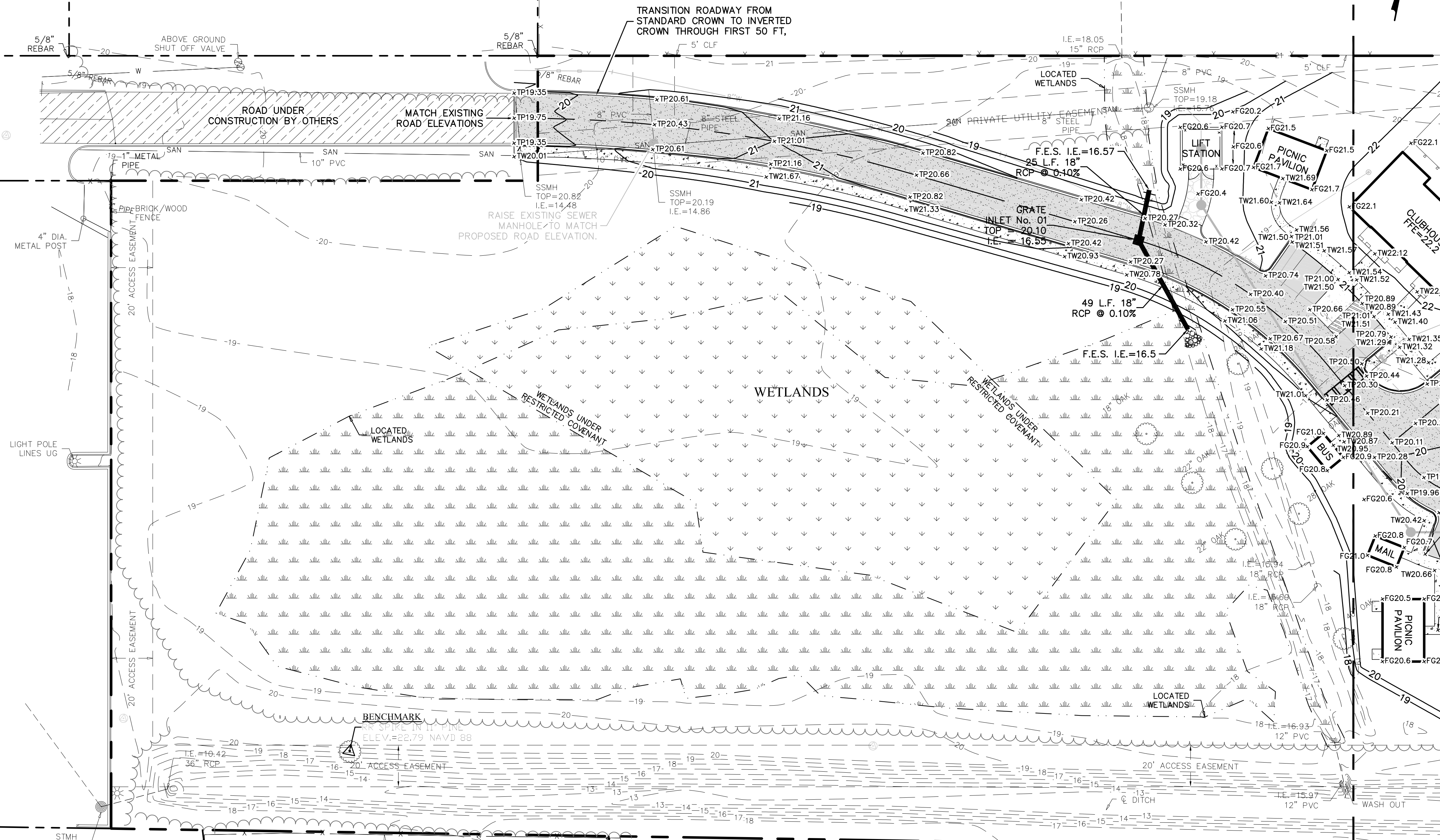
COLDBROOK STATION CIRCLE
60' PUBLIC R/W

7-0037-01-017
2195 HOSPITALITY GROUP, LLC
LOT 1
DB 619, PG. 536

7-0037-01-003A
SRS HOSPITALITY, LLC
LOT 2
DB 370-X, PG. 157

7-0037-01-019
SHREE OHM GAJANAND INC.
LOT B
DB 705, PG. 125

7-0037-01-020
GEORGIA/CAROLINA I&D, LLC
LOT C
DB 201-E, PG. 431



NOTE: ALL ELEVATIONS ARE NAVD 1988.



HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

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DATE:	05/02/2018				
JOB NO.	117297502				
SCALE:	1"=30'				

REVISIONS:	GENERAL REVISIONS	05/21/2018
	GENERAL REVISIONS	06/05/2018

WOOD MEADOW APARTMENTS
COLD BROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC

PAVING, GRADING AND DRAINAGE PLAN

DRAWING NUMBER

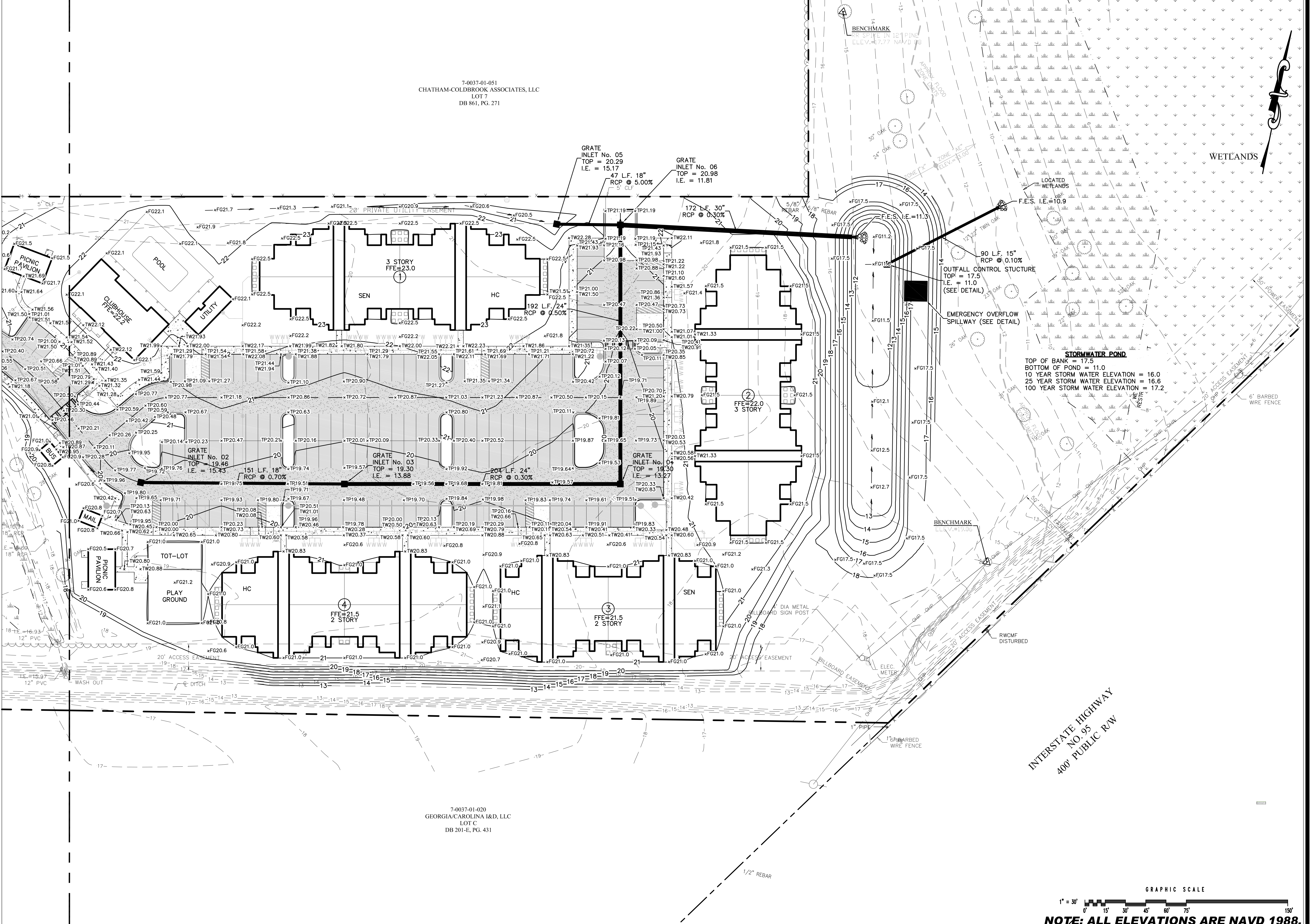
05

OF 28

Packet Pg. 48

7-0037-01-051
CHATHAM-COLDBROOK ASSOCIATES, LLC
LOT 7
DB 861, PG. 271

7-0037-01-020
GEORGIA/CAROLINA I&D, LLC
LOT C
DB 201-E, PG. 431



HUSSEY GAY BELL
Established 1958

329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

DESIGNED	H.F.R.	DRAWN	J.J.M.	CHECKED	C.J.C.
DATE:	05/02/2018	JOB NO.:	117297502	SCALE:	1"=30'

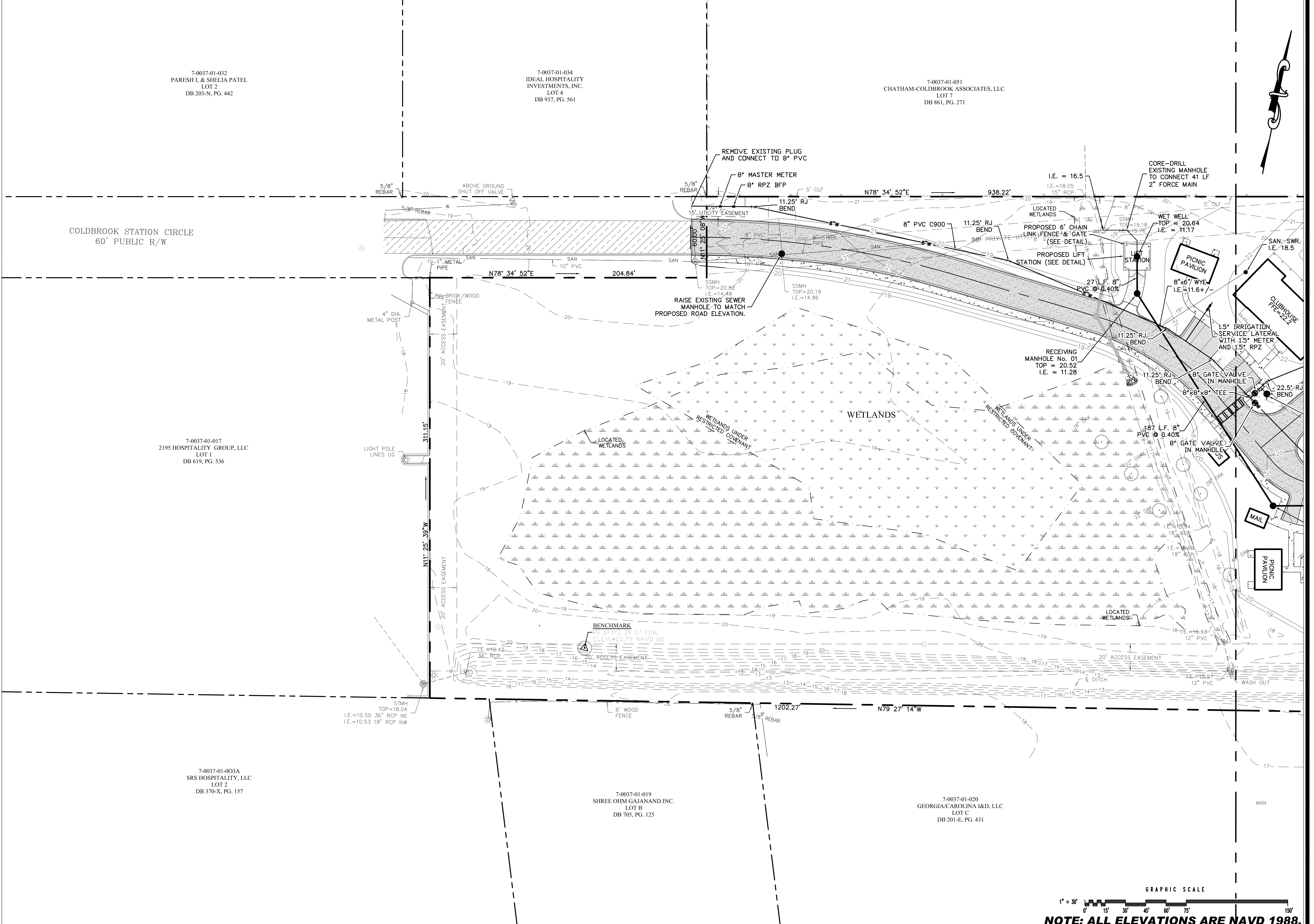
WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC

PAVING, GRADING AND DRAINAGE PLAN

DRAWING NUMBER
06
OF 26

GRAPHIC SCALE
1" = 30'
0' 15' 30' 45' 60' 75' 90' 105' 120'

NOTE: ALL ELEVATIONS ARE NAVD 1988.



7-0037-01-032
 PARESH I. & SHELIA PATEL
 LOT 2
 DB 203-N, PG. 442

7-0037-01-034
 IDEAL HOSPITALITY
 INVESTMENTS, INC.
 LOT 4
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7-0037-01-051
 CHATHAM-COLDBROOK ASSOCIATES, LLC
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 2195 HOSPITALITY GROUP, LLC
 LOT 1
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7-0037-01-003A
 SRS HOSPITALITY, LLC
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 DB 370-X, PG. 157

7-0037-01-019
 SHREE OHM GAJANAND INC.
 LOT B
 DB 705, PG. 125

7-0037-01-020
 GEORGIA/CAROLINA I&D, LLC
 LOT C
 DB 201-E, PG. 431



HUSSEY GAY BELL
Established 1958
 329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:

NO.	DATE	DESCRIPTION
1	05/21/2018	GENERAL REVISIONS
2	05/05/2018	GENERAL REVISIONS

DESIGNED	DRAWN	CHECKED
H.F.R.	J.J.M.	C.J.C.

DATE: 05/02/2018
 JOB NO. 117297502
 SCALE: 1" = 30'

WOOD MEADOW APARTMENTS
 COLDBROOK STATION CIRCLE
 PORT WENTWORTH, GEORGIA
 FOR
CRN DEVELOPMENT, LLC
SANITARY SEWER AND WATER DISTRIBUTION PLAN

DRAWING NUMBER
07
 OF 28

GRAPHIC SCALE
 1" = 30'
 0' 15' 30' 45' 60' 75' 90' 105' 120' 135' 150'

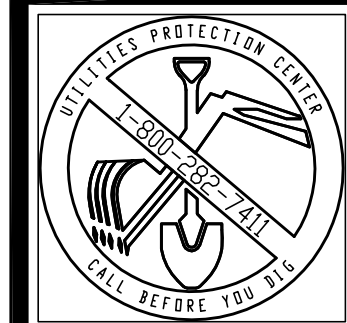
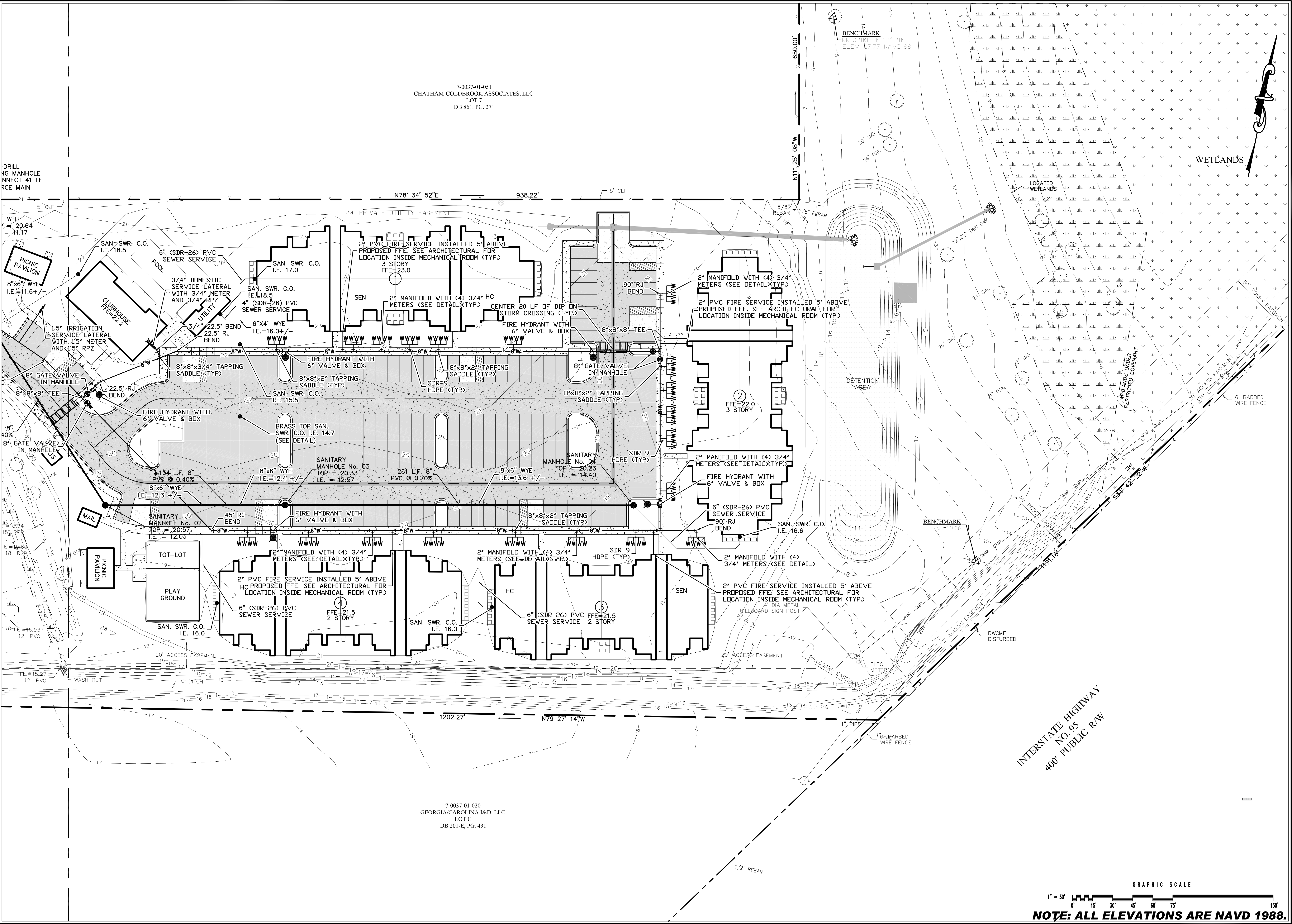
NOTE: ALL ELEVATIONS ARE NAVD 1988.

Jun 05, 2018 - 2:33pm Printed By: jkopalic

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7-0037-01-051
CHATHAM-COLDBROOK ASSOCIATES, LLC
LOT 7
DB 861, PG. 271

7-0037-01-020
GEORGIA/CAROLINA I&D, LLC
LOT C
DB 201-E, PG. 431



HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

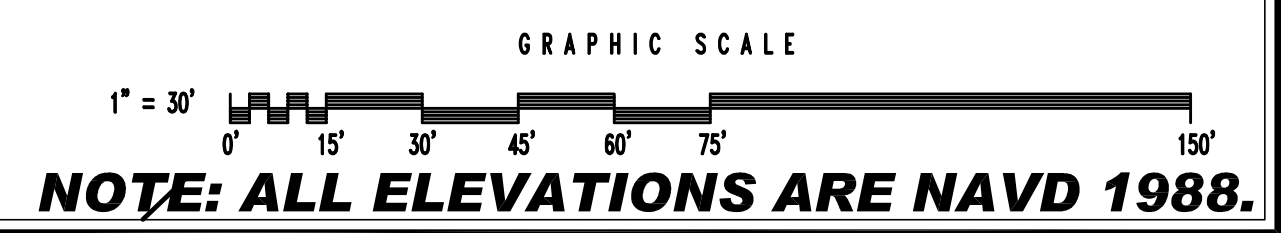
DESIGNED	H.F.R.	DRAWN	J.J.M.	CHECKED	C.J.C.
DATE:	05/02/2018				
JOB NO.:	117297502				
SCALE:	1"=30'				

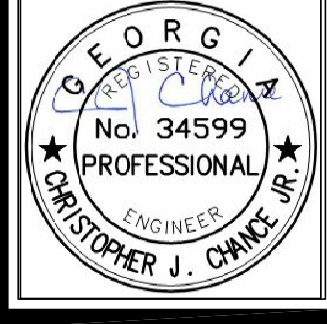
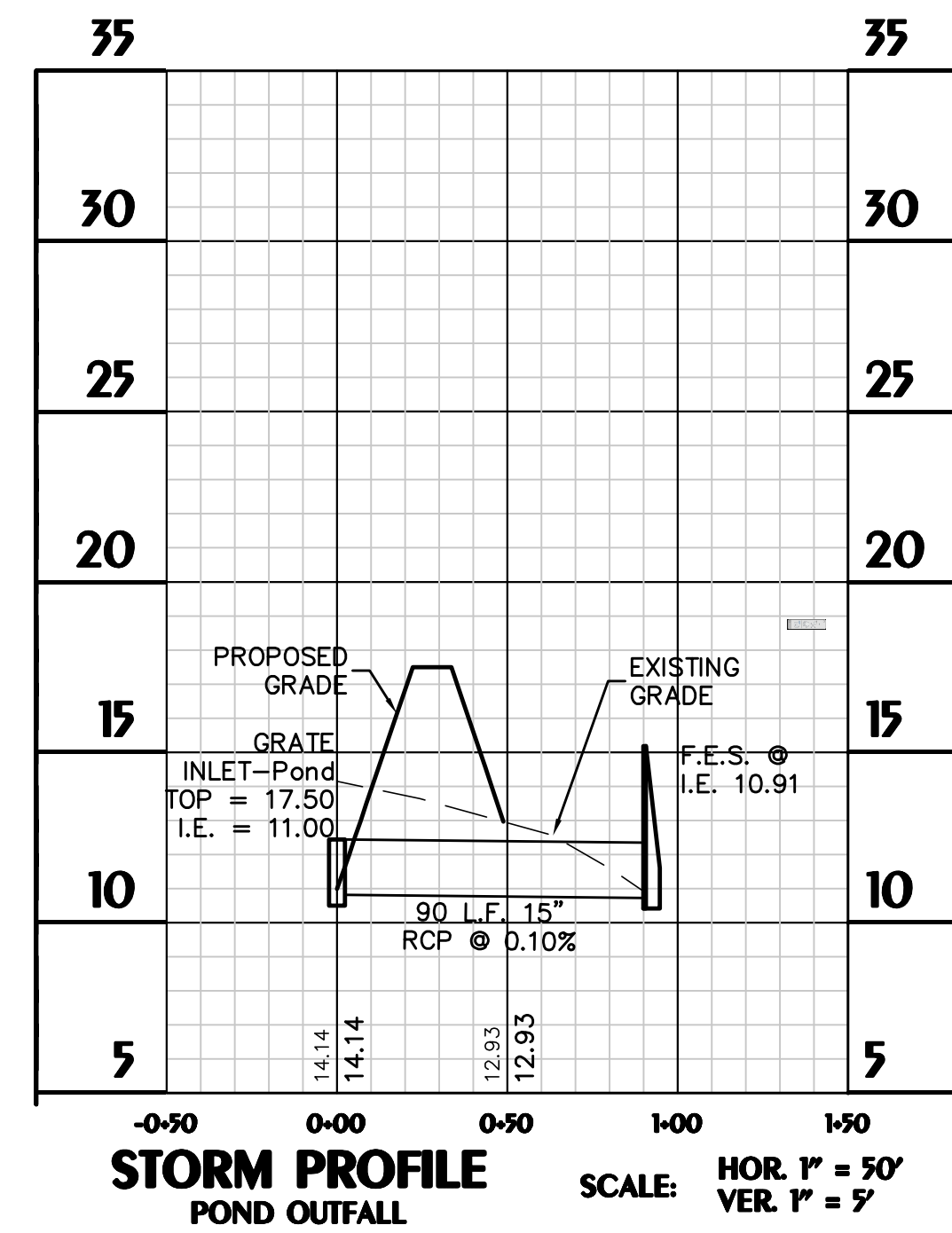
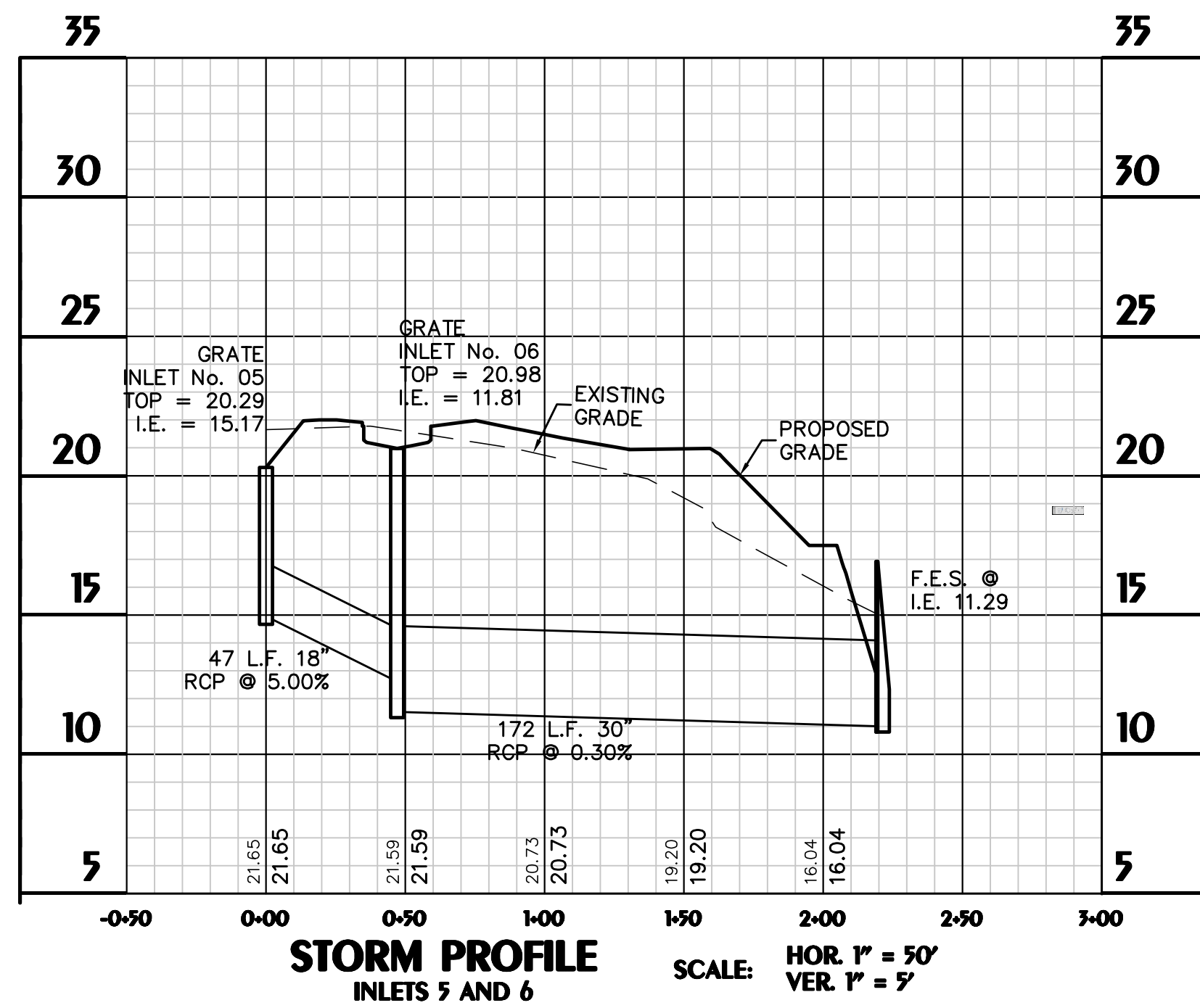
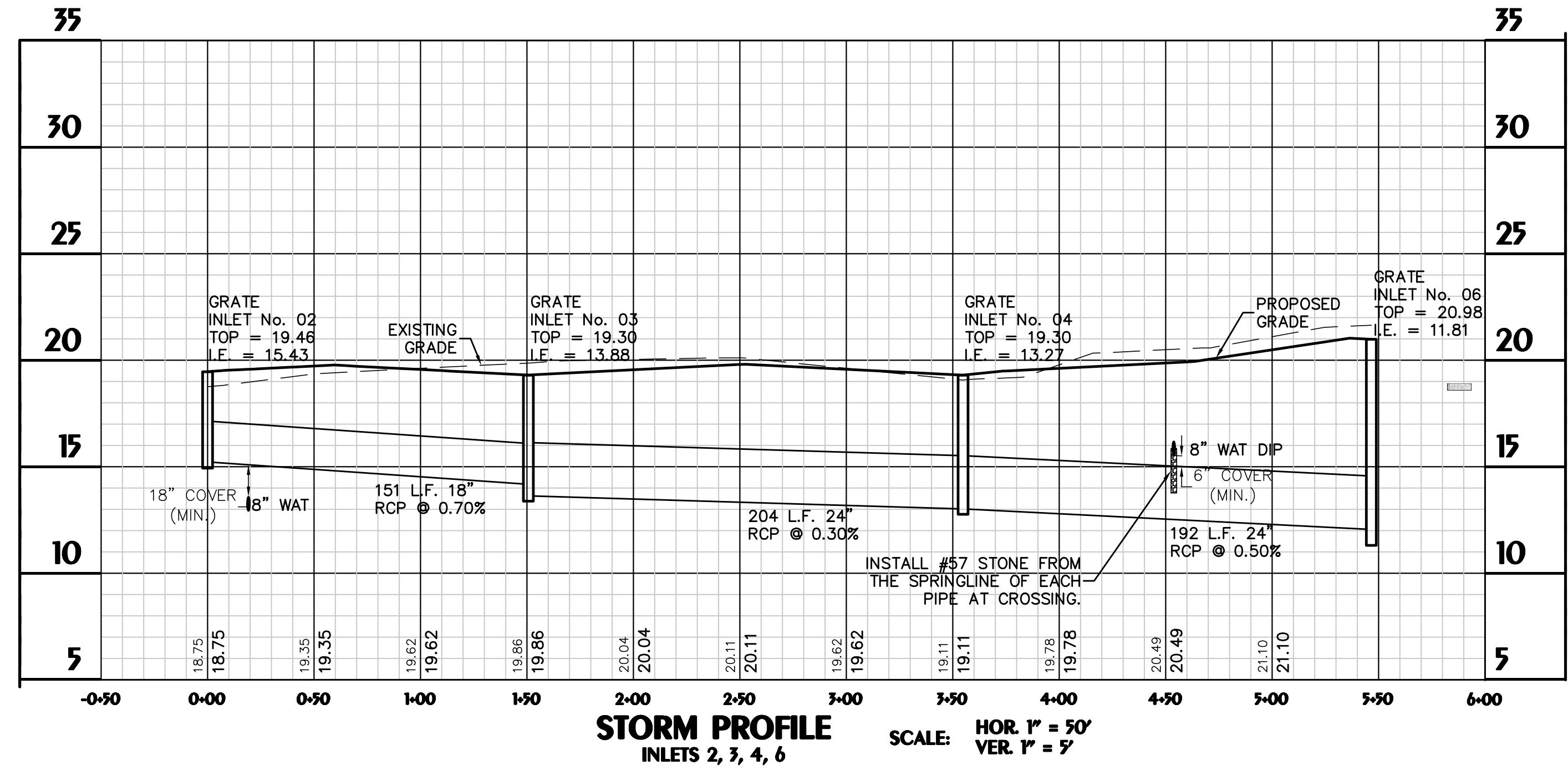
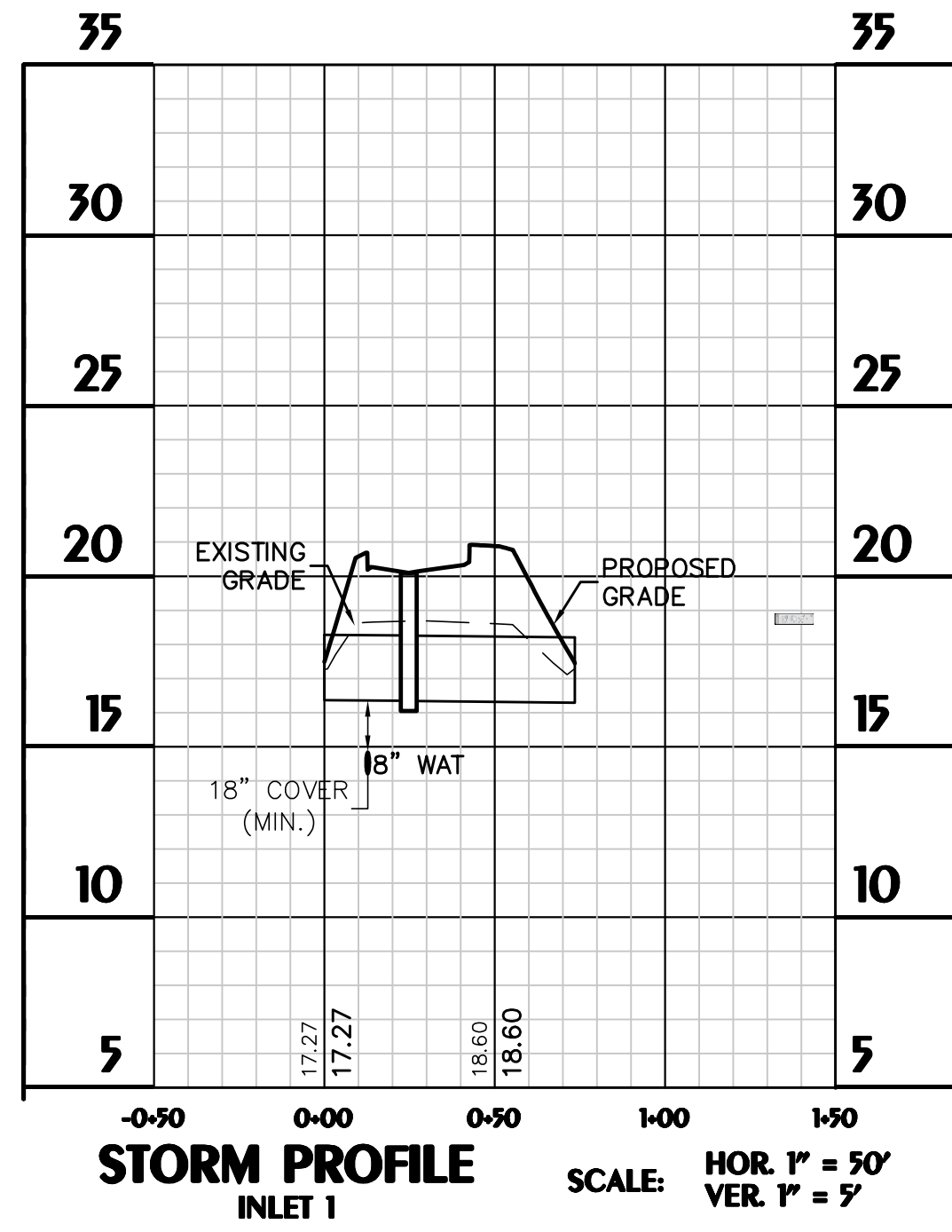
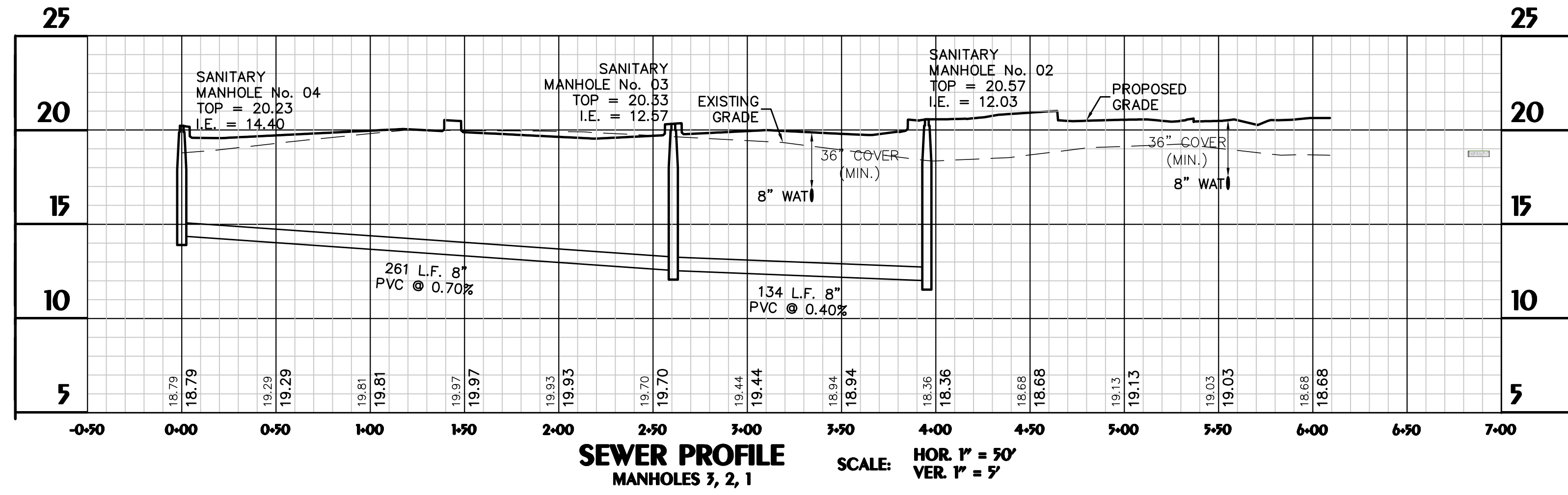
WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC
SANITARY SEWER AND WATER DISTRIBUTION PLAN

DRAWING NUMBER
08
OF 28

Attachment: Wood Meadow Apartment Specific Site Plan 3rd revision JUNE 2018 (1916 - Site Plan Review Application Wood Meadow Apartments JUNE 2018)

INTERSTATE HIGHWAY
NO. 95
400' PUBLIC R/W





HUSSEY GAY BELL
Established 1958
 329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T: 912.354.4626

REVISIONS:

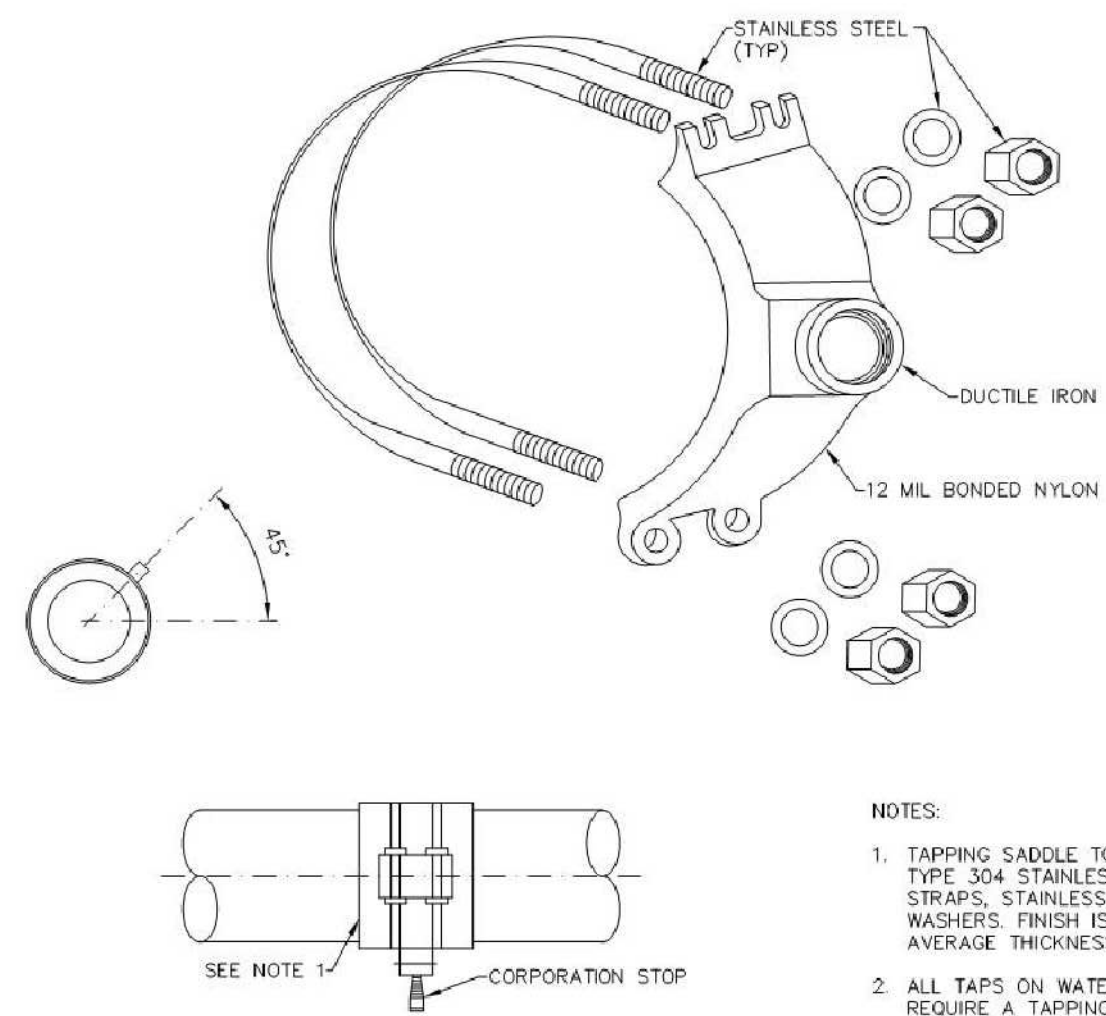
GENERAL REVISIONS	05/21/2018
GENERAL REVISIONS	06/05/2018

DESIGNED	H.F.R.	DRAWN	J.J.M.	CHECKED	C.J.C.
DATE:	05/02/2018				
JOB NO.	117297502				
SCALE:	AS SHOWN				

WOOD MEADOW APARTMENTS
 COLDBROOK STATION CIRCLE
 PORT WENTWORTH, GEORGIA
 FOR
CRN DEVELOPMENT, LLC
STORM & SEWER PROFILE

DRAWING NUMBER
09
 OF 28

Jun 05, 2018 - 2:45pm Printed By: jkopolic
DRAWINGS MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF SAUSSY ENGINEERING, LLC.
WOOD MEADOW APARTMENTS (CADD FILES) CONSTRUCTION SHT 10 - D.T.S.dwg
E:\Gateway Companies\117297502...Wood Meadow Apartments\Cadd Files\Construction SHT 10 - D.T.S.dwg

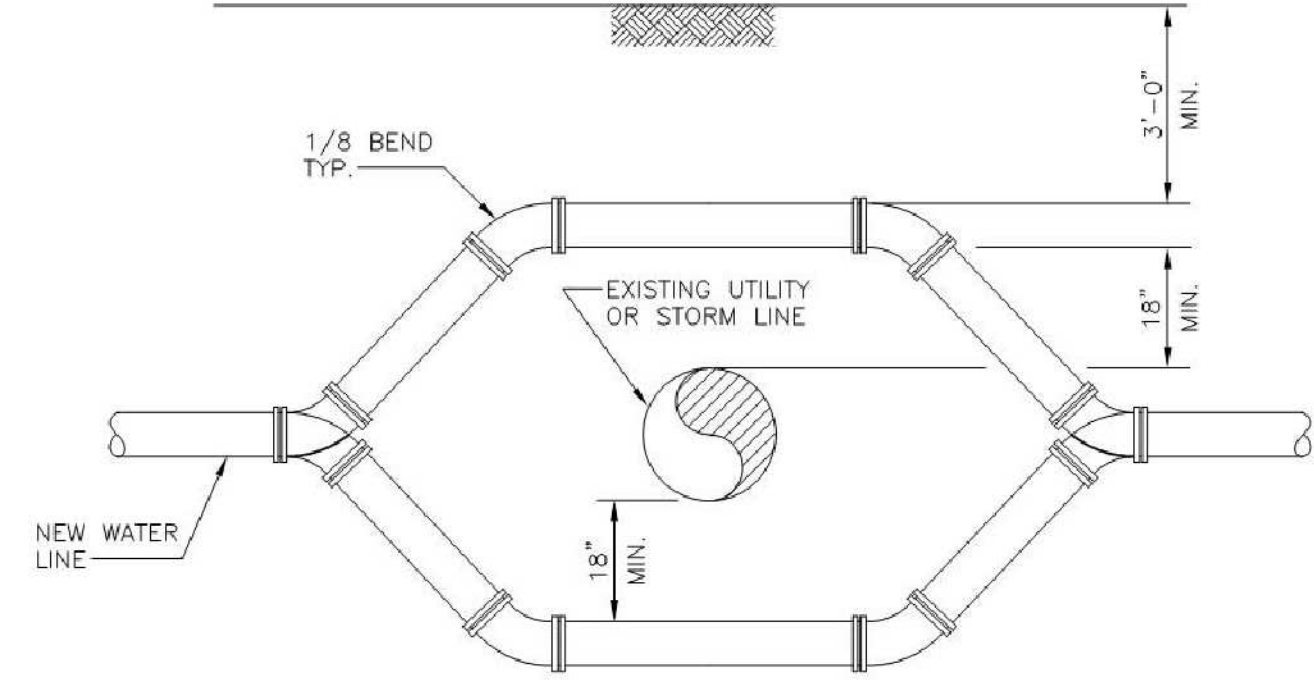


- NOTES:
- TAPPING SADDLE TO BE DUCTILE IRON WITH TYPE 304 STAINLESS STEEL FORGED DOUBLE STRAPS, STAINLESS STEEL BOLTS, NUTS AND WASHERS. FINISH IS FUSION-BONDED NYLON TO AVERAGE THICKNESS OF 12 MILS.
 - ALL TAPS ON WATER MAIN WILL REQUIRE A TAPPING SADDLE.

1" AND 2" TAPPING SADDLE
City of Port Wentworth
TECHNICAL DETAILS

W-2

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

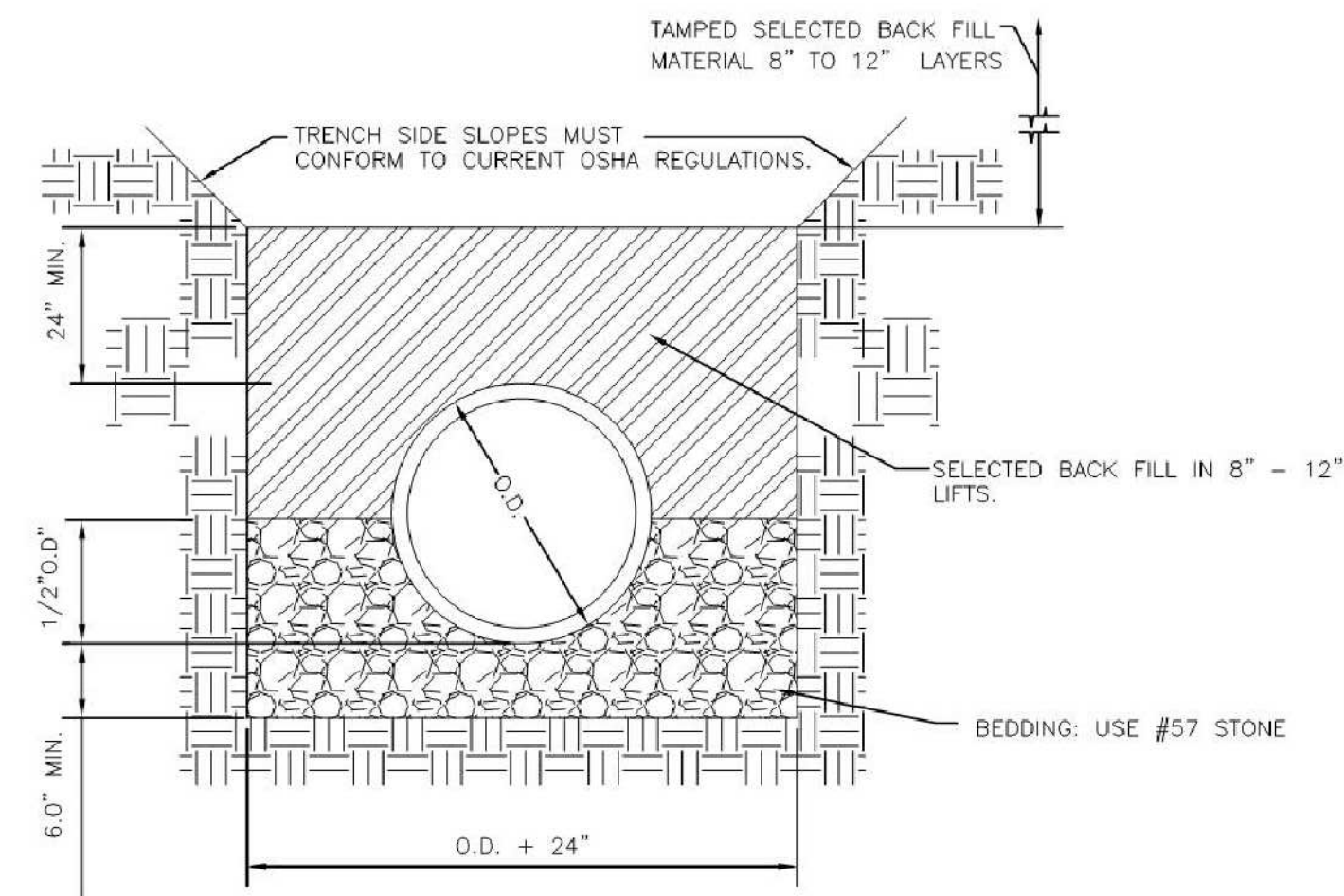


- NOTES:
- WATER LINE SHALL BE INSTALLED ABOVE SANITARY OR STORM LINE IF POSSIBLE.
 - STRAIGHT RUN OF WATER LINE DIRECTLY ABOVE OR BELOW EXISTING UTILITY LINE MUST BE 10" MINIMUM WITH NO JOINT.
 - IF WATER LINE IS INSTALLED BELOW SANITARY LINE WATER LINE SHALL BE DUCTILE IRON PIPE.
 - JOINTS SHALL BE RESTRAINED IN ACCORDANCE WITH CITY OF PORT WENTWORTH STANDARD DETAILS.

STANDARD UTILITY CROSSING
City of Port Wentworth
TECHNICAL DETAILS

W-6

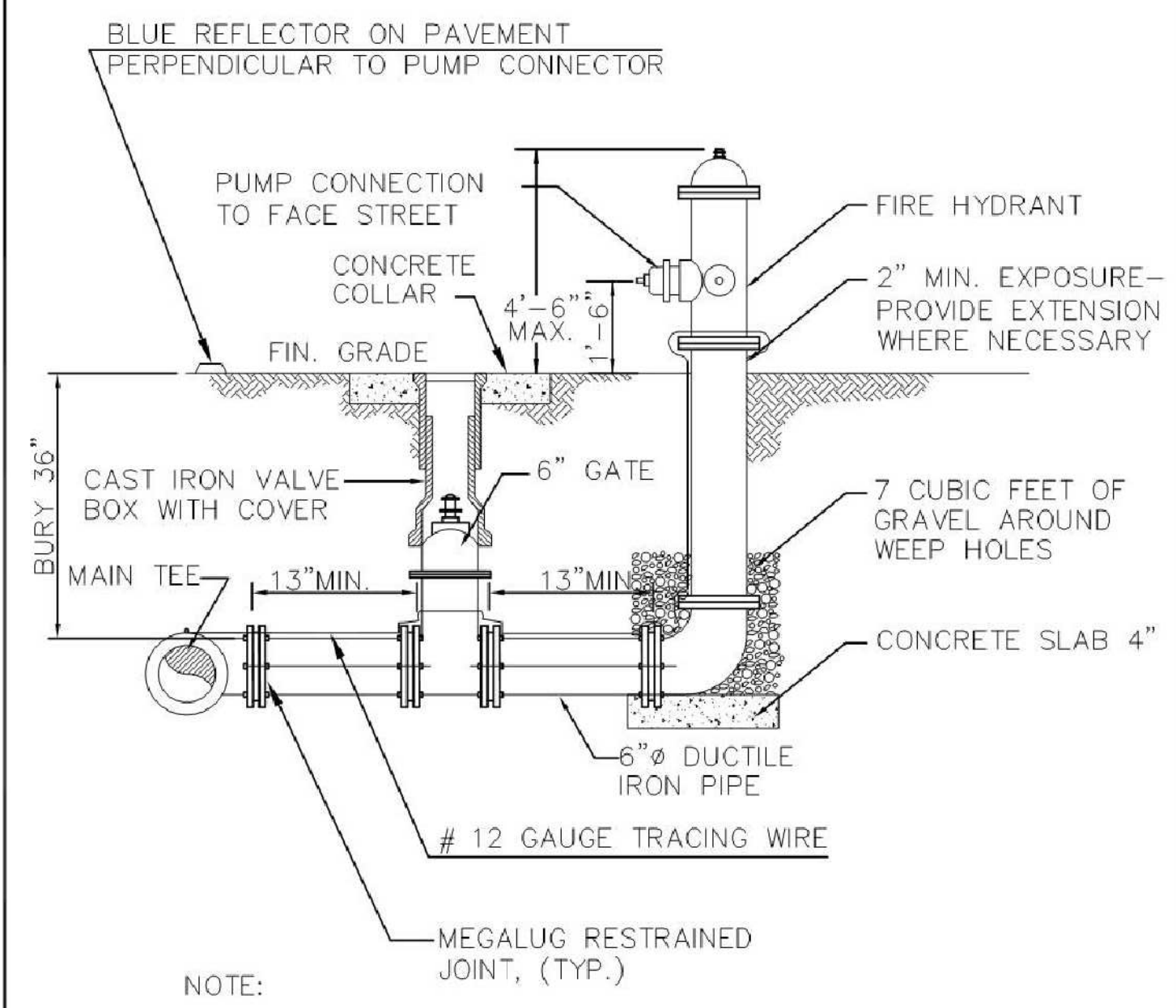
PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



PIPE BEDDING
City of Port Wentworth
TECHNICAL DETAILS

W-8

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



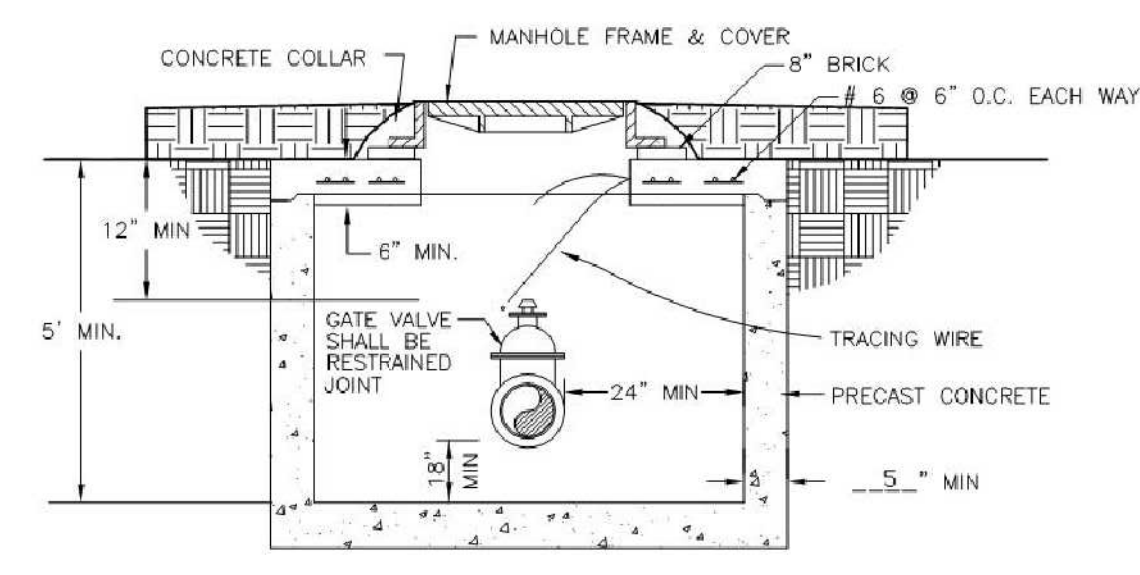
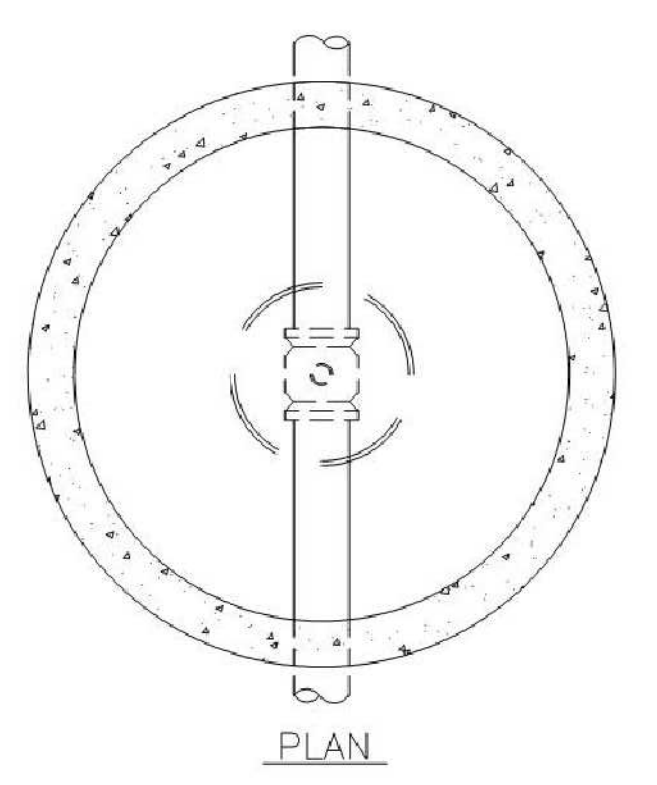
- NOTE:
- ALL JOINTS FROM MAIN TO HYDRANT SHALL BE RESTRAINED.
 - PROTECT BOLTS AND THREADS FROM CONCRETE.

STANDARD FIRE HYDRANT
City of Port Wentworth
TECHNICAL DETAILS

W-9

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

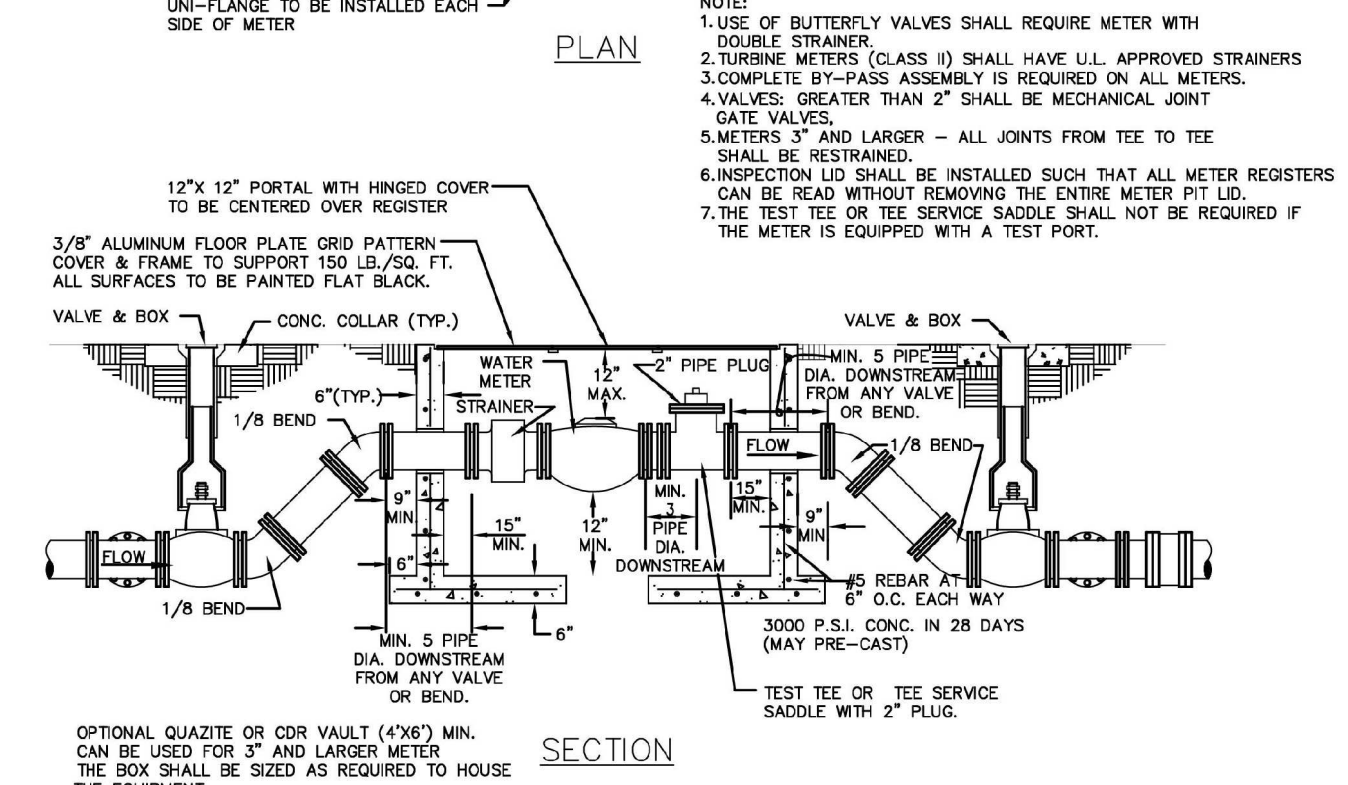
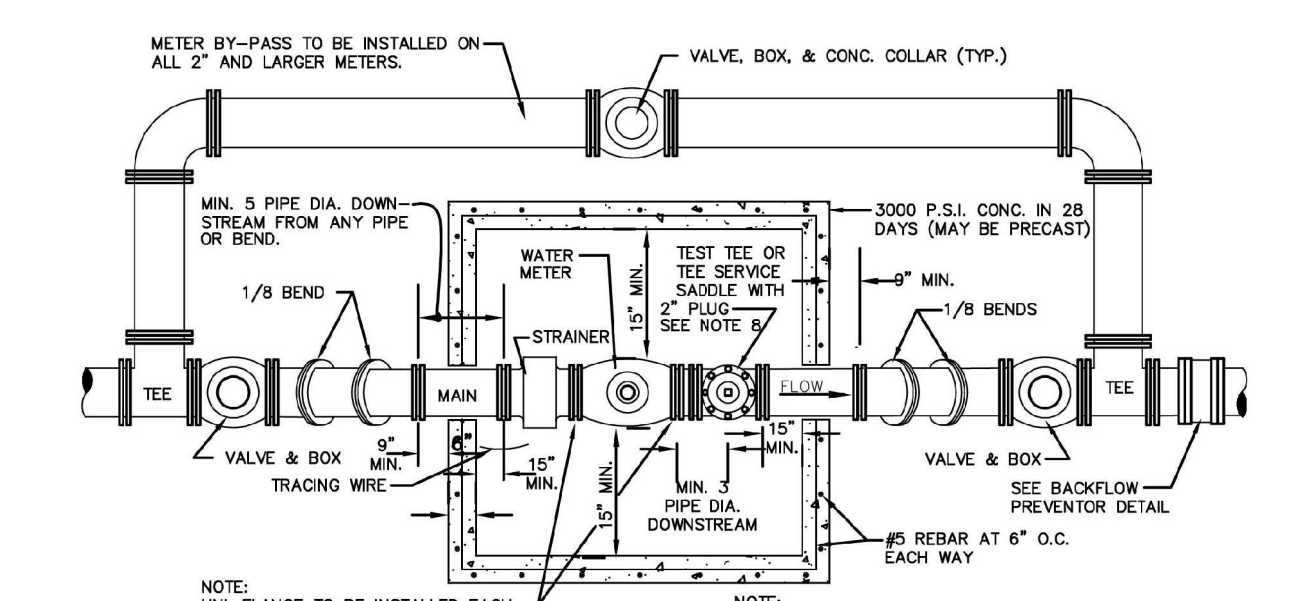
- NOTES:
- MANHOLE FRAME AND COVER SHALL BE NENNAH FOUNDRY CO, CATALOG NO. R-1668, TYPE C, LABELED "WATER".
 - THE BOTTOM OF THE MANHOLE FRAME SHALL NOT BE MORE THAN 12" ABOVE THE TOP OF THE MANHOLE STRUCTURE.
 - PRECAST CONCENTRIC CONE RISERS MAY BE USED WHERE REQUIRED FOR DEPTH.
 - THE MANHOLE FRAME AND COVER MUST BE CENTERED OVER THE VALVE.



VALVE MANHOLE FOR 8" & GREATER GATE VALVE
City of Port Wentworth
TECHNICAL DETAILS

W-14

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

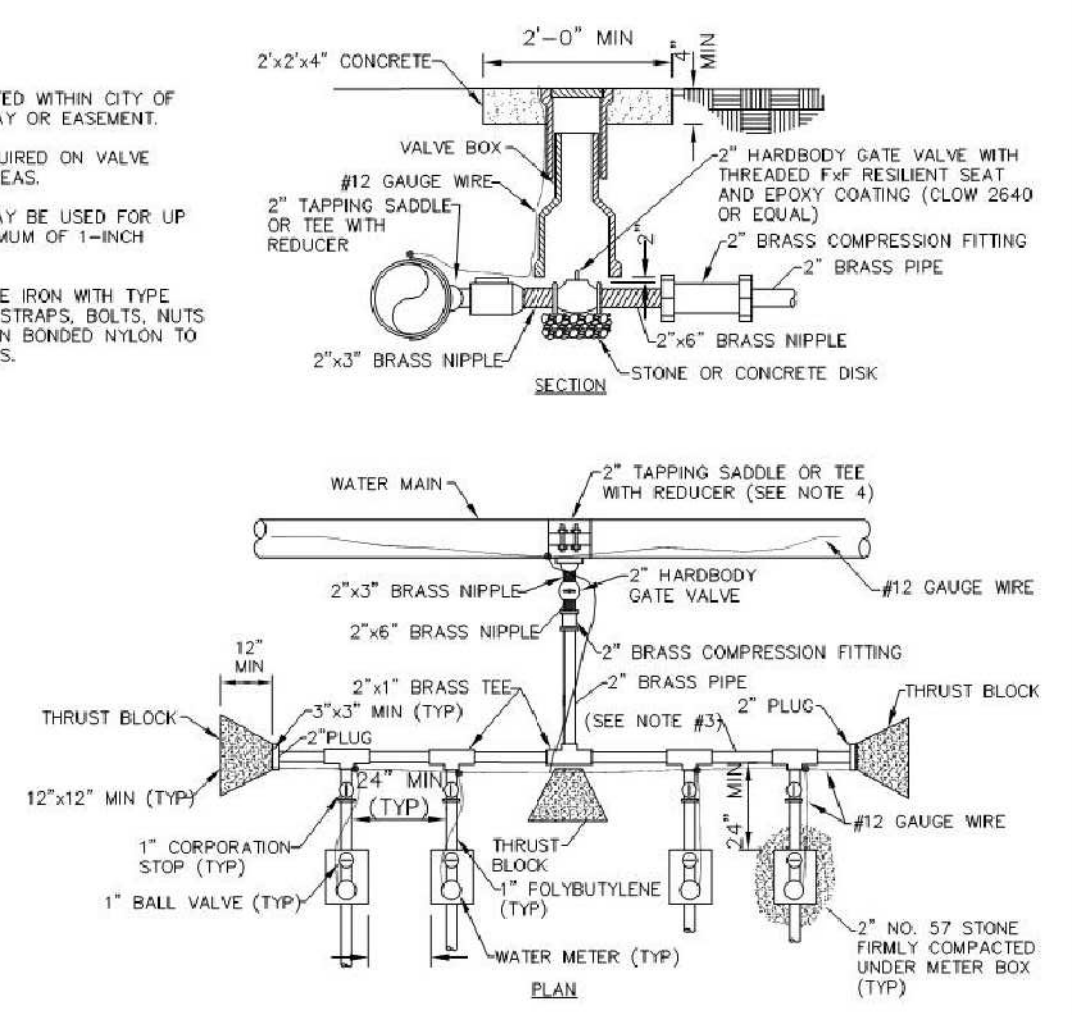


WATER METER INST. 3" AND LARGER
City of Port Wentworth
TECHNICAL DETAILS

W-15

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

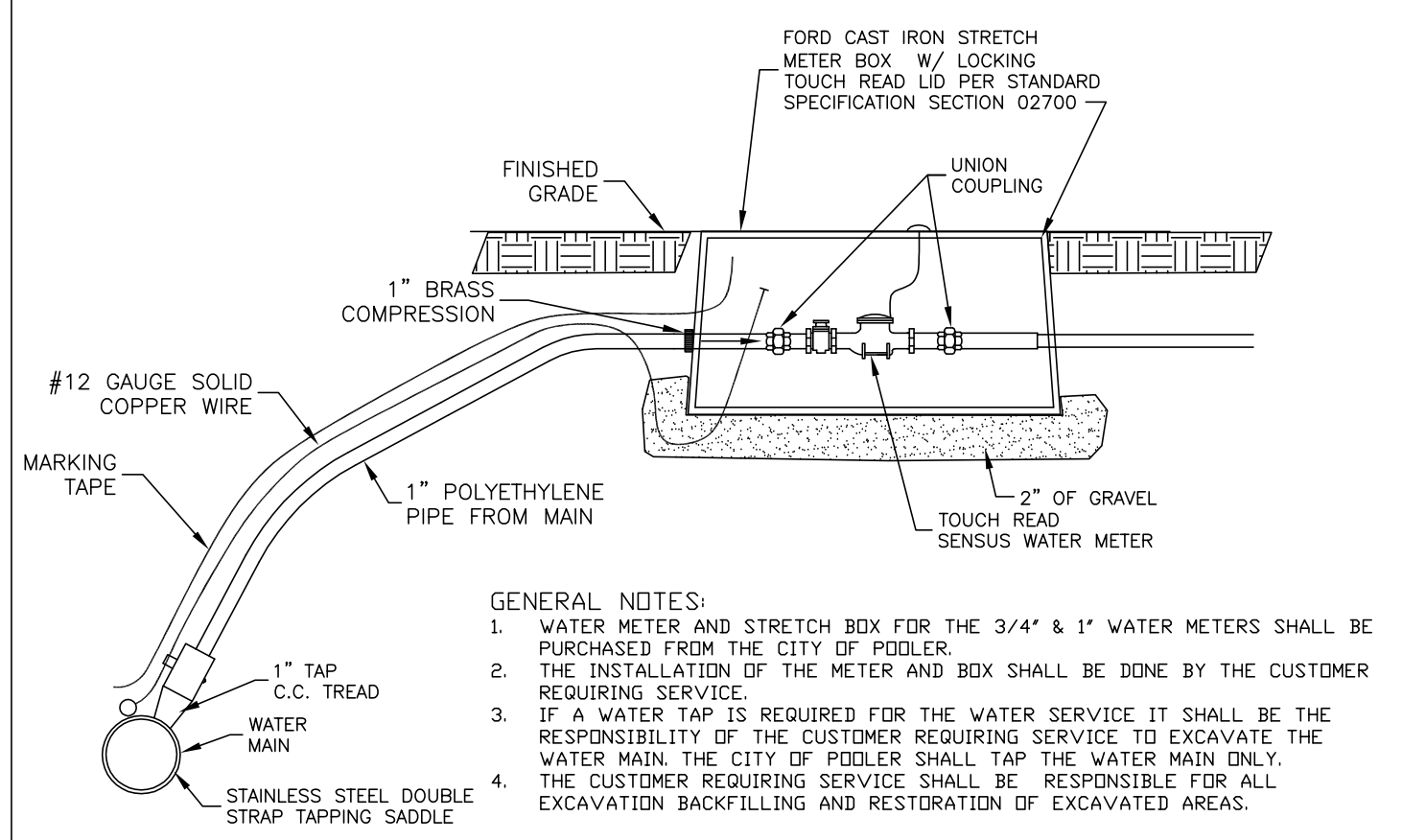
- NOTES:
- ALL METERS SHALL BE INSULATED WITHIN CITY OF PORT WENTWORTH RIGHT OF WAY OR EASEMENT.
 - CONCRETE COLLAR IS NOT REQUIRED ON VALVE BOXES INSTALLED IN PAVED AREAS.
 - A 2" DOMESTIC BRASS PIPE MAY BE USED FOR UP TO SIX (6) UNITS WITH A MAXIMUM OF 1-INCH METER ONLY.
 - TAPPING SADDLE TO BE DUCTILE IRON WITH TYPE 304 STAINLESS STEEL DOUBLE STRAPS, BOLTS, NUTS AND WASHERS. FINISH IS FUSION-BONDED NYLON TO AVERAGE THICKNESS OF 12 MILS.



MULTIPLE WATER METER INSTALLATION
City of Port Wentworth
TECHNICAL DETAILS

W-16

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



- GENERAL NOTES:
- WATER METER AND STRETCH BOX FOR THE 3/4" & 1" WATER METERS SHALL BE PURCHASED FROM THE CITY OF POOLER.
 - THE INSTALLATION OF THE METER AND BOX SHALL BE DONE BY THE CUSTOMER REQUIRING SERVICE.
 - IF A WATER TAP IS REQUIRED FOR THE WATER SERVICE IT SHALL BE THE RESPONSIBILITY OF THE CUSTOMER REQUIRING SERVICE TO EXCAVATE THE WATER MAIN. THE CITY OF POOLER SHALL TAP THE WATER MAIN ONLY.
 - THE CUSTOMER REQUIRING SERVICE SHALL BE RESPONSIBLE FOR ALL EXCAVATION BACKFILLING AND RESTORATION OF EXCAVATED AREAS.

WATER METER INSTALLATION 1" SERVICE PIPE,
3/4" WATER METER & 1" WATER METER DOMESTIC,
IRRIGATION & COMMERCIAL USE ONLY

N.T.S.

7.C.b

GEORGIA PROFESSIONAL ENGINEER
No. 34599
CHRISTOPHER J. CHANCE, JR.

REGISTERED PROFESSIONAL ENGINEER
STATE OF GEORGIA
No. 10000
DAVID M. BROWN, III

HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:
GENERAL REVISIONS 05/21/2018
GENERAL REVISIONS 06/05/2018

DESIGNED H.F.R. DRAWN J.J.M. CHECKED C.J.C.
DATE: 05/02/2018
JOB NO. 117297502
SCALE: N.T.S.

WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR CRN DEVELOPMENT, LLC
CONSTRUCTION DETAILS

DRAWING NUMBER
10
OF 28

Attachment: Wood Meadow Apartment Specific Site Plan 3rd revision JUNE 2018 (1916 - Site Plan Review Application Wood Meadow Apartments JUNE 2018)

Packet Pg. 53

WATER METER INSTALLATION 2" SERVICE PIPE
 1-1/2" METER & 2" METER

City of Port Wentworth
 TECHNICAL DETAILS

W-19

SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

MANIFOLD FOR MULTIPLE
3/4" OR 1" METER INSTALLATION

City of Port Wentworth
 TECHNICAL DETAILS

W-25

SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

BACKFLOW PREVENTION DEVICE

City of Port Wentworth
 TECHNICAL DETAILS

W-25

SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

STANDARD HORIZONTAL BEND RESTRAINT

City of Port Wentworth
 TECHNICAL DETAILS

W-27

SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

STANDARD VERTICAL BEND RESTRAINT

City of Port Wentworth
 TECHNICAL DETAILS

W-28

SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

STANDARD TEE RESTRAINT (PVC LINE)

City of Port Wentworth
 TECHNICAL DETAILS

W-29

SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

STANDARD TEE RESTRAINT (DUCTILE IRON PIPE)

City of Port Wentworth
 TECHNICAL DETAILS

W-30

SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

STANDARD DEAD END RESTRAINT

City of Port Wentworth
 TECHNICAL DETAILS

W-31

SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

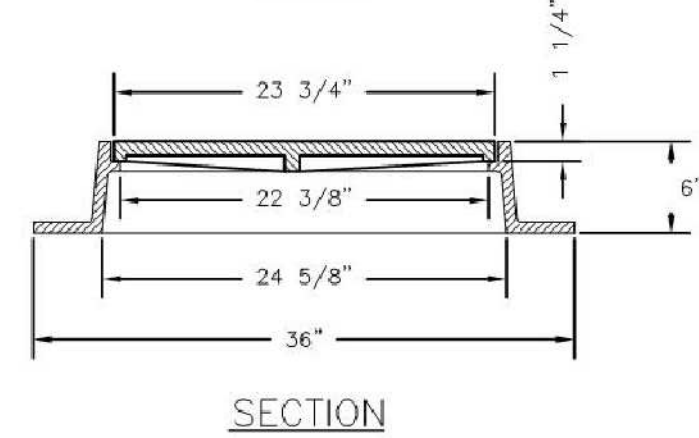
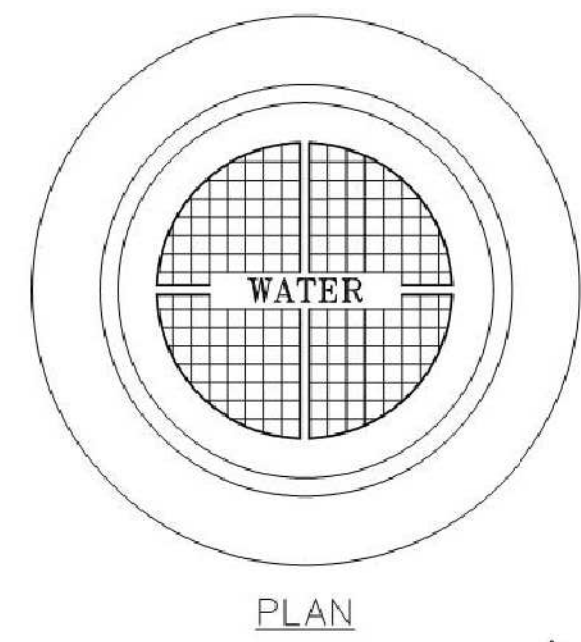
7.C.B.

HUSSEY GAY BELL
 Established 1958
 329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

DESIGNED: H.F.R. DRAWN: J.J.M. CHECKED: C.J.C.
 DATE: 05/02/2018
 JOB NO. 117297502
 SCALE: N.T.S.

WOOD MEADOW APARTMENTS
 COLDBROOK STATION CIRCLE
 PORT WENTWORTH, GEORGIA
 FOR
CRN DEVELOPMENT, LLC
CONSTRUCTION DETAILS

11
 OF 26
 Packet Pg. 54

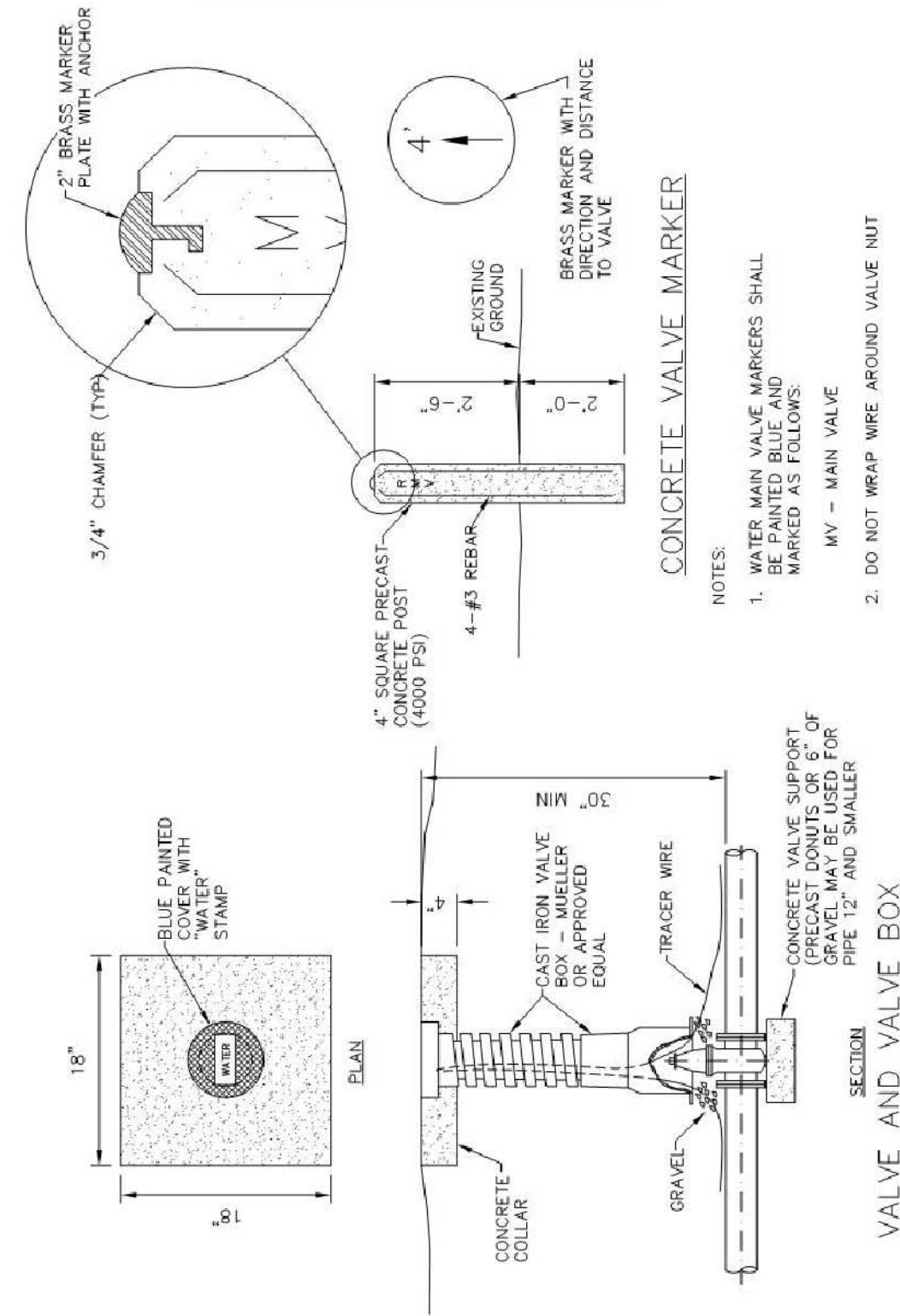


NOTE:
 MANHOLE RING & COVER SHALL BE HEAVY DUTY RATED EQUAL TO U. S. FOUNDRY CO. USF 195-ORS. TOTAL WEIGHT 325# TYPE "C" LID TO HAVE MACHINED BEARING SURFACES. LID TO BE LETTERED 2 1/2" - 3" LETTER HEIGHT "WATER" (NON VENTED). MANHOLE RING SHALL INCLUDE A WATER TIGHT GASKET. STACKING CLEARANCE ON THE BOTTOM OF THE COVER SHALL NOT BE ALLOWED.

MANHOLE RING & COVER
 City of Port Wentworth
 TECHNICAL DETAILS

W-34

SCALE: N.T.S.
 DATED: FEBRUARY 2007



CONCRETE VALVE MARKER

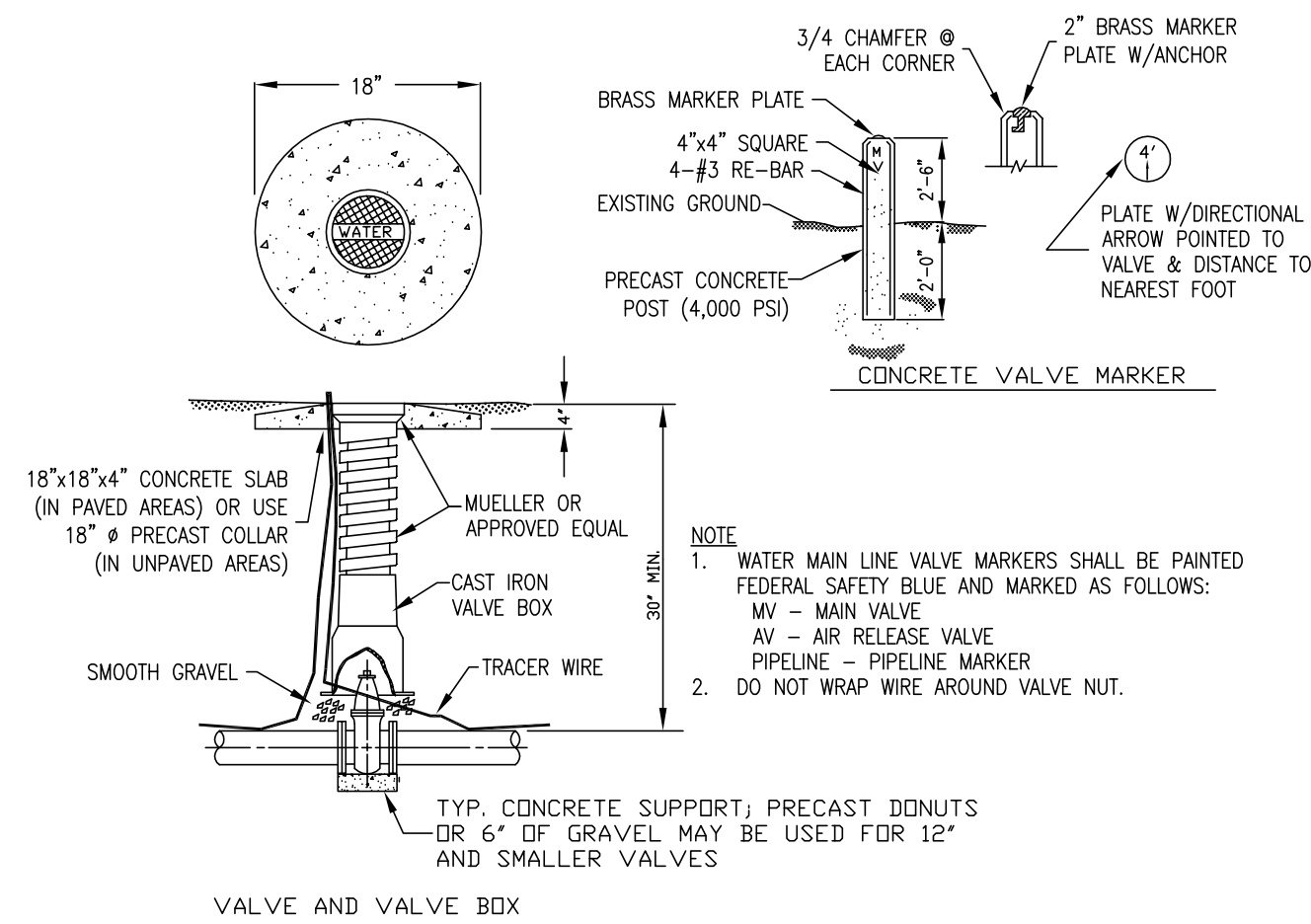
NOTES:
 1. WATER MAIN VALVE MARKERS SHALL BE PAINTED BLUE AND MARKED AS FOLLOWS:
 MV - MAIN VALVE
 AV - AIR RELEASE VALVE
 2. DO NOT WRAP WIRE AROUND VALVE NUT

VALVE AND VALVE BOX

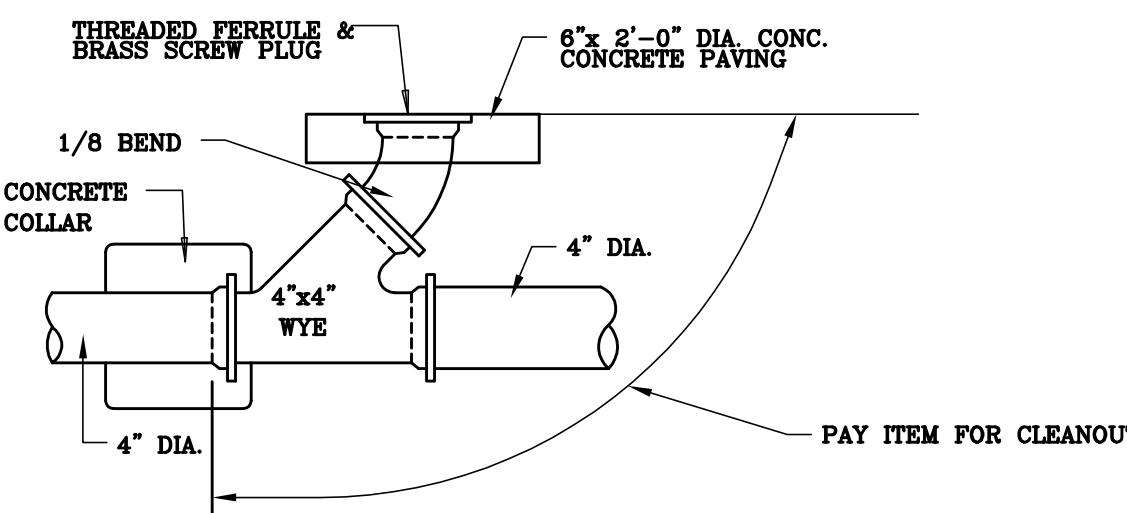
WATER VALVE 4" OR 6"
 City of Port Wentworth
 TECHNICAL DETAILS

W-36

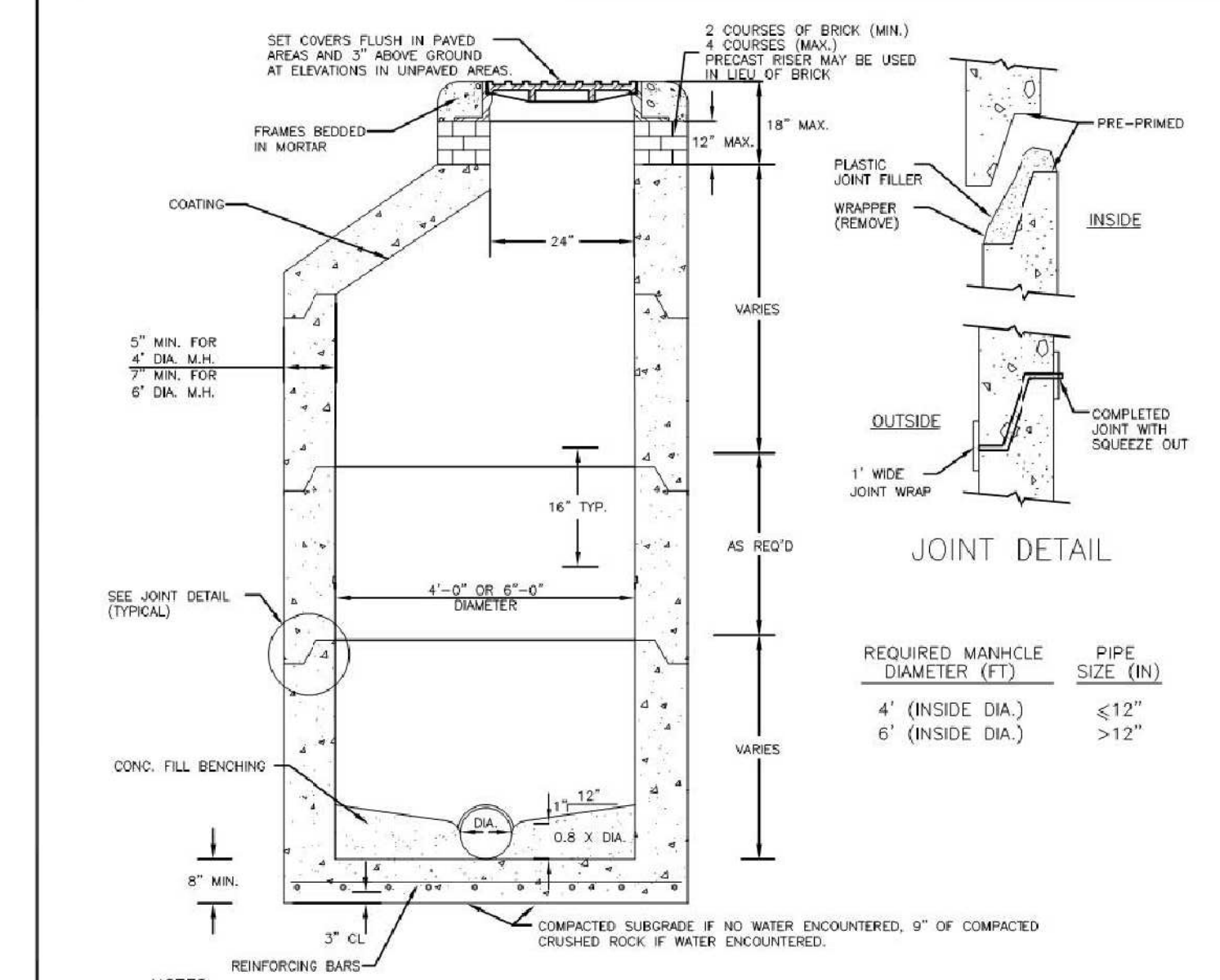
SCALE: N.T.S.
 DATED: FEBRUARY 2007



VALVE DETAIL
 N.T.S.



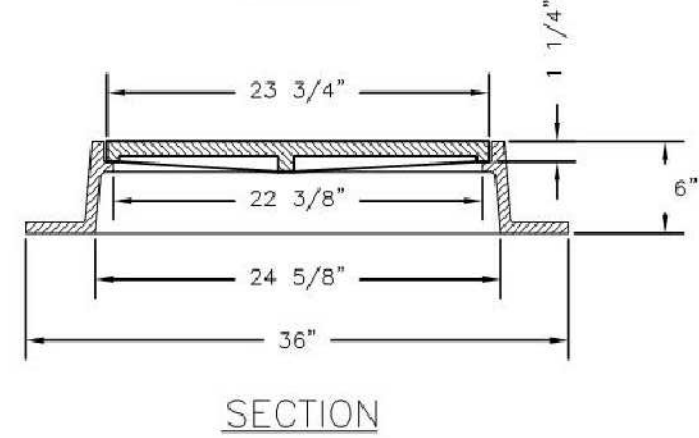
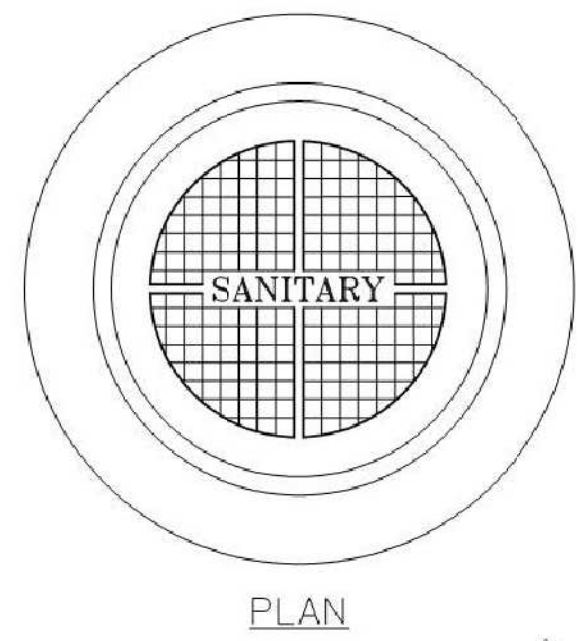
BRASS TOP CLEANOUT
 N.T.S.



PRECAST CONCRETE MANHOLE
 City of Port Wentworth
 TECHNICAL DETAILS

S-1

SCALE: N.T.S.
 DATED: FEBRUARY 2007

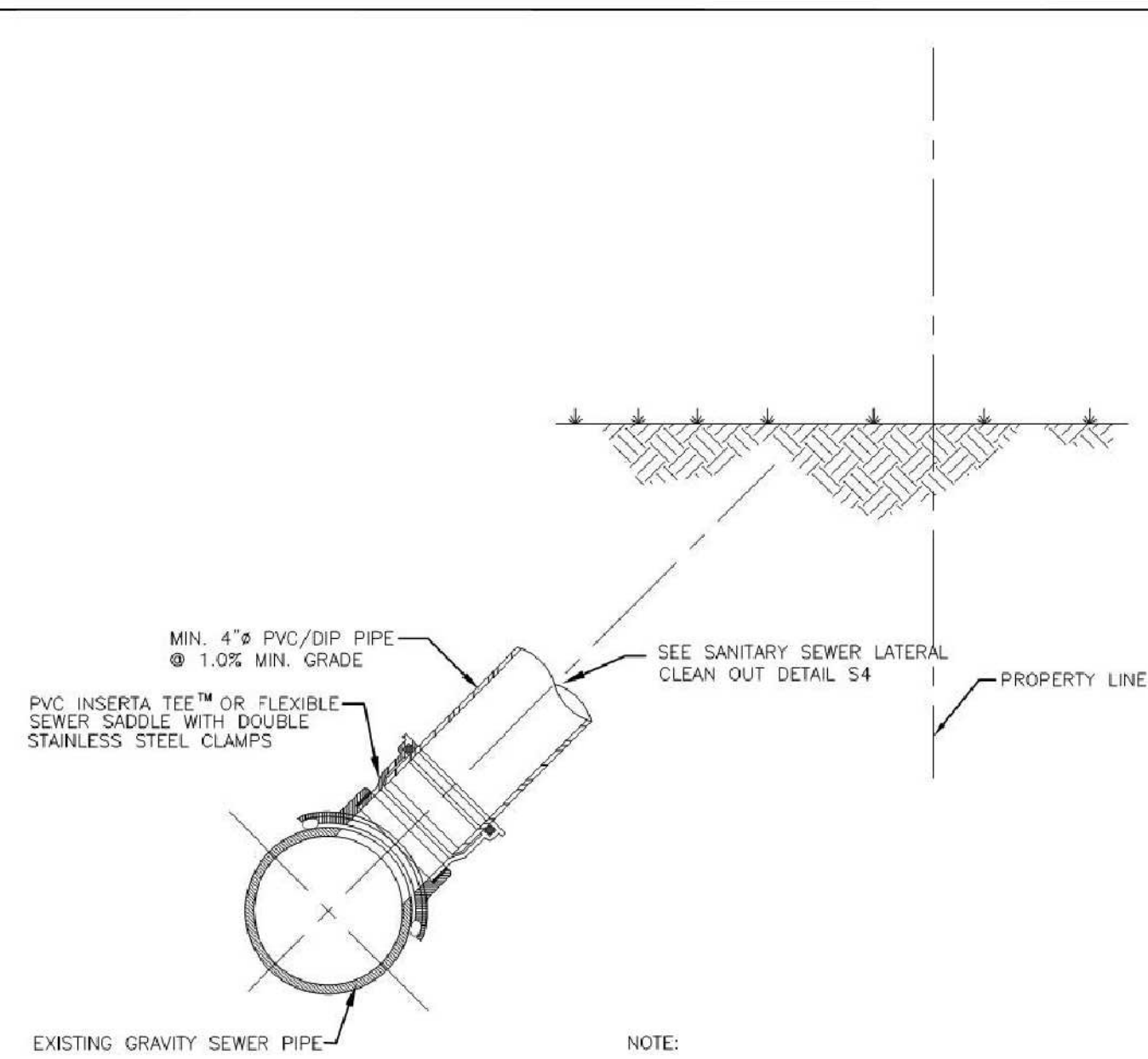


NOTE:
 MANHOLE RING & COVER SHALL BE HEAVY DUTY RATED EQUAL TO U. S. FOUNDRY CO. USF 195-ORS. TOTAL WEIGHT 325# TYPE "C" LID TO HAVE MACHINED BEARING SURFACES. LID TO BE LETTERED 2 1/2" - 3" LETTER HEIGHT "SANITARY" (NON VENTED). MANHOLE RING SHALL INCLUDE A WATER TIGHT GASKET. STACKING CLEARANCE ON THE BOTTOM OF THE COVER SHALL NOT BE ALLOWED.

MANHOLE RING & COVER
 City of Port Wentworth
 TECHNICAL DETAILS

S-2

SCALE: N.T.S.
 DATED: FEBRUARY 2007

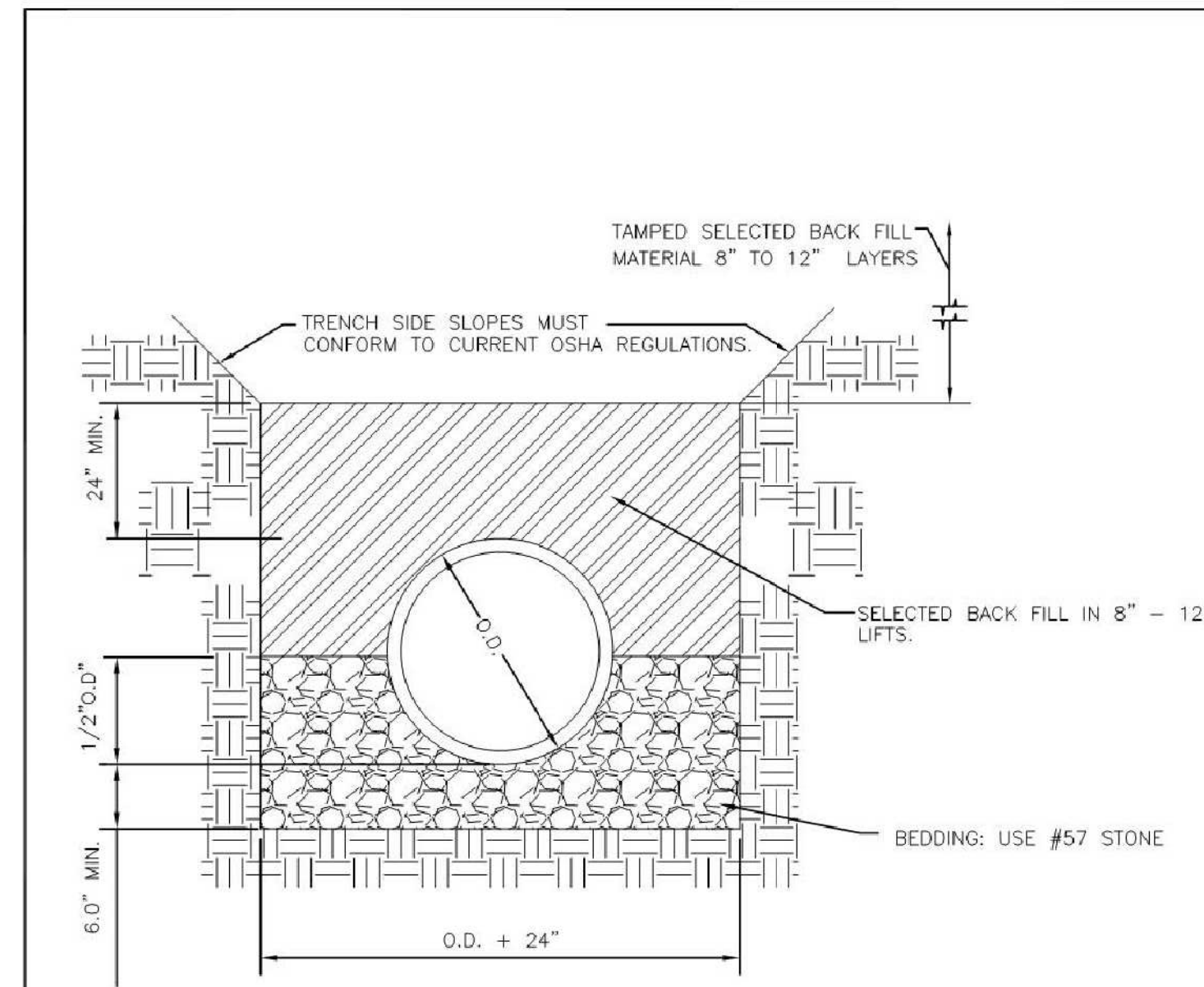


NOTE:
 CONTRACTOR SHALL NOTIFY CITY OF PORT WENTWORTH WASTEWATER CONVEYANCE DEPARTMENT 24 HOURS PRIOR TO CONNECTION TO EXISTING GRAVITY SEWER PIPE. ALL CONNECTIONS TO THE EXISTING GRAVITY SEWER PIPE MUST BE INSPECTED BY THE CONVEYANCE DEPARTMENT PRIOR TO BACK FILLING.

SEWER SERVICE CONNECT TO EXT. P.PE
 City of Port Wentworth
 TECHNICAL DETAILS

S-5

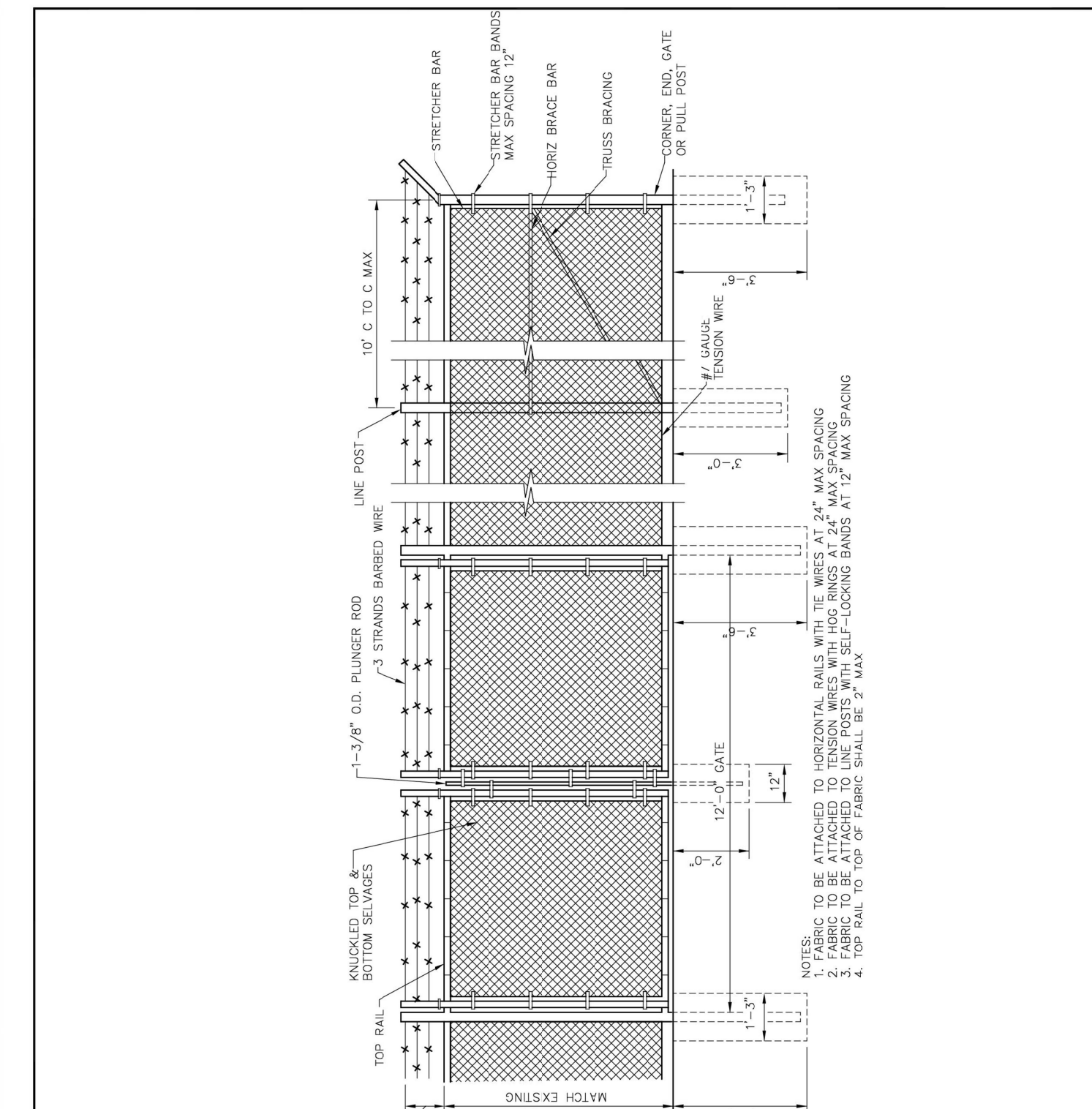
SCALE: N.T.S.
 DATED: FEBRUARY 2007



PIPE BEDDING
 City of Port Wentworth
 TECHNICAL DETAILS

S-8

SCALE: N.T.S.
 DATED: FEBRUARY 2007



CHAIN LINK FENCE & GATE
 City of Port Wentworth
 TECHNICAL DETAILS

S-13

SCALE: N.T.S.
 DATED: FEBRUARY 2007

7.C.b

HUSSEY GAY BELL

Established 1958

329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:

GENERAL REVISIONS 05/21/2018

GENERAL REVISIONS 06/05/2018

DESIGNED H.F.R.

DRAWN J.J.M.

CHECKED C.J.C.

DATE: 05/02/2018

JOB NO. 117297502

SCALE: N.T.S.

WOOD MEADOW APARTMENTS

COLD BROOK STATION CIRCLE
 PORT WENTWORTH, GEORGIA

FOR
 CRN DEVELOPMENT, LLC

CONSTRUCTION DETAILS

DRAWING NUMBER

12

OF 26

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

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SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

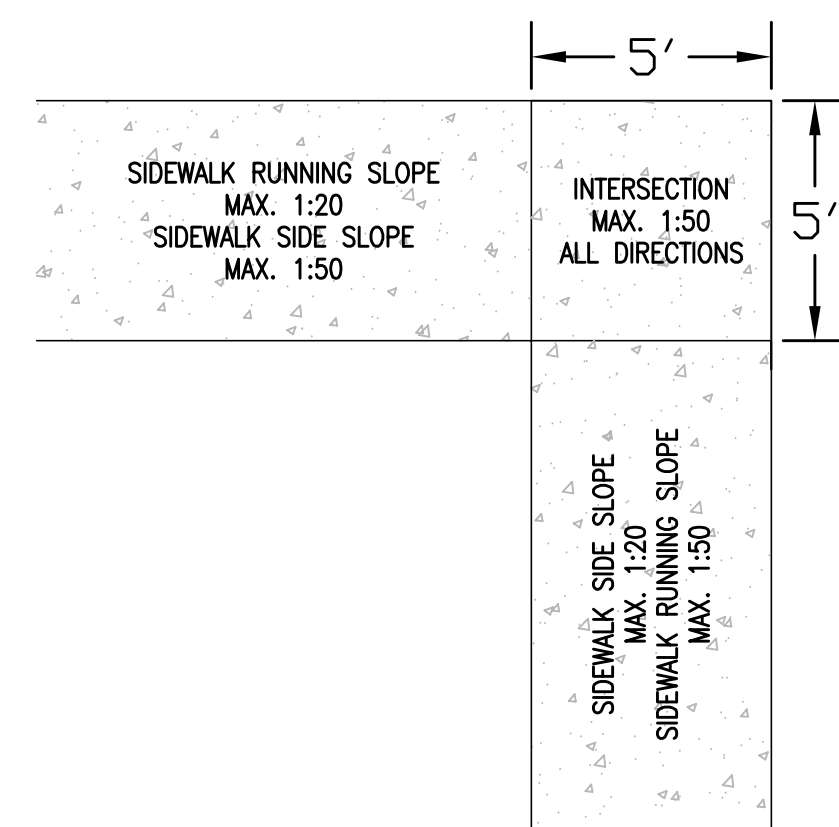
SCALE: N.T.S.
 DATED: FEBRUARY 2007

PREPARED BY SAUSSY ENGINEERING, LLC.

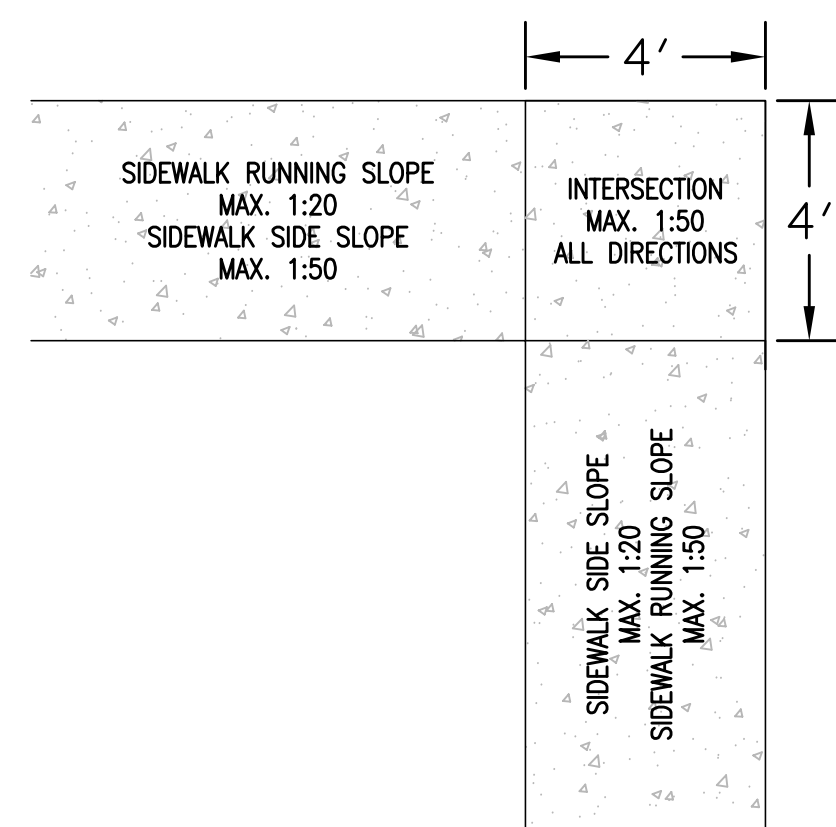
SCALE: N.T.S.
 DATED: FEBRUARY 2007

Attachment: Wood Meadow Apartments Specific Site Plan 3rd revision JUNE 2018 (1916 - Site Plan Review Application Wood Meadow Apartments JUNE 2018)

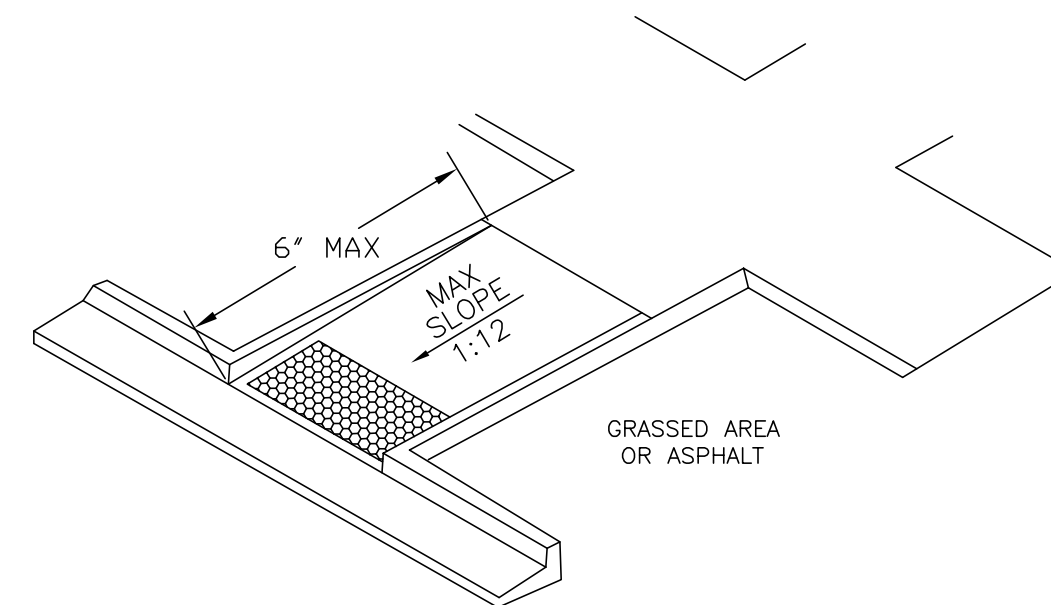
Packet Pg. 55



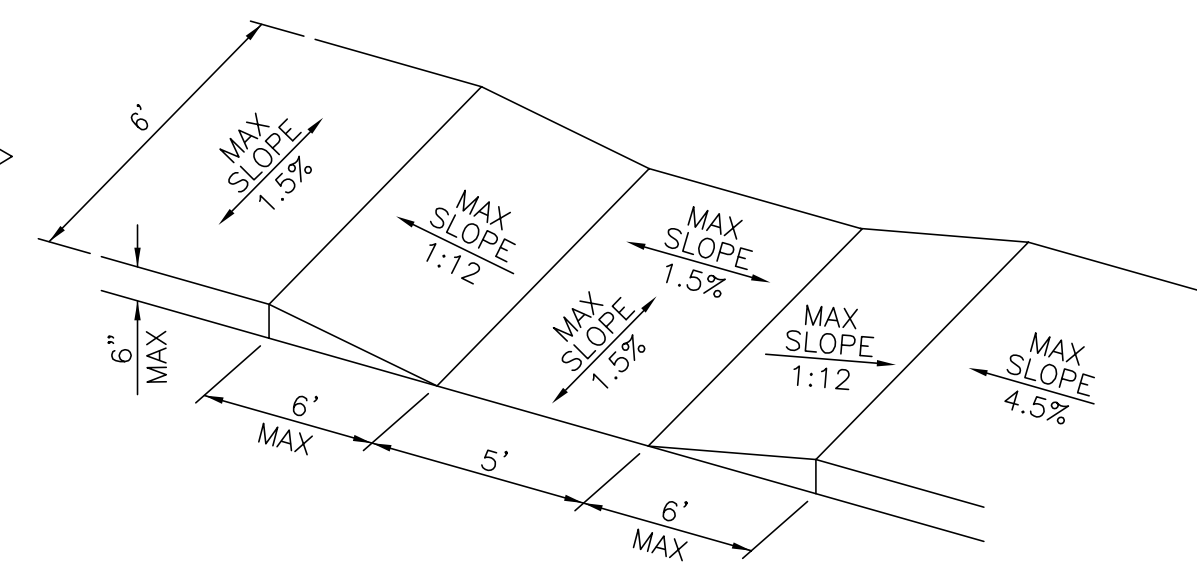
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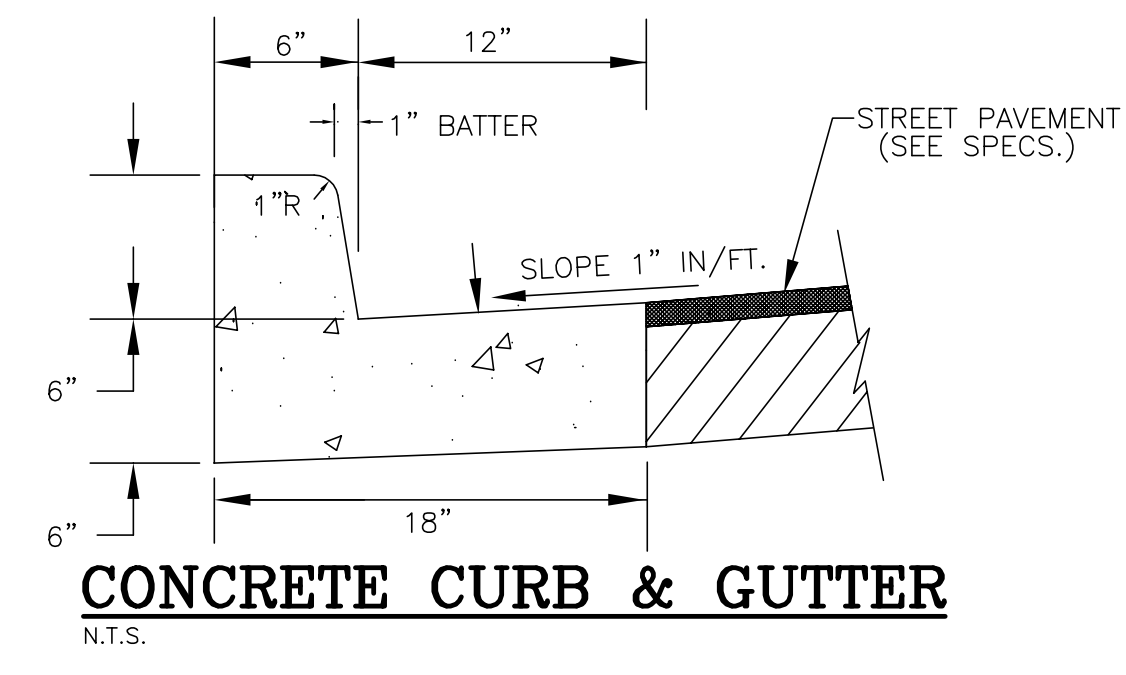
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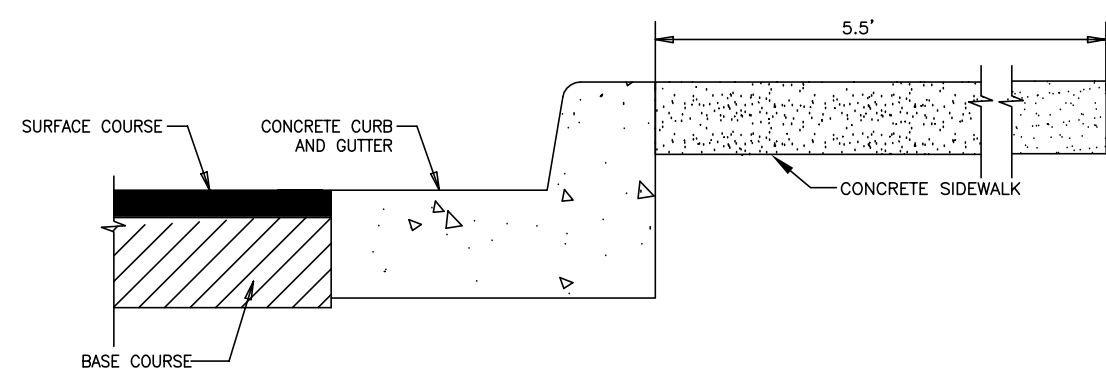
TYPE A SLOPEDOWN SIDEWALK DETAIL
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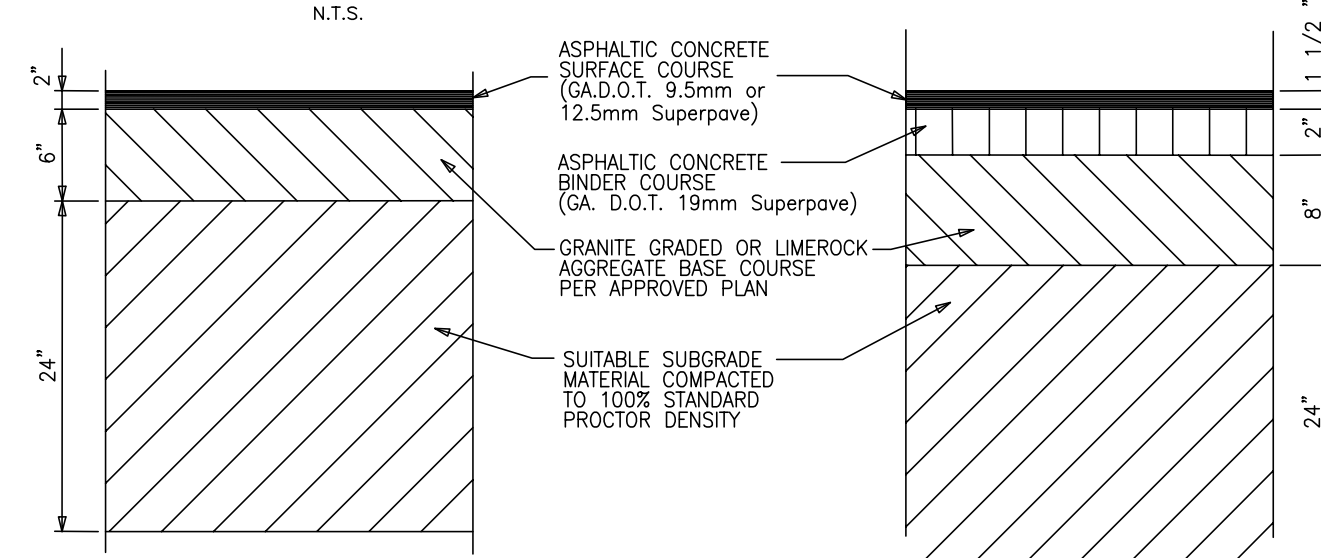
TYPE B HANDICAP RAMP DETAIL
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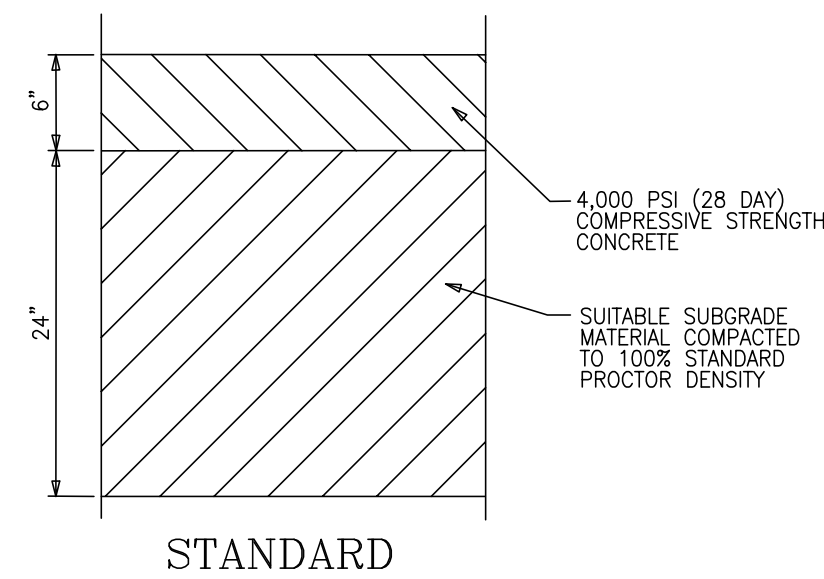
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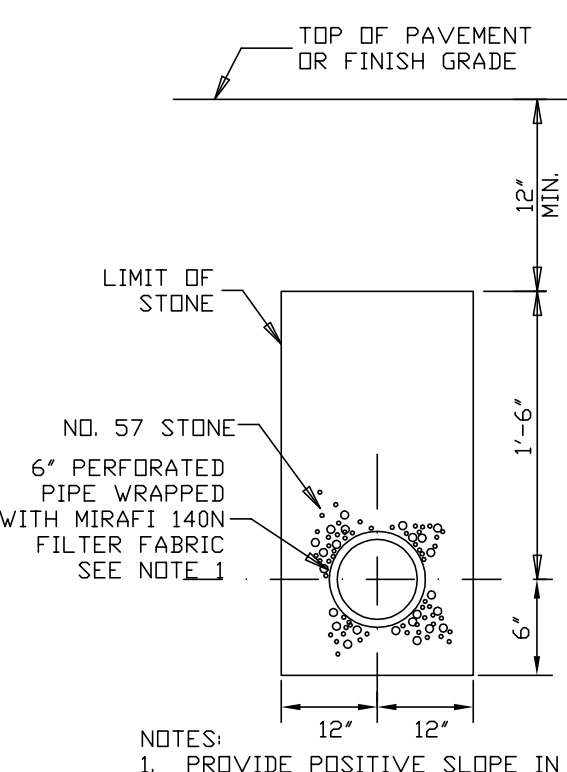
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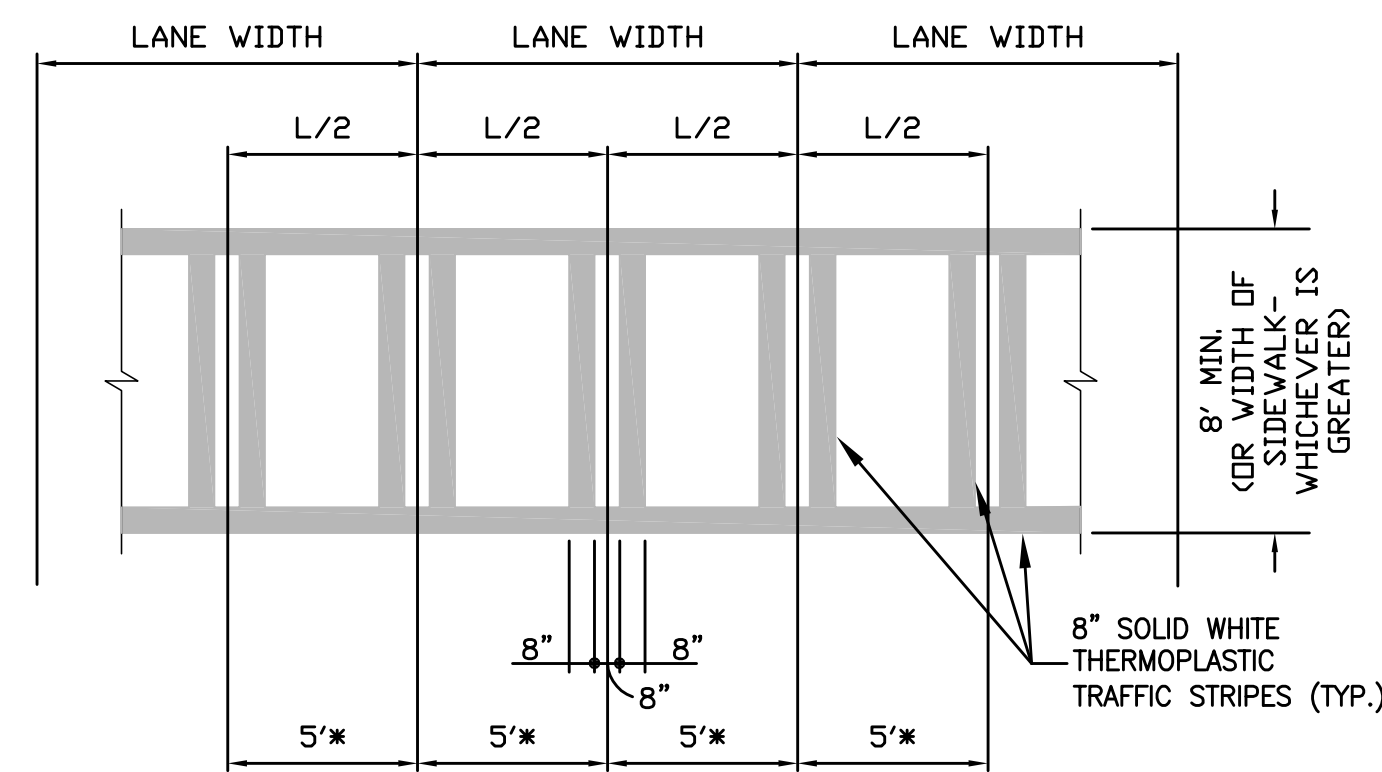
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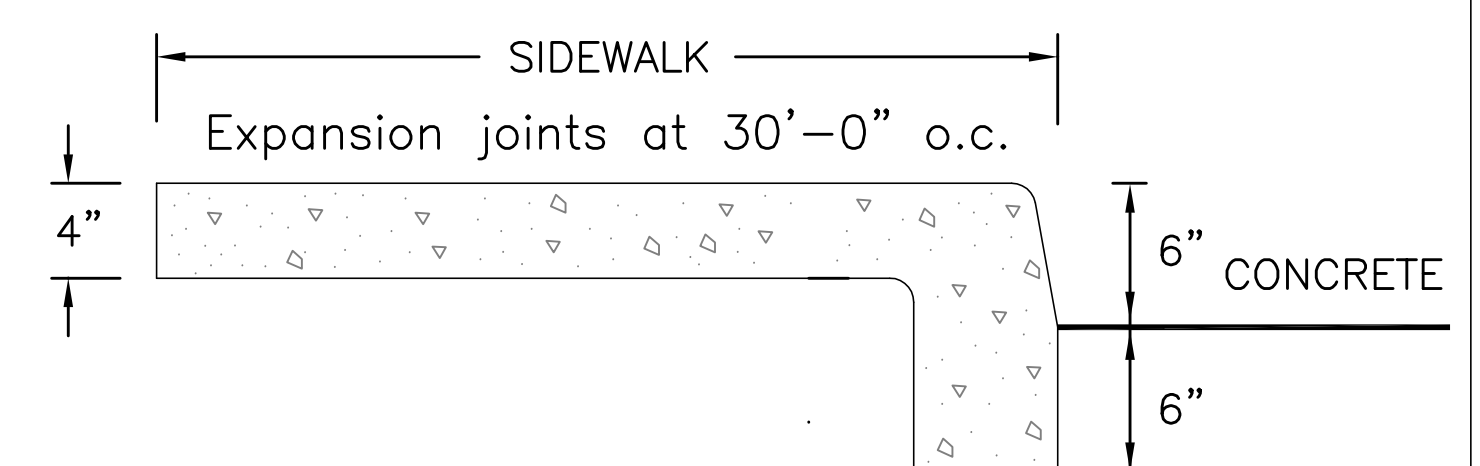
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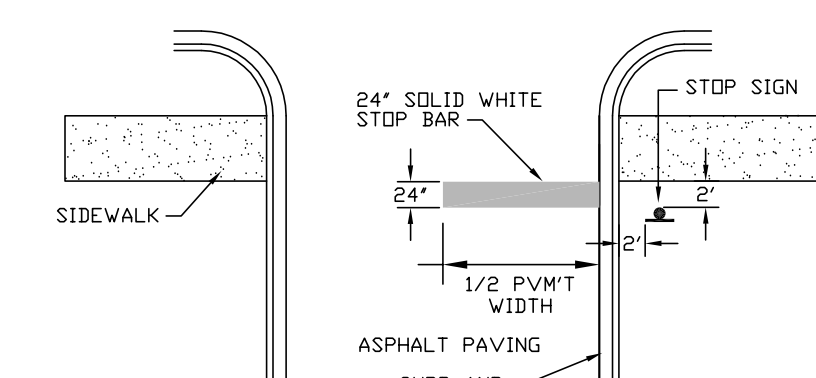
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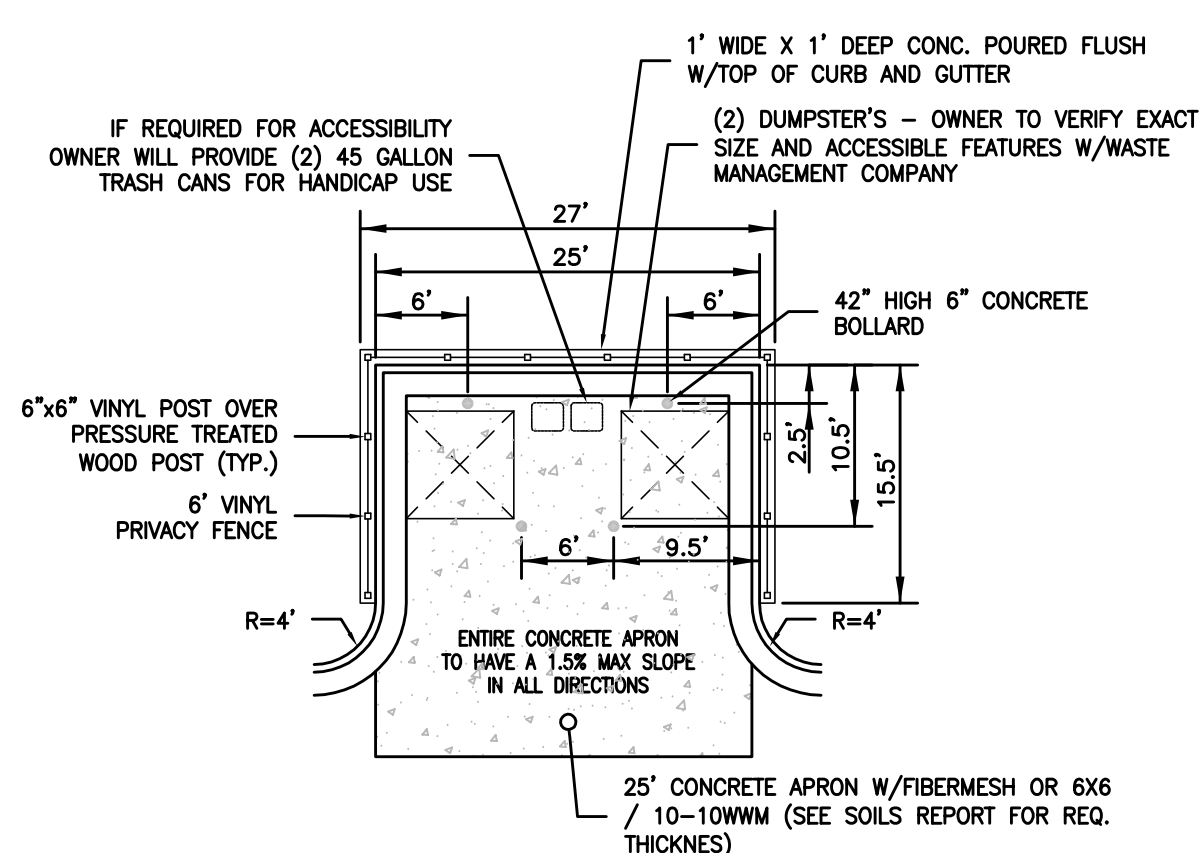
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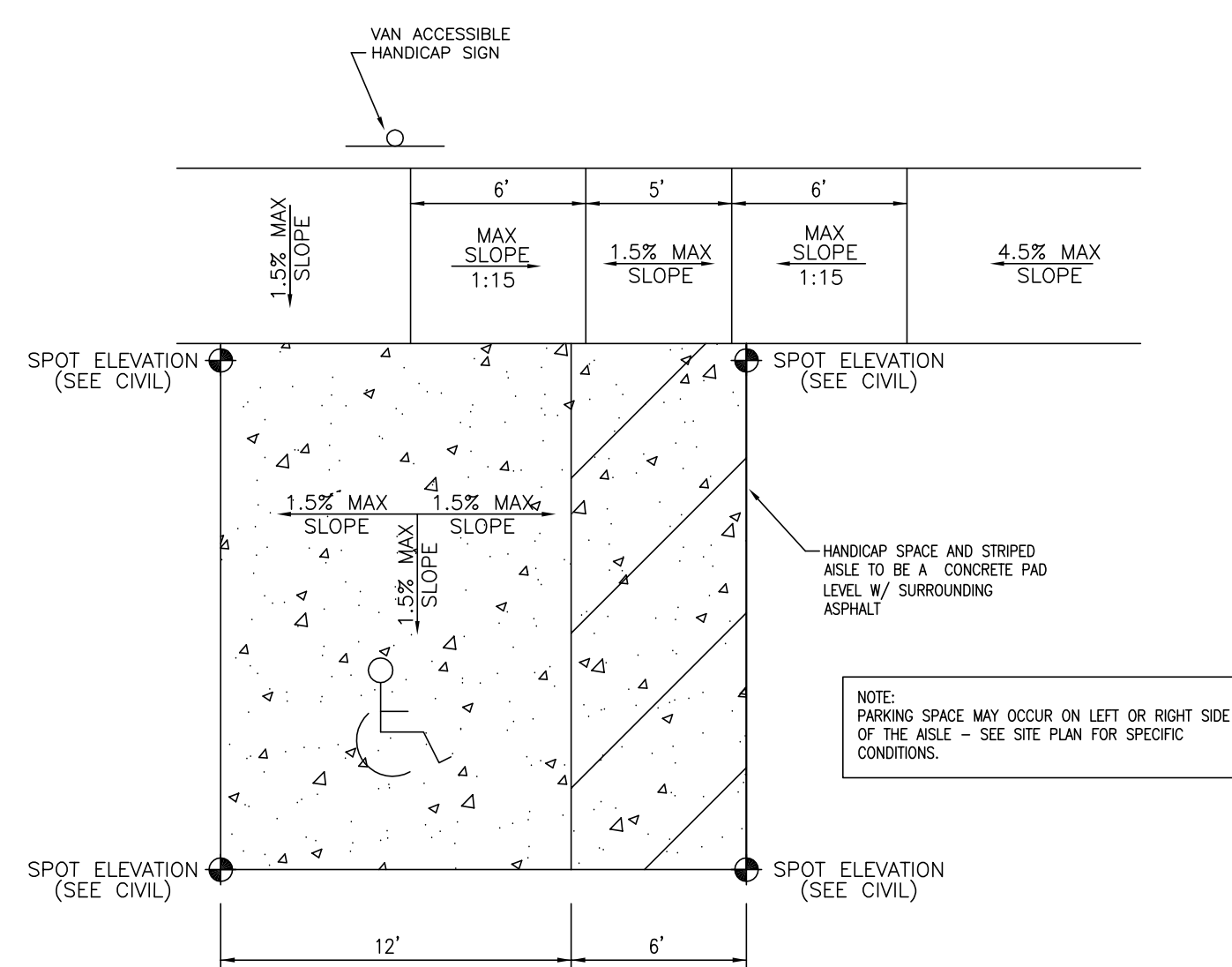
SIDEWALK WITH TURNED DOWN EDGE
N.T.S.



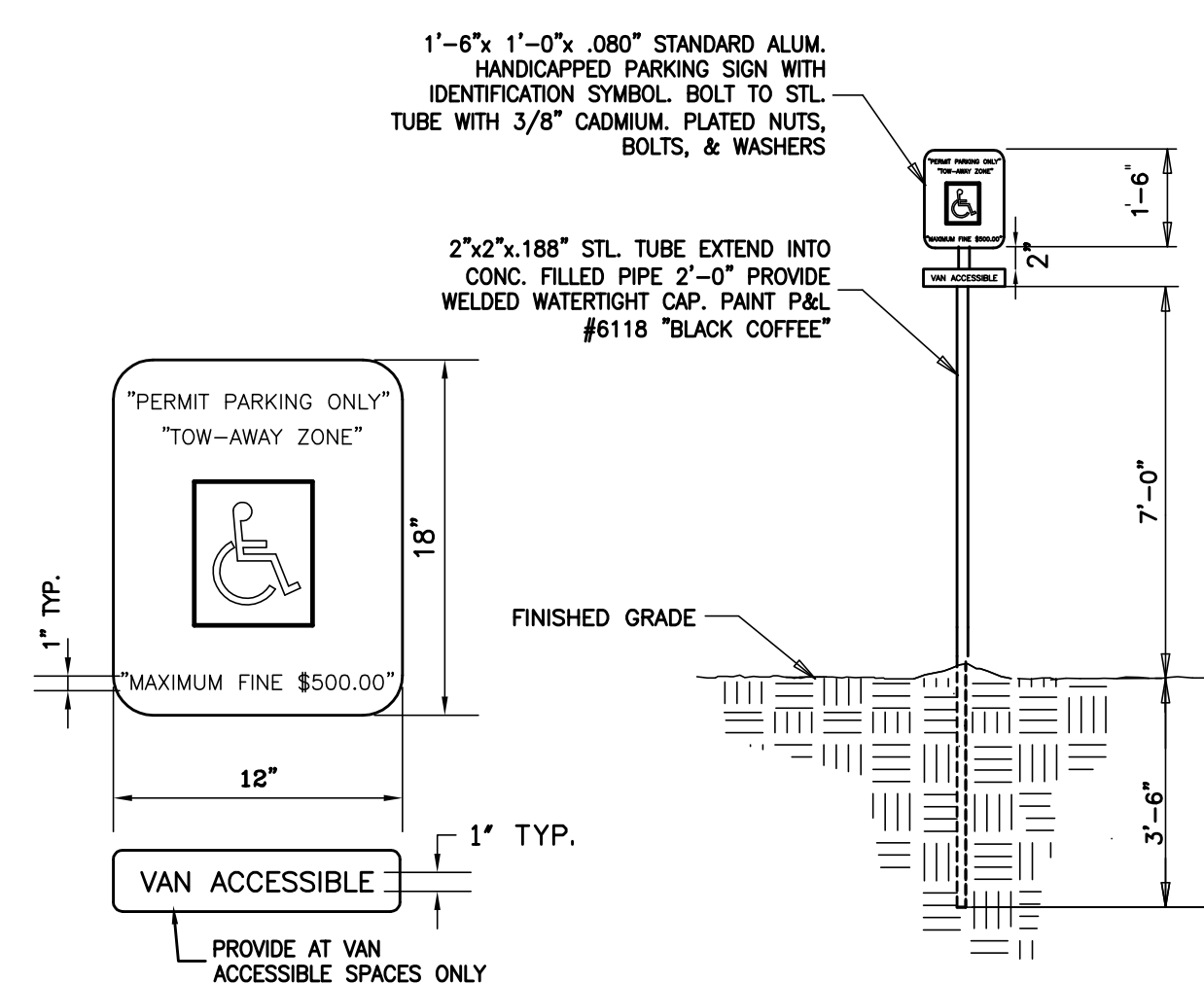
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DOUBLE DUMPSTER PAD DETAIL
N.T.S.



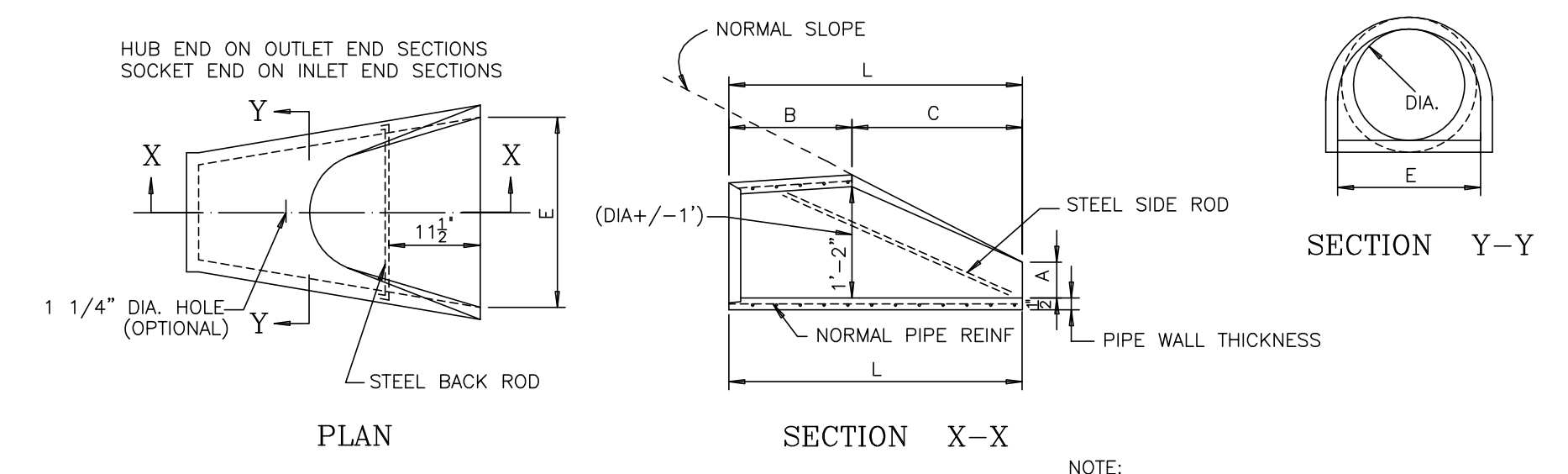
VAN ACCESSIBLE HANDICAP PARKING SPACE DETAIL
N.T.S.



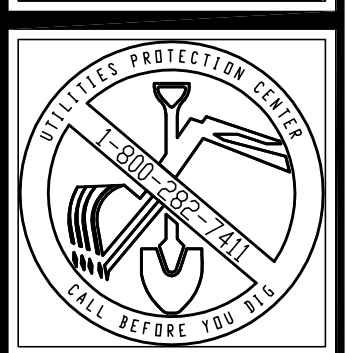
TYPICAL HANDICAPPED PARKING SIGN
N.T.S.

FLARE REINFORCEMENT & DIMENSIONS (+/-1\"/>

PIPE DIA.	SIDE RODS	BACK RODS	FABRIC	SLOPE	A	B	C	L	E
12"	2-3x2'5"	NOT REQ'D	2"x8"8/9	2.2:1	4"	2'0"	4'1"	6'1"	2'0"
15"	2-3x2'11"	NOT REQ'D	2"x8"8/9	2.2:1	6"	2'3"	3'10"	6'1"	2'6"
18"	2-3x3'6"	NOT REQ'D	2"x8"8/9	2.2:1	9"	2'3"	3'10"	6'1"	3'0"
24"	2-3x5'0"	NOT REQ'D	2"x8"8/9	2.4:1	10"	3'8"	2'6"	6'2"	4'0"
30"	2-4x6'2"	NOT REQ'D	2"x8"8/9	2.4:1	12"	4'6"	1'8"	6'2"	5'0"
36"	2-4x7'5"	NOT REQ'D	2"x8"8/9	2.4:1	15"	5'3"	2'11"	8'2"	6'0"
42"	2-4x8'7"	NOT REQ'D	2"x8"8/9	2.4:1	21"	5'3"	2'11"	8'2"	6'6"



FLARED END SECTION DETAIL
N.T.S.



HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:
DESIGNED: H.F.R.
DRAWN: J.J.M.
CHECKED: C.J.C.
DATE: 05/02/2018
JOB NO. 117297502
SCALE: N.T.S.

WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC
CONSTRUCTION DETAILS

DRAWING NUMBER
13
OF 26
Packet Pg. 56



HUSSEY GAY BELL

Established 1958

329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:
GENERAL REVISIONS 05/21/2018
GENERAL REVISIONS 06/05/2018

DESIGNED	DRAWN	CHECKED
H.F.R.	J.J.M.	C.J.C.

DATE: 05/02/2018

JOB NO. 117297502

SCALE: 1" = 30'

WOOD MEADOW APARTMENTS

COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA

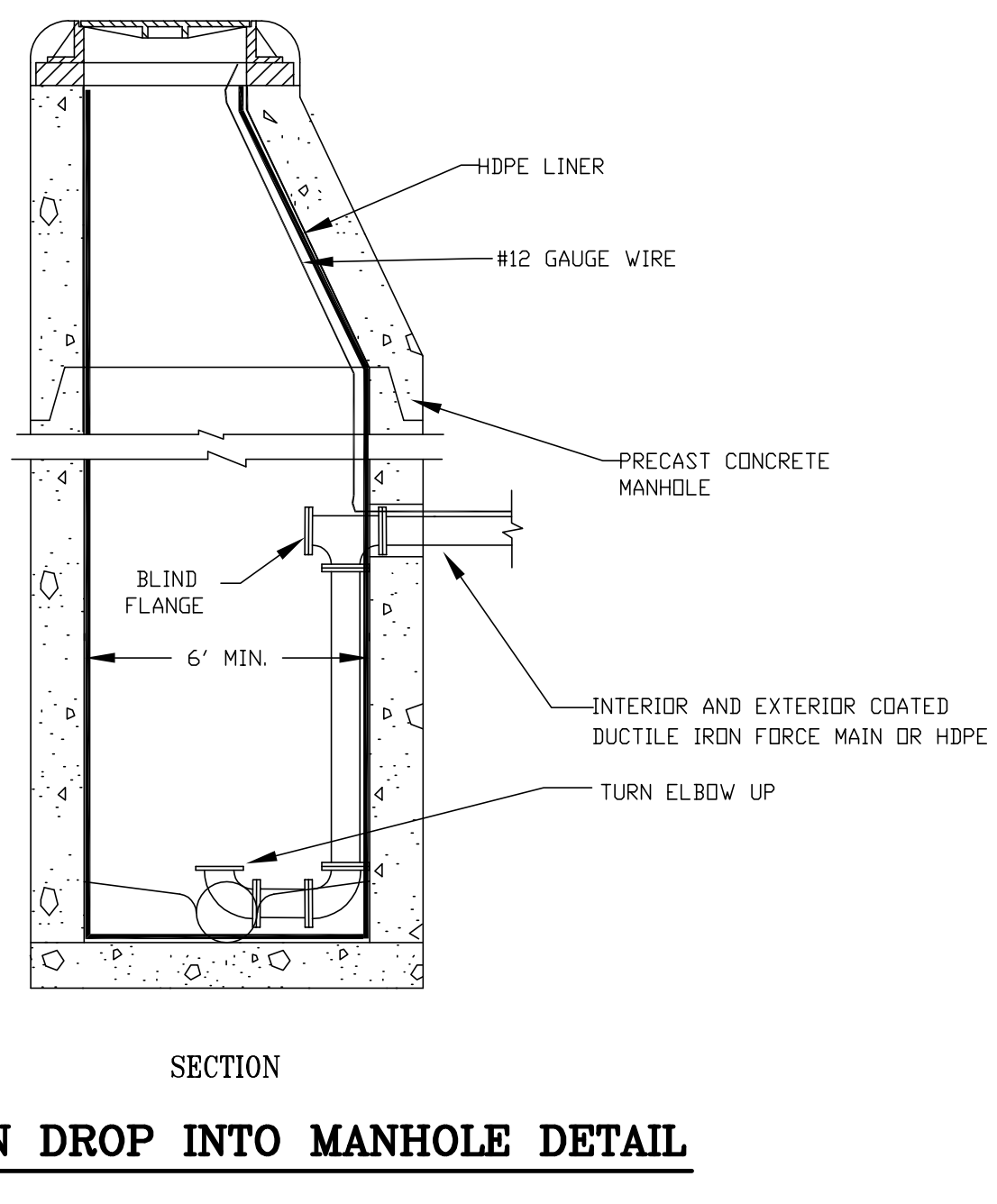
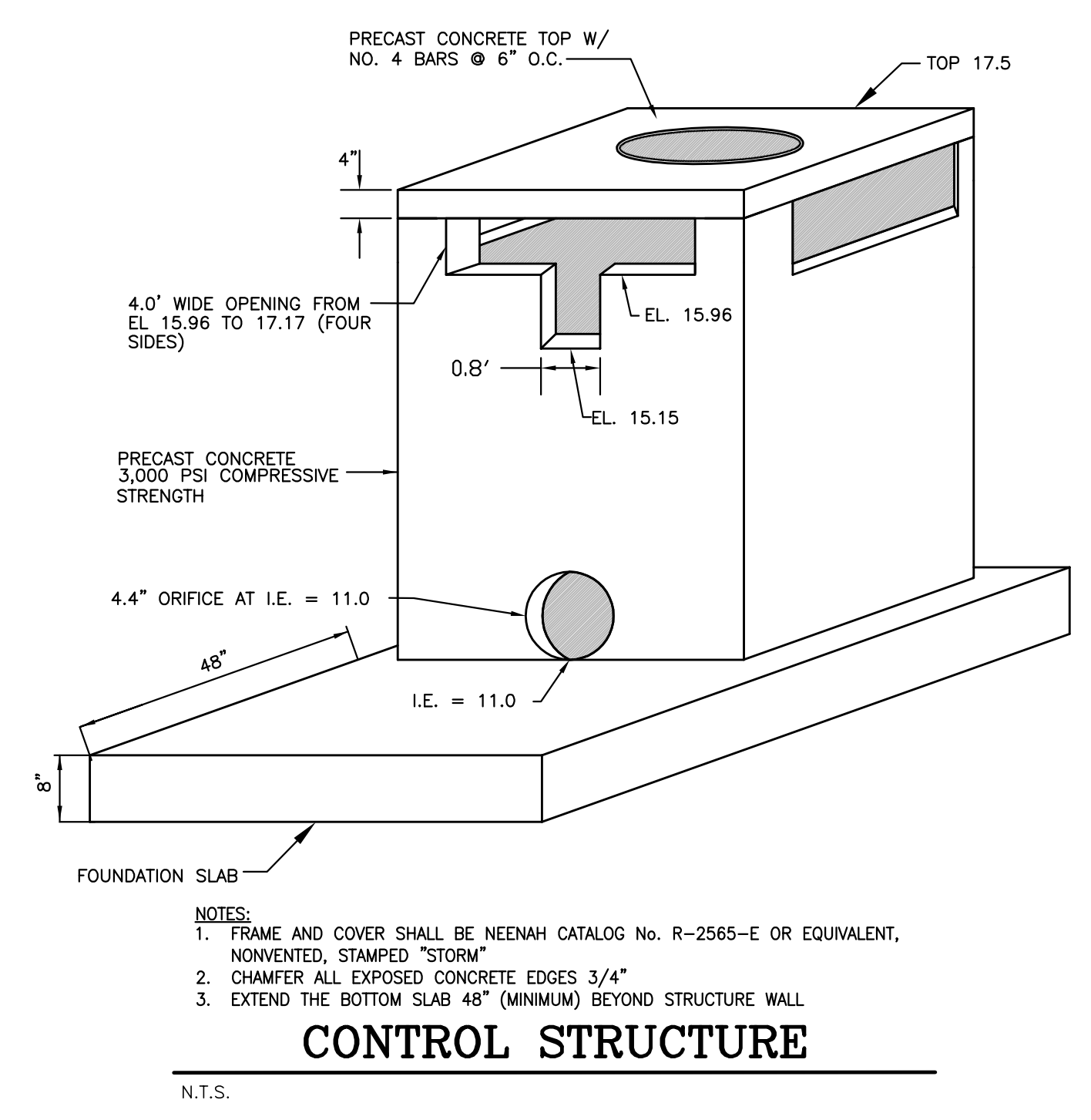
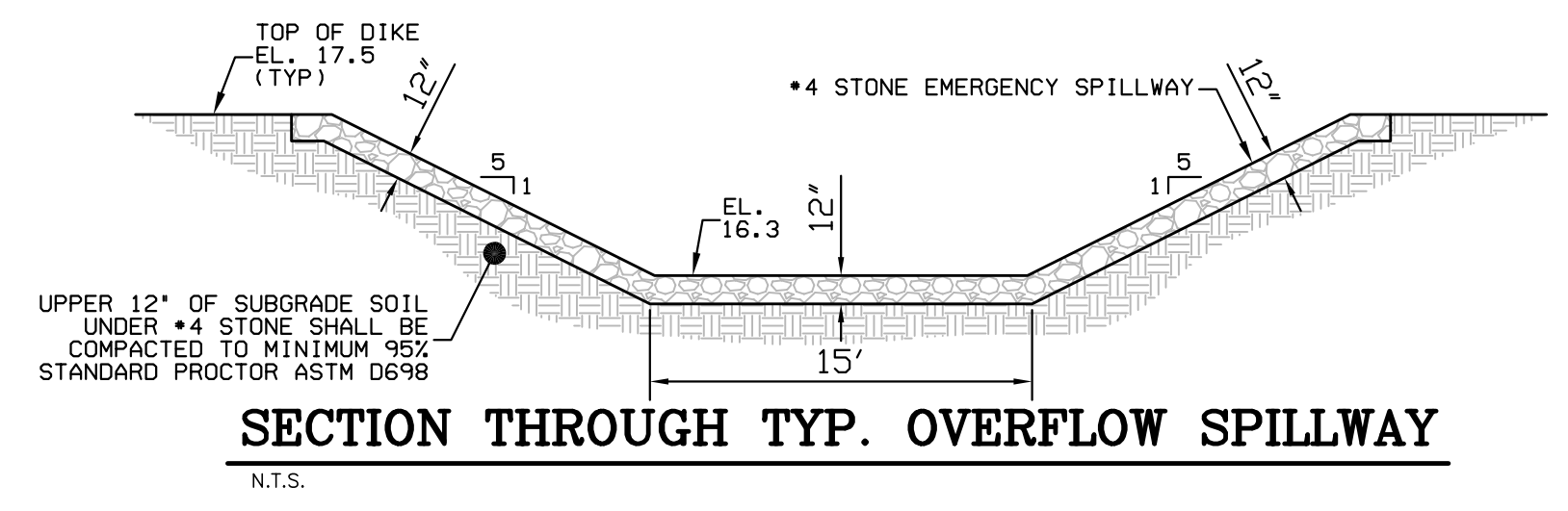
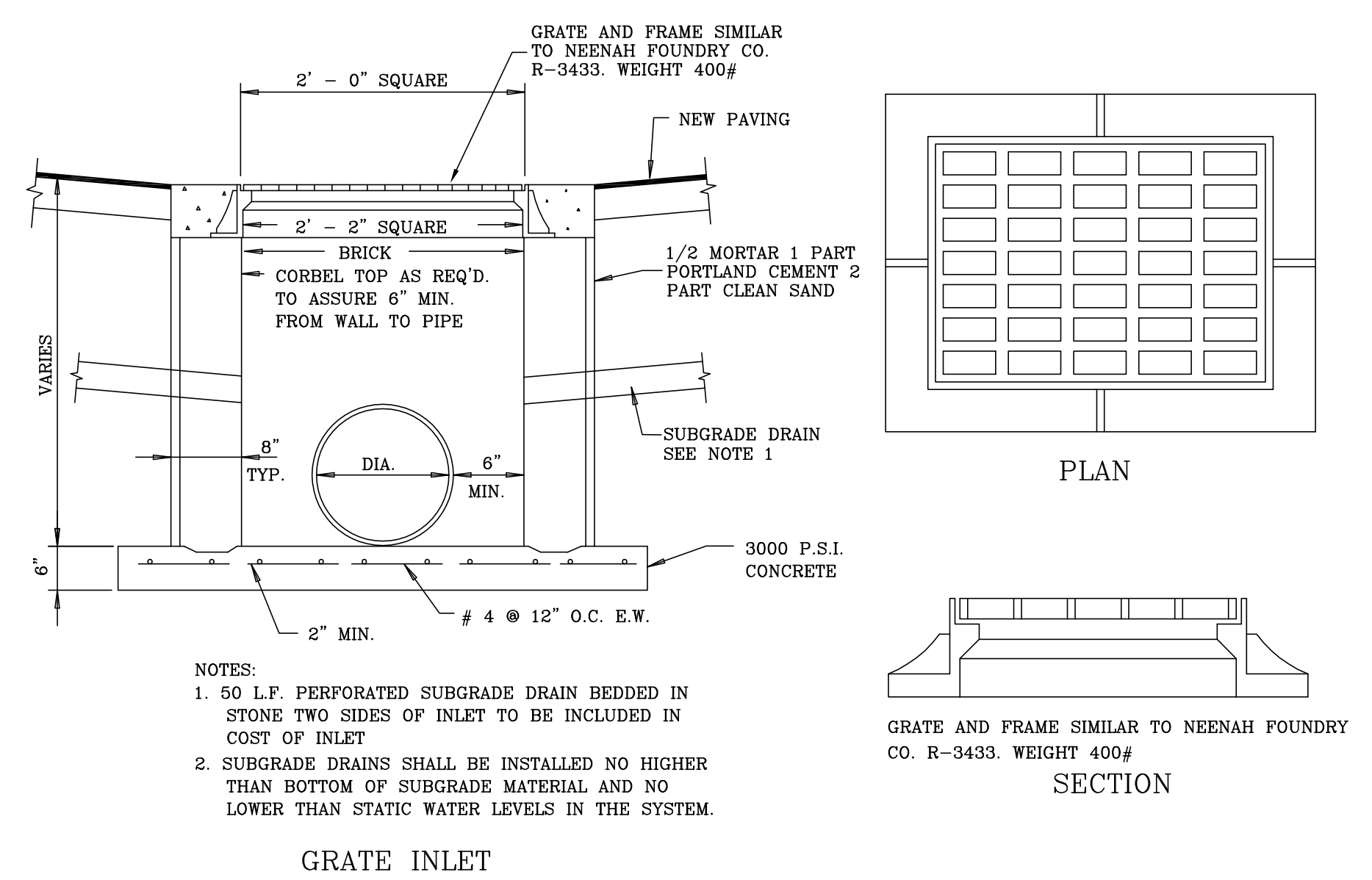
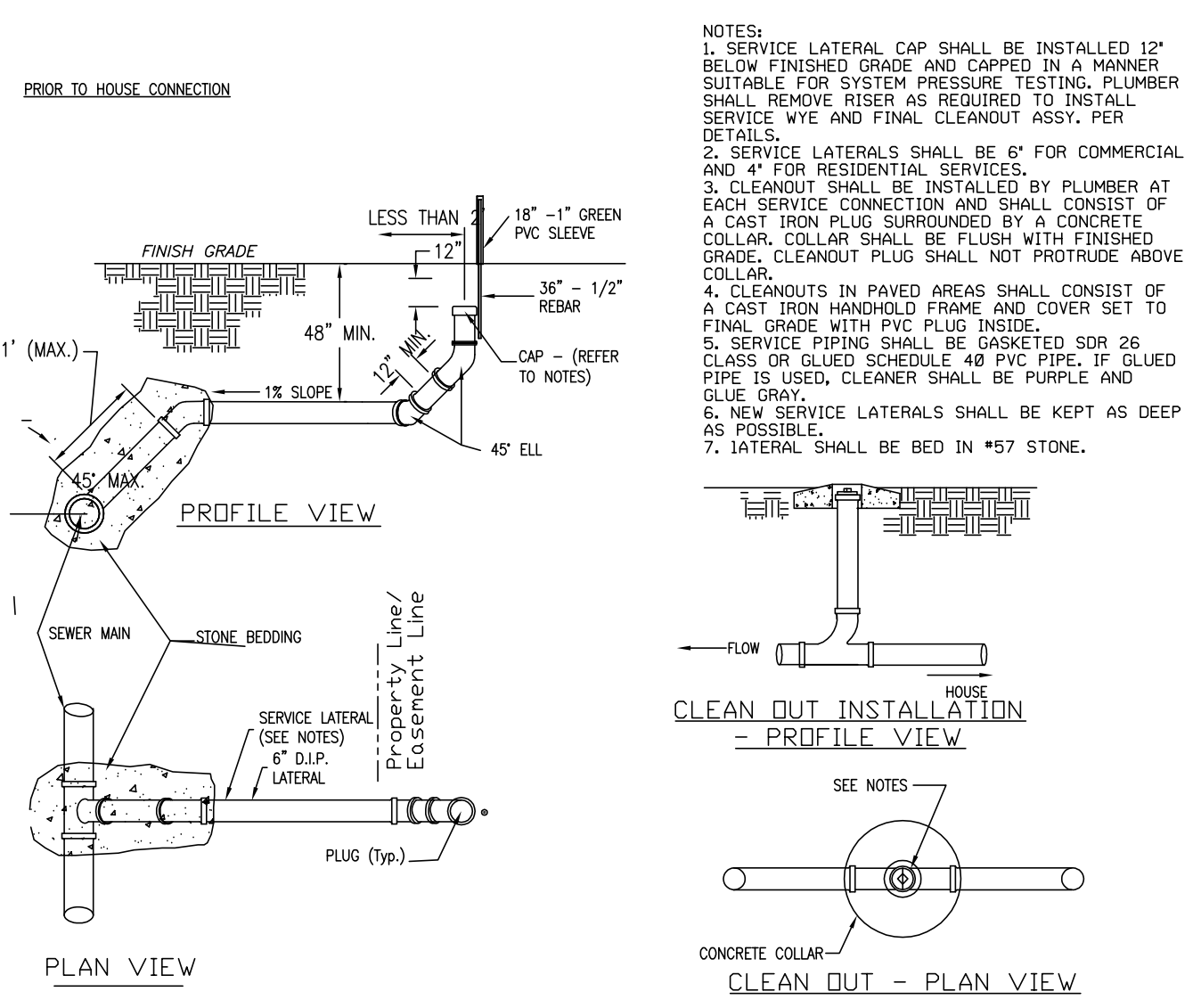
FOR
CRN DEVELOPMENT, LLC

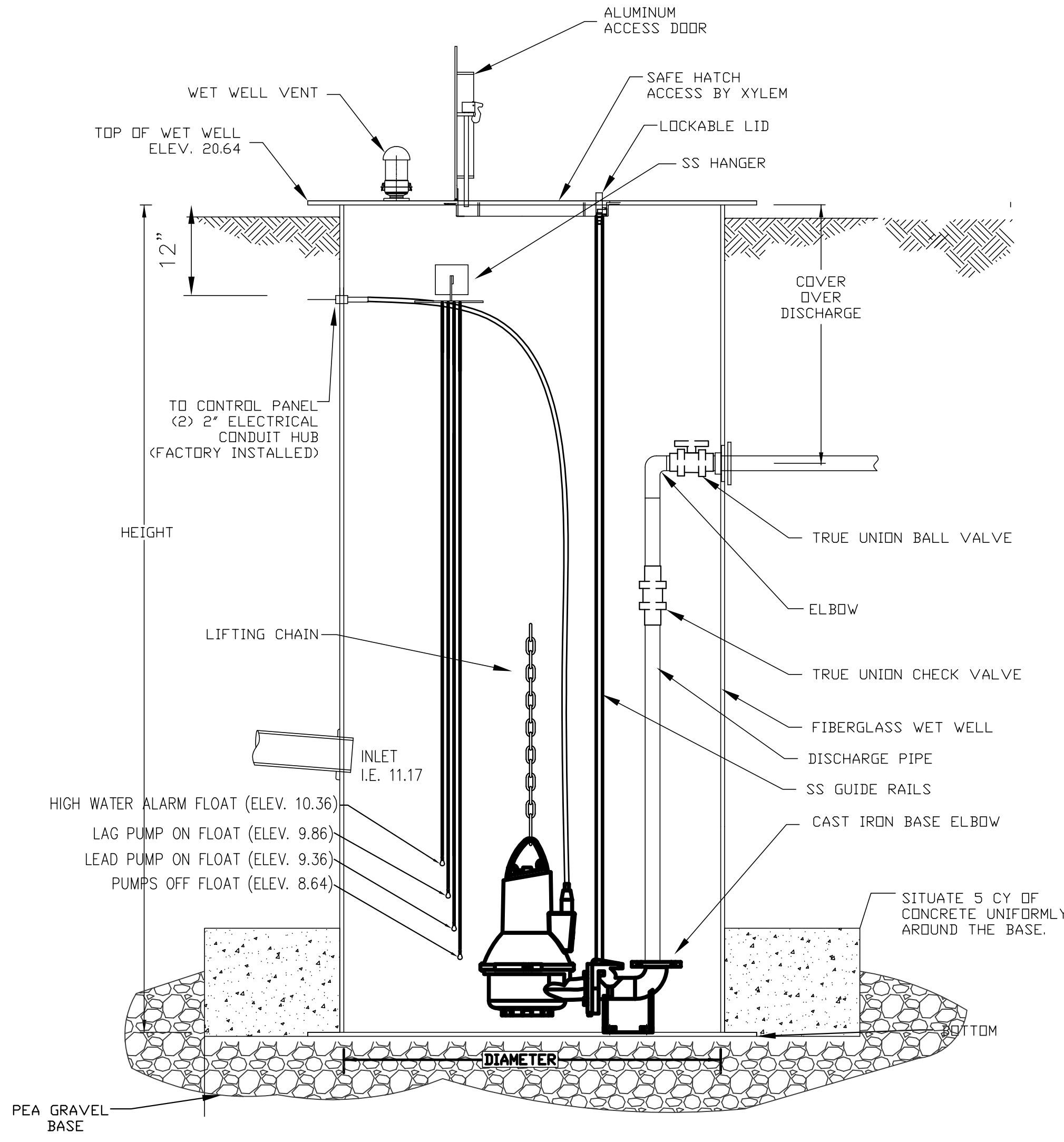
CONSTRUCTION DETAILS

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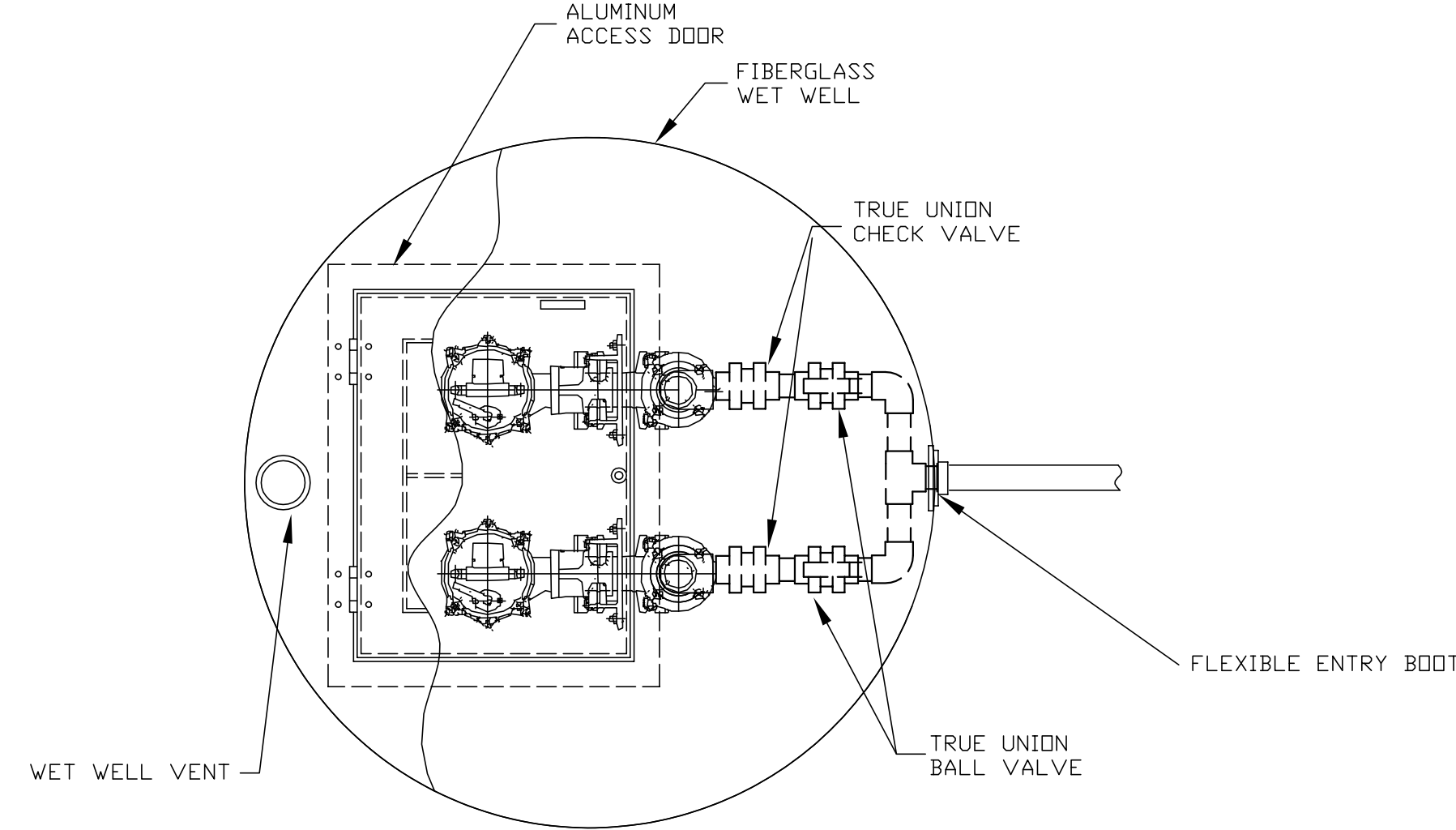
OF 28





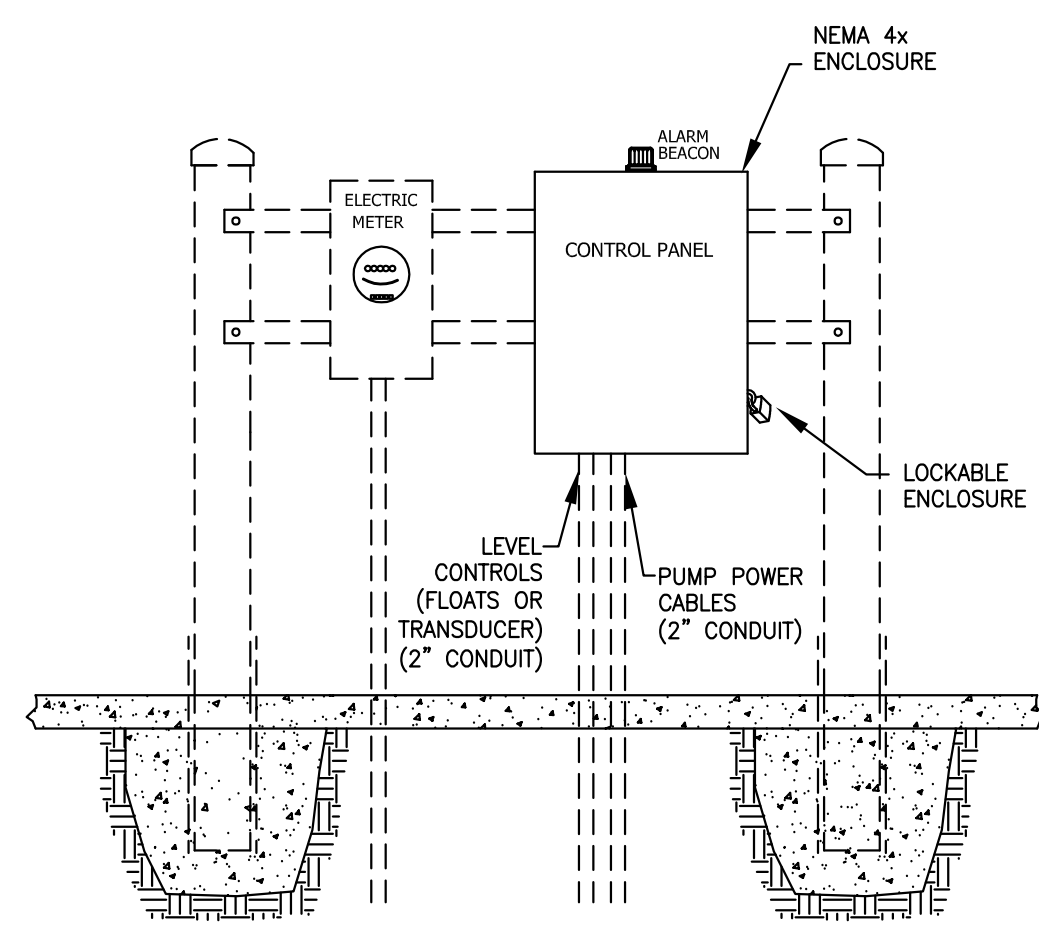
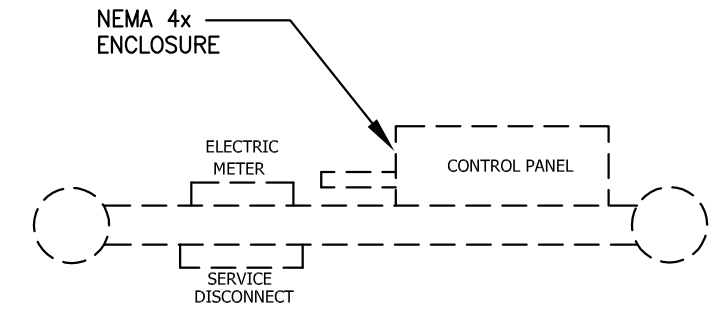
LIFT STATION SECTION VIEW

*NOTE VIEWS EXAGGERATED FOR DETAIL
N.T.S.

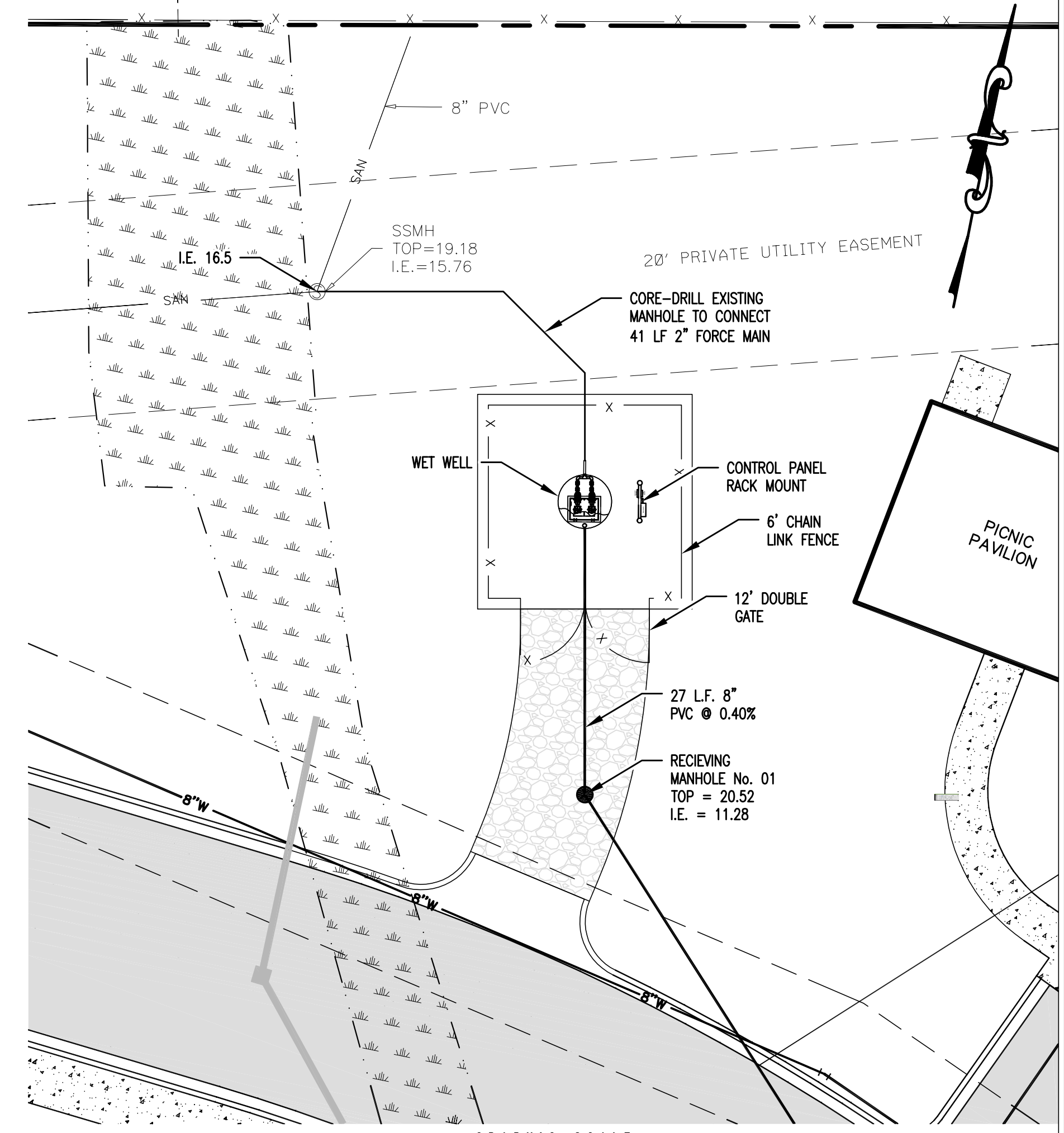


LIFT STATION PLAN VIEW

NOTE:
1. THE ACCESS HATCH SHALL BE A SAFE HATCH ACCESS BY XYLEM.



CONTROL PANEL RACK MOUNT



GRAPHIC SCALE
SCALE: 1"=10'

LIFT STATION SCHEDULE

LETTER	DESCRIPTION	ELEVATION / SIZE
A	TOP OF WET WELL	20.64 FEET
B	INLET INVERT	11.17 FEET
C	HIGH WATER ALARM	10.36 FEET
D	LAG PUMP ON	9.86 FEET
E	LEAD PUMP ON	9.36 FEET
F	BOTH PUMPS OFF	8.64 FEET
G	BOTTOM	7.14 FEET
H	INLET PIPE SIZE	<input checked="" type="checkbox"/> 4" <input type="checkbox"/> 6" <input type="checkbox"/> 8" <input type="checkbox"/> OTHER
I	INLET PIPE TYPE	<input checked="" type="checkbox"/> SCH-40 <input type="checkbox"/> SDR-35
J	INLET TYPE	<input checked="" type="checkbox"/> GROMMET <input type="checkbox"/> CAULKING HUB <input type="checkbox"/> OTHER

LIFT STATION SIZE CHART

DIAMETER (A)	HEIGHT (B)	COVER OVER DISCHARGE (C)
<input type="checkbox"/> 36"	<input type="checkbox"/> 96"	<input type="checkbox"/> 12"
<input type="checkbox"/> 48"	<input type="checkbox"/> 102"	<input type="checkbox"/> 18"
<input checked="" type="checkbox"/> 60"	<input type="checkbox"/> 108"	<input type="checkbox"/> 24"
<input type="checkbox"/> 72"	<input type="checkbox"/> 114"	<input type="checkbox"/> 30"
<input type="checkbox"/> OTHER	<input type="checkbox"/> 120"	<input checked="" type="checkbox"/> 36"
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	<input type="checkbox"/> 132"	<input type="checkbox"/> OTHER
	<input type="checkbox"/> 138"	
	<input type="checkbox"/> 144"	
	<input checked="" type="checkbox"/> OTHER	162"

GRUNDFOS SEG.A15.20.R2.2.1.603 PUMP

DUTY POINT: 52.46 GPM @ 19.85' TDH

RPM: 3490

PHASE: 1

VOLTAGE: 208-230 V

HP: 2

DUPLEX CONTROL PANEL:
CONTROL PANEL SHALL BE ASSEMBLED AND BUILT BY A UL508A CERTIFIED MANUFACTURE FACILITY.

THE ENCLOSURE SHALL BE NEMA 4X FIBERGLASS WITH PADLOCKABLE DRAW LATCHES.

THE ENCLOSURE SHALL BE ABLE TO BE WALL MOUNTED.

THE FOLLOWING COMPONENTS SHALL BE MOUNTED THROUGH THE ENCLOSURE:
• RED ALARM BEACON (LIGHT)
• ALARM HORN
• ALARM SILENCE PUSHBUTTON

THE BACKPANEL SHALL BE FABRICATED FROM 0.125 MARINE ALLOY ALUMINUM. ALL COMPONENTS SHALL BE MOUNTED BY MACHINED STAINLESS STEEL SCREWS.

THE FOLLOWING COMPONENTS SHALL BE MOUNTED TO BACKPANEL:
• MOTOR CONTACTORS
• VOLTAGE MONITOR FOR SINGLE PHASE MOTORS OR PHASE MONITOR FOR THREE PHASE MOTORS
• CONTROL TRANSFORMER FOR 480 VOLT
• SILENCE RELAY
• DUPLEX ALTERNATOR
• TERMINALS FOR FIELD CONNECTIONS
• TERMINALS FOR MOTOR CONNECTIONS FOR SINGLE PHASE MOTORS
• GROUNDING LUGS

THE INNERDOOR SHALL BE FABRICATED FROM 0.08 MARINE ALLOY ALUMINUM. THE INNERDOOR SHALL HAVE A CONTINUOUS ALUMINUM PIANO HINGE.

THE FOLLOWING COMPONENTS SHALL BE MOUNTED THROUGH THE INNERDOOR:
• MAIN CIRCUIT BREAKER
• EMERGENCY CIRCUIT BREAKER
• SHORT CIRCUIT PROTECTORS
• CONTROL CIRCUIT BREAKER
• SEAL FAILURE INDICATOR LIGHTS
• HAND-OFF-AUTO SELECTOR SWITCHES
• PUMP RUN PILOT LIGHTS
• POWER ON PILOT LIGHT

MISCELLANEOUS: ALL WIRING ON THE BACKPANEL SHALL BE CONTAINED WITHIN THE WIRING DUCT. ALL WIRING BETWEEN THE INNER DOOR AND THE BACKPANEL SHALL BE CONTAINED WITH A PLASTIC SPIRAL WRAP.

EACH WIRE SHALL HAVE A WIRE NUMBER AT EACH END TO CORRESPOND TO THE AS BUILT FOR FIELD TROUBLESHOOTING.

THE CONTROL PANEL SHALL BE ASSEMBLED BY A UL508A CERTIFIED MANUFACTURING FACILITY.

COMPONENT SPECIFICATIONS:
NEUTRAL TO BE SUPPLIED FOR BOTH 230 VOLT 3 PHASE OR 230 VOLT SINGLE PHASE POWER.

ALL MOTOR SHORT CIRCUIT PROTECTION DEVICES MUST PROVIDE FOR UNDERVOLTAGE RELEASE AND CLASS 10 OVERLOAD PROTECTION ON ALL THREE PHASES. VISIBLE TRIP INDICATION, TEST, AND RESET CAPABILITY MUST BE PROVIDED WITHOUT OPENING INNER DOOR.

OPEN FRAME, ACROSS THE LINE, CONTACTORS SHALL BE RATED PER IEC STANDARDS AND PROPERLY SIZED PER THE MOTOR REQUIREMENTS.

CONTACTOR SHALL PROVIDE FOR SAFE TOUCH POWER AND CONTROL TERMINALS.

A VOLTAGE MONITOR SHALL BE SUPPLIED FOR SINGLE PHASE SERVICE.

A GREEN PILOT LIGHT SHALL BE SUPPLIED FOR EACH MOTOR. THE PILOT LIGHT SHALL ILLUMINATE EACH TIME THE MOTOR IS CALLED TO RUN.

RELAYS SHALL BE ICE-CUBE PLUG IN TYPE OR PLC TYPE. RELAY CONTACTS SHALL BE RATED 10 AMPS MINIMUM, DPDT.

EACH MOTORS OVER-TEMPERATURE CONTACT SHALL BE CONNECTED TO THE TERMINAL STRIP AND SHALL OPEN A CONTACT TO DE-ENERGIZE THE APPROPRIATE MOTOR UPON A HIGH TEMPERATURE WITHIN THE MOTOR.

GROUND LUGS SHALL BE SUPPLIED AND APPROPRIATELY SIZED FOR EACH MOTOR AND FOR SERVICE ENTRANCE.

NAMEPLATES FOR THE INNERDOOR AND BACK PANEL SHALL BE OF A GRAPHIC DESIGN, SPECIFICALLY DEPICTING THE INTENT FOR EACH DEVICE.

FASTENERS AND APPURTENANCES: ALL FASTENERS, LIFTING CABLES, FLOAT CABLE BRACKET, HINGES, AND APPURTENANCES SHALL BE MADE OF 304SS MINIMUM.

- A 304SS SLIDE/LATCH ASSEMBLY SHALL BE PROVIDED FOR HOLDING THE DOORS OPEN ON THE WET WELL AND VALVE BOX.
- SLIDE RAILS SHALL BE MADE OF SCH 40 304SS PIPE.
- PUMP LIFTING CABLES/CHAINS SHALL BE 304SS.
- PUMP LIFTING BALES SHALL BE MADE OF 304SS.

EXECUTION:
INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATIONS IN THE THE LOCATIONS SHOWN ON THE DRAWINGS.

CERTIFIED ELECTRICIAN SHALL MOUNT CONTROL PANEL AND CONNECT POWER SERVICE TO PANEL PRIOR TO STARTUP AND FACTORY REP SITE VISIT.

THE PUMP CONTROLS AND PUMPS SHALL BE CHECKED FOR PROPER OPERATION AND ENSURE THAT ALL LEVEL CONTROLS ARE IN ACCORDANCE WITH THE PLANS AND FULLY FUNCTIONING.

PUMP STATION SHALL BE VENTED PER MANUFACTURER'S RECOMMENDATIONS.

BASIN INSTALLATION INSTRUCTIONS:
1. INSPECT ALL MATERIALS SUPPLIED TO ENSURE THERE ARE NO DAMAGES DUE TO SHIPPING PRIOR TO INSTALLATION.
2. EXCAVATE HOLE LARGE ENOUGH TO ACCOMMODATE BASIN, UNDERGROUND PIPING, BACKFILL MATERIAL, AND ADEQUATE WORKING SPACE.
3. PREPARE THE BOTTOM OF THE EXCAVATED HOLE WITH 6" OF BACKFILL MATERIAL OR CONCRETE PAD. CHECK BASE TO INSURE IT IS LEVEL AND SMOOTH.
4. INSTALL BASIN ON GRAVEL BASE OR CONCRETE PAD, ANCHOR IF NECESSARY.
5. CONCRETE MAY BE PORED AROUND BASIN BOTTOM IF BALLAST IS REQUIRED FOR BUOYANCY.
6. BACKFILL WITH PEA GRAVEL 4" TO 6" AROUND THE ENTIRE PERIPHERY OF THE BASIN/COMPACTED BACKFILL MATERIAL IN 12" LIFTS. STOP AND CONNECT PIPING AS REQUIRED.

RECOMMENDED BACKFILL MATERIAL:
GRAVEL OR STONE TO BE FREE FLOWING, NATURALLY ROUNDED AGGREGATE WITH A PARTICLE SIZE OF NOT LESS THAN 3/8" OR LARGER THAN 3/4" IN DIAMETER.

ELECTRICAL NOTES:
1. DISCONNECT IS REQUIRED WITHIN SIGHT OR 50' MAX FROM PANEL LOCATION.
2. COORDINATE ALL ELECTRICAL WORK PRIOR TO CONSTRUCTION.
3. PANEL SHALL BE MANUFACTURED TO UNDERWRITERS' LABORATORIES STANDARDS AND LABELED ACCORDINGLY.
4. EACH FLEXIBLE CABLE SHALL BE PROVIDED WITH A WATERTIGHT SEAL AND SEPARATE STRAIN RELIEF.
5. ELECTRICAL EQUIPMENT EXPOSED TO WEATHER SHALL MEET THE REQUIREMENTS OF WEATHERPROOF EQUIPMENT NEMA 4X.
6. A 110VOLT POWER RECEPTACLE WITH GROUND FAULT INTERRUPTION (GFI) PROTECTION SHALL BE AVAILABLE TO FACILITATE MAINTENANCE EITHER INSIDE THE CONTROL PANEL OR WITHIN 25 FEET OF CONTROL PANEL.
7. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
8. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS WITH APPROPRIATE MATERIAL.
9. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT.
10. NEUTRAL TO BE SUPPLIED FOR SINGLE PHASE AND THREE PHASE POWER.
11. ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE THE 100-YEAR FLOOD ELEVATION (WHERE APPLICABLE).



HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:

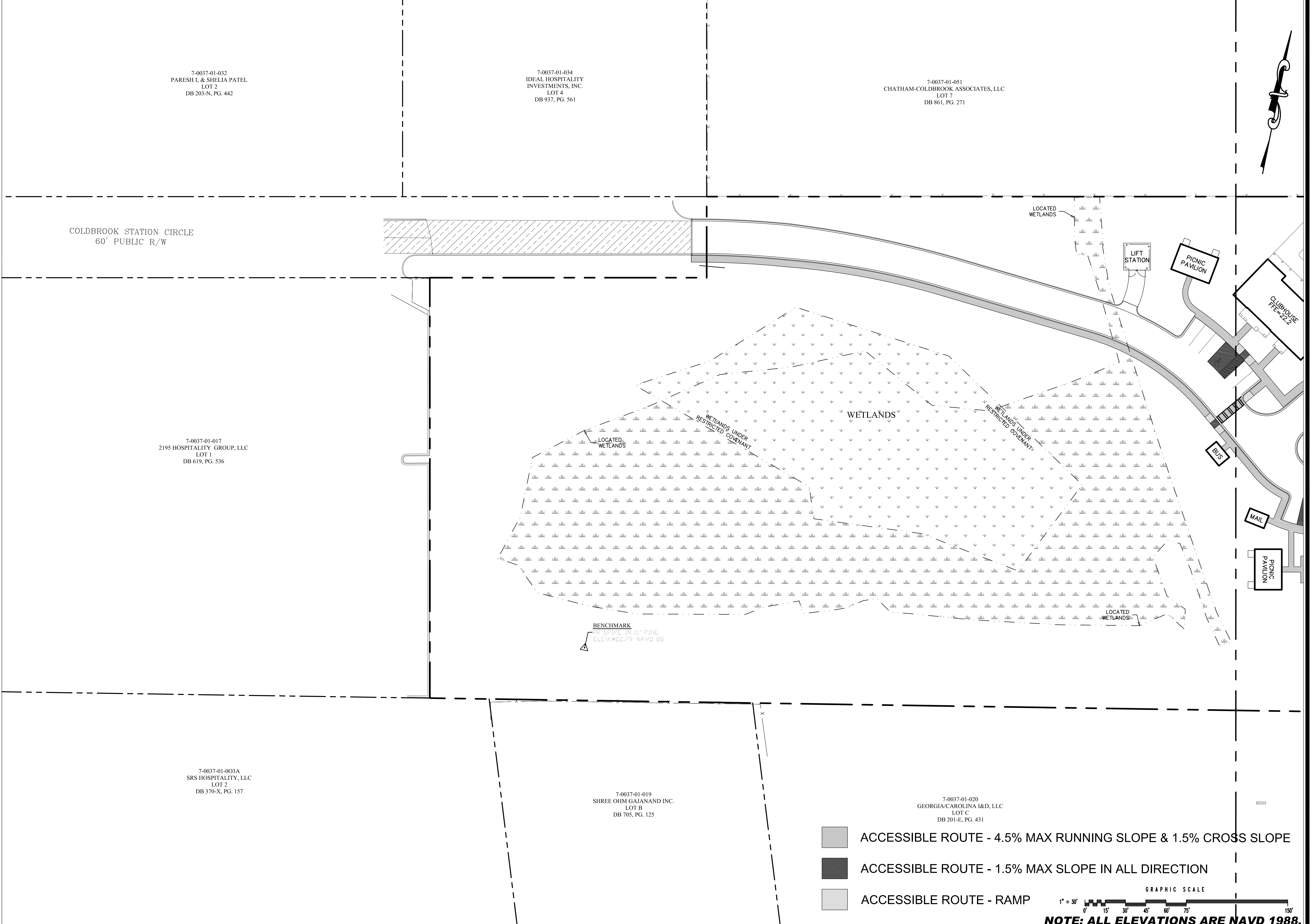
NO.	DATE	DESCRIPTION
1	05/21/2018	GENERAL REVISIONS
2	06/05/2018	GENERAL REVISIONS

DESIGNED: H.F.R. DRAWN: J.J.M. CHECKED: C.J.C.
DATE: 05/02/2018
JOB NO. 117297502
SCALE: AS SHOWN

WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC
LIFT STATION PLAN & DETAILS

DRAWING NUMBER
15
OF 26

Jun 05, 2018 - 2:50pm Printed By: jkopolic
 E:\Gateway Companies\117297502...Wood Meadow Apartments\Cadd Files\Construction\SH116_ACC.dwg
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7-0037-01-032
 PARESH I. & SHELIA PATEL
 LOT 2
 DB 203-N, PG. 442

7-0037-01-034
 IDEAL HOSPITALITY
 INVESTMENTS, INC.
 LOT 4
 DB 937, PG. 561

7-0037-01-051
 CHATHAM-COLDBROOK ASSOCIATES, LLC
 LOT 7
 DB 861, PG. 271

COLDBROOK STATION CIRCLE
 60' PUBLIC R/W

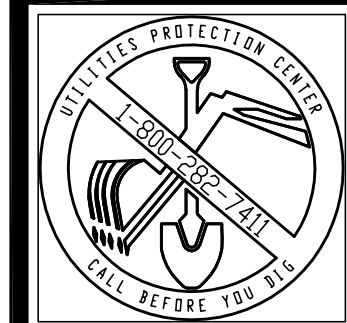
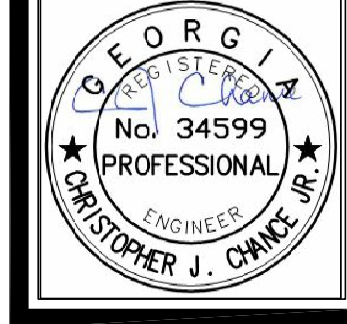
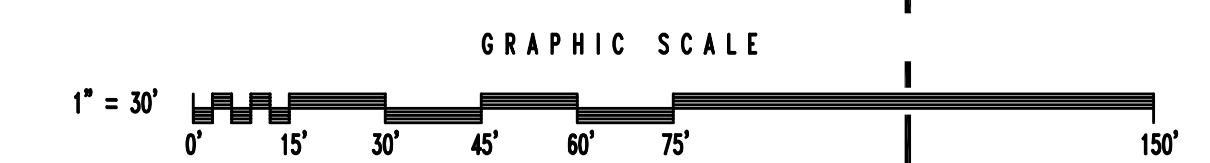
7-0037-01-017
 2195 HOSPITALITY GROUP, LLC
 LOT 1
 DB 619, PG. 536

7-0037-01-003A
 SRS HOSPITALITY, LLC
 LOT 2
 DB 370-X, PG. 157

7-0037-01-019
 SHREE OHM GAJANAND INC.
 LOT B
 DB 705, PG. 125

7-0037-01-020
 GEORGIA/CAROLINA I&D, LLC
 LOT C
 DB 201-E, PG. 431

- ACCESSIBLE ROUTE - 4.5% MAX RUNNING SLOPE & 1.5% CROSS SLOPE
- ACCESSIBLE ROUTE - 1.5% MAX SLOPE IN ALL DIRECTION
- ACCESSIBLE ROUTE - RAMP



HUSSEY GAY BELL
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DESIGNED	H.F.R.	DRAWN	J.J.M.	CHECKED	C.J.C.
DATE:	05/02/2018				
JOB NO.	117297502				
SCALE:	1"=30'				

REVISIONS:	GENERAL REVISIONS	05/21/2018
	GENERAL REVISIONS	06/05/2018

WOOD MEADOW APARTMENTS
 COLDBROOK STATION CIRCLE
 PORT WENTWORTH, GEORGIA
 FOR
CRN DEVELOPMENT, LLC
ACCESSIBILITY PLAN

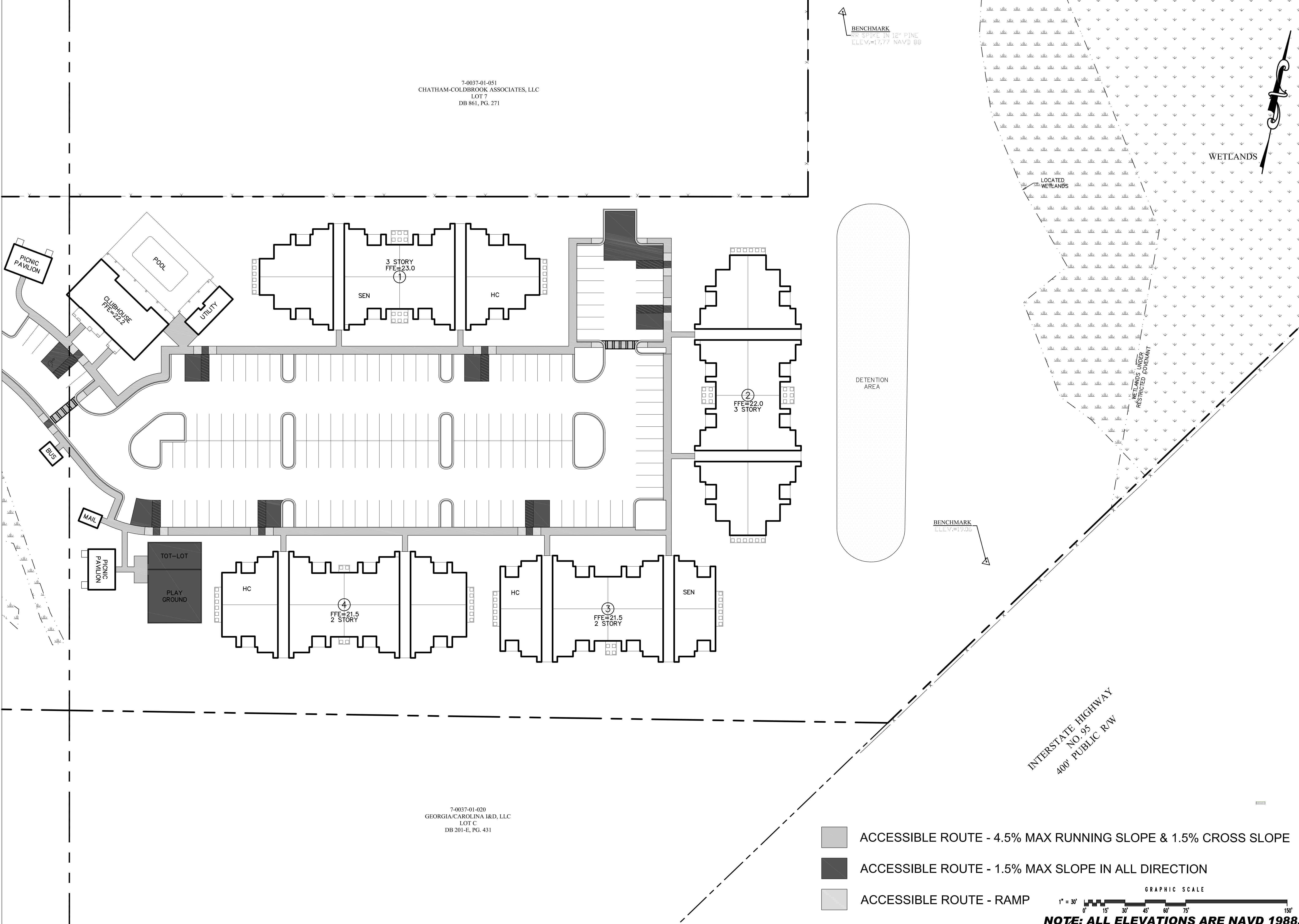
DRAWING NUMBER
16
 OF 26

Attachment: Wood Meadow Apartment Specific Site Plan 3rd revision JUNE 2018 (1916 - Site Plan Review Application Wood Meadow Apartments JUNE 2018)

E:\Gateway Companies\117297502...Wood Meadow Apartments\Cadd Files\Construction\SH117_ACC.dwg Jun 05, 2018 - 2:51 pm Printed By: jkopolic

7-0037-01-051
CHATHAM-COLDBROOK ASSOCIATES, LLC
LOT 7
DB 861, PG. 271

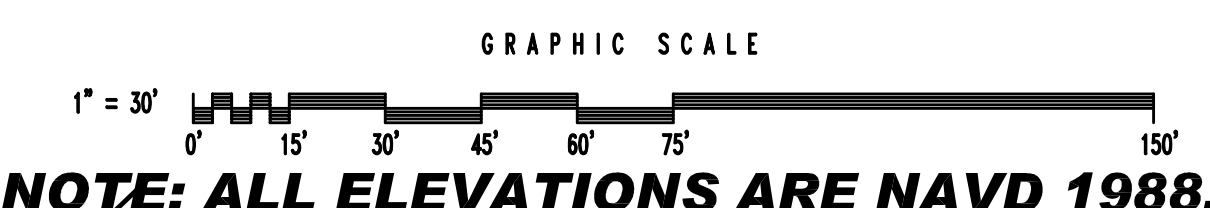
7-0037-01-020
GEORGIA/CAROLINA I&D, LLC
LOT C
DB 201-E, PG. 431



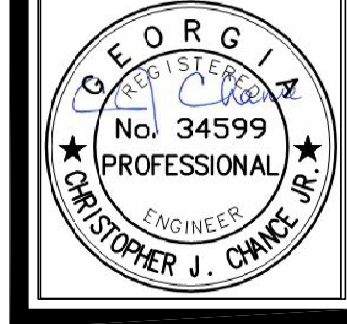
BENCHMARK
12" PINE
ELEV.=17.77 NAVD 88

BENCHMARK
ELEV.=19.00

- ACCESSIBLE ROUTE - 4.5% MAX RUNNING SLOPE & 1.5% CROSS SLOPE
- ACCESSIBLE ROUTE - 1.5% MAX SLOPE IN ALL DIRECTION
- ACCESSIBLE ROUTE - RAMP



NOTE: ALL ELEVATIONS ARE NAVD 1988.



HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

DESIGNED H.F.R.	DRAWN J.J.M.	CHECKED C.J.C.
DATE: 05/02/2018		
JOB NO. 117297502		
SCALE: 1" = 30'		

REVISIONS:
GENERAL REVISIONS 05/21/2018
GENERAL REVISIONS 06/05/2018

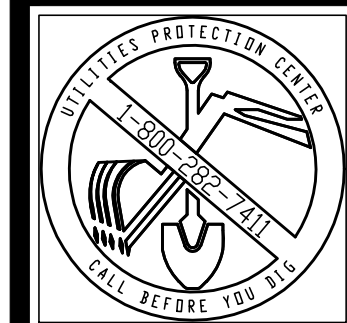
WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC
ACCESSIBILITY PLAN

DRAWING NUMBER
17
OF 28

7.C.b
Attachment: Wood Meadow Apartment Specific Site Plan 3rd revision JUNE 2018 (1916 - Site Plan Review Application Wood Meadow Apartments JUNE 2018)

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Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:

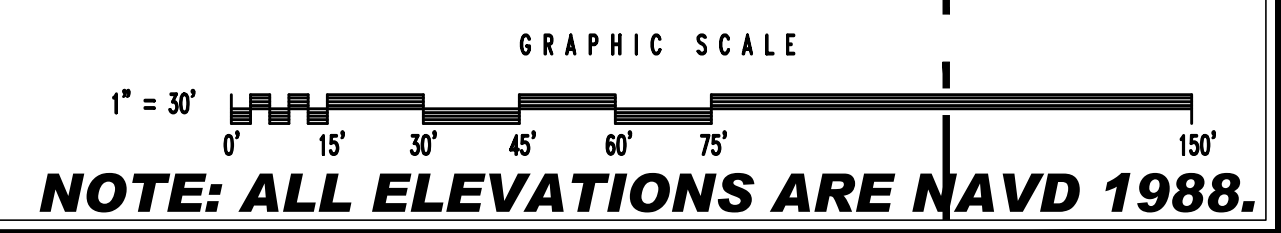
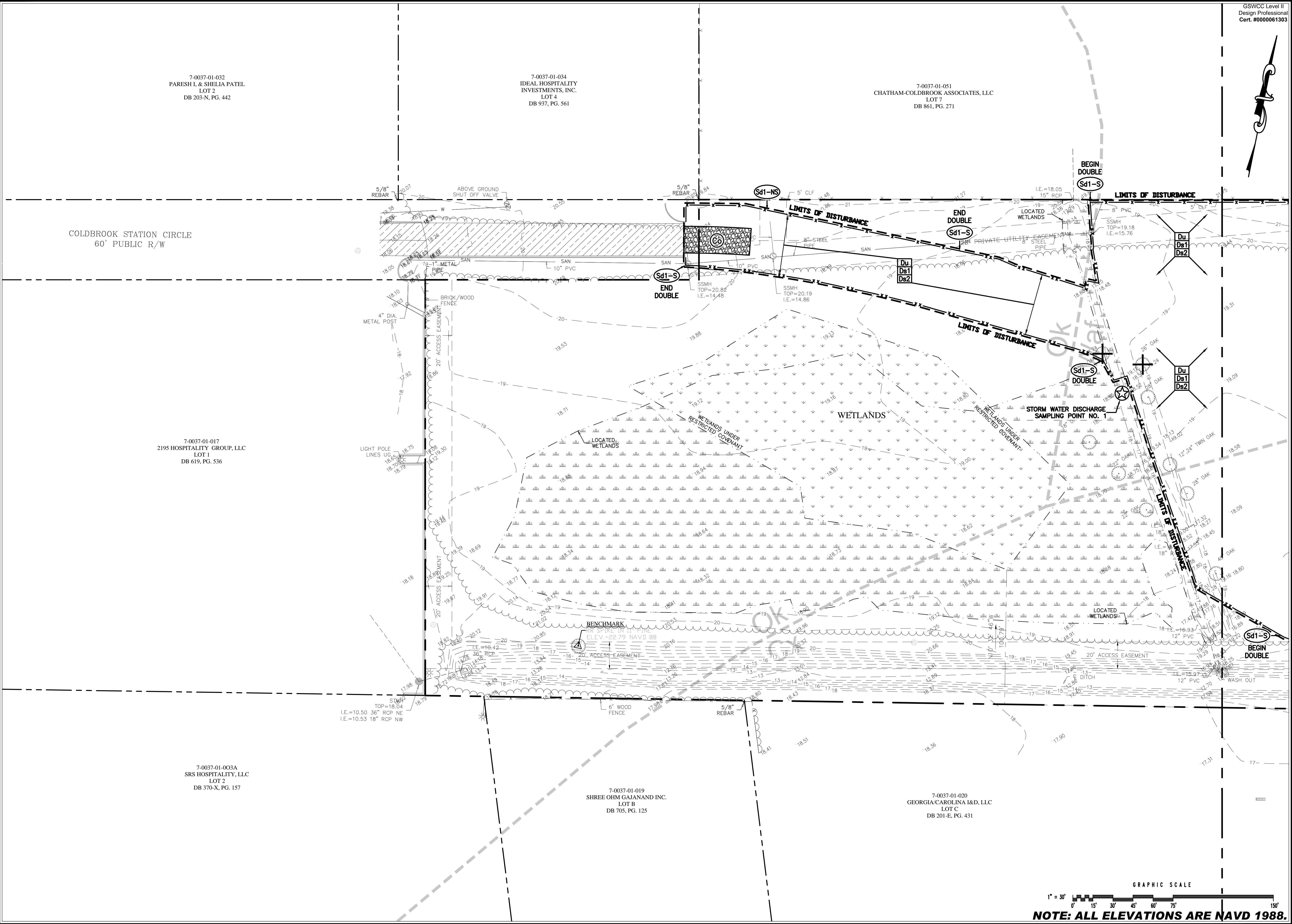
NO.	DATE	DESCRIPTION
1	05/21/2018	GENERAL REVISIONS
2	06/05/2018	GENERAL REVISIONS

DESIGNED	DRAWN	CHECKED
H.F.R.	J.J.M.	C.J.C.

DATE: 05/02/2018
JOB NO. 117297502
SCALE: 1" = 30'

WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC
EROSION AND SEDIMENT CONTROL PLAN - INITIAL PHASE

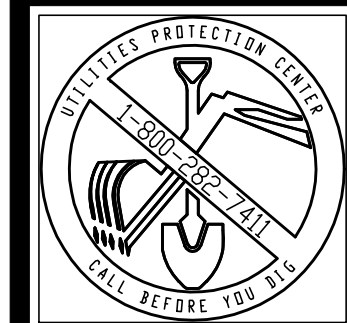
DRAWING NUMBER
20
OF 26
Packet Pg. 63



7-0037-01-051
CHATHAM-COLDBROOK ASSOCIATES, LLC
LOT 7
DB 861, PG. 271

7-0037-01-020
GEORGIA CAROLINA I&D, LLC
LOT C
DB 201-E, PG. 431

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Cert. #0000061303



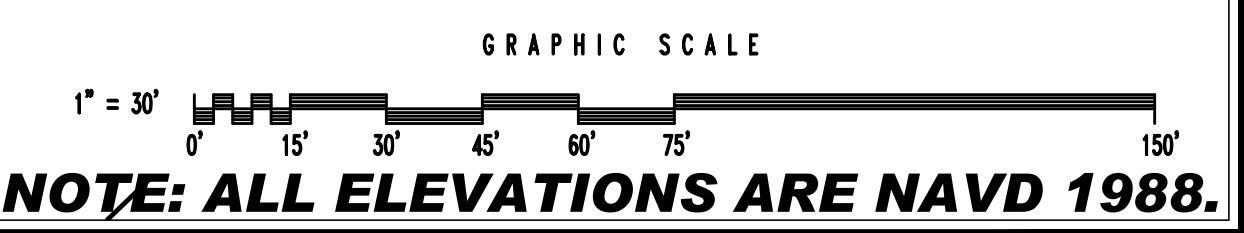
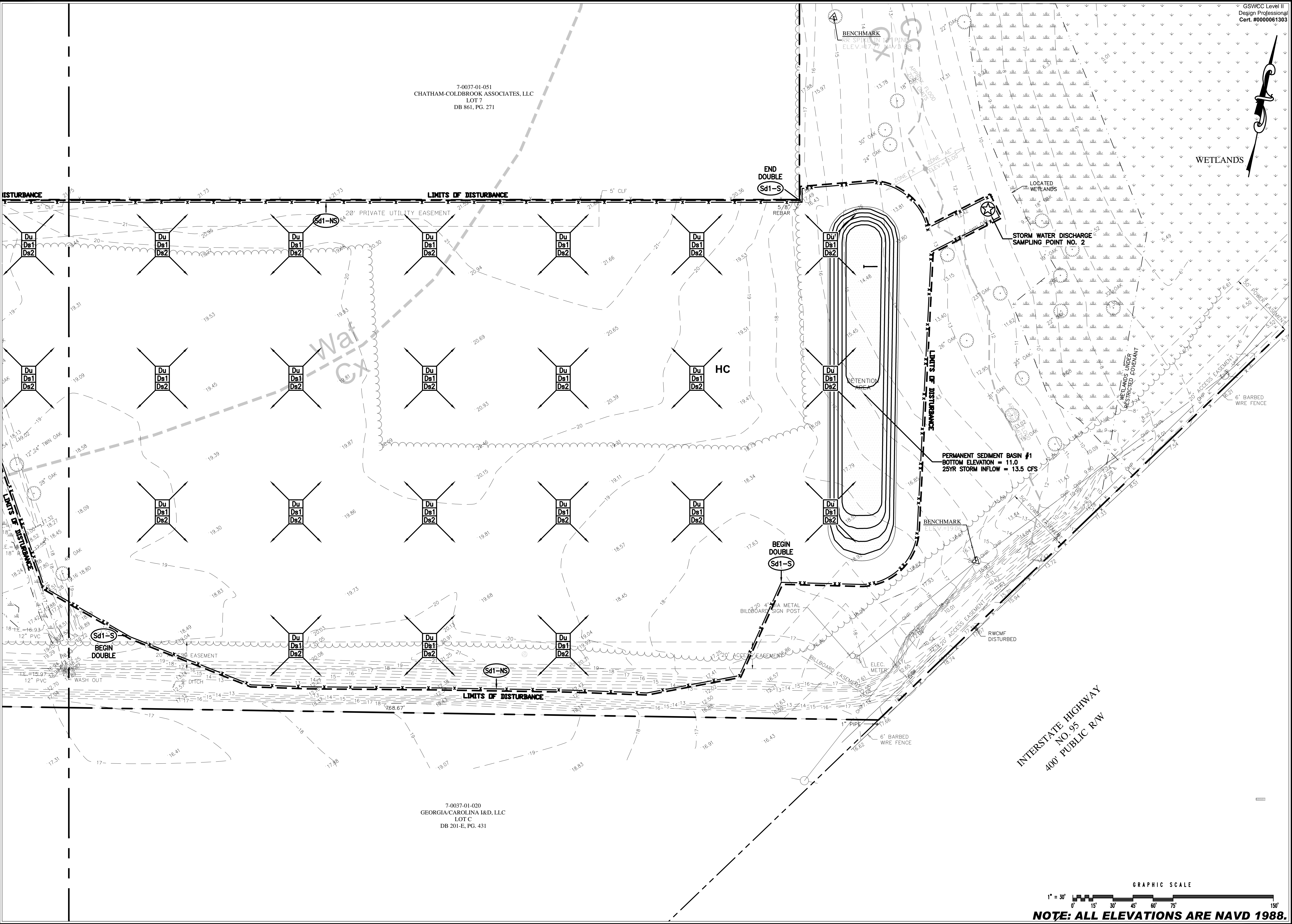
HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

DESIGNED	H.F.R.
DRAWN	J.J.M.
CHECKED	C.J.C.
DATE	05/02/2018
JOB NO.	117297502
SCALE	1" = 30'

DESIGNED	H.F.R.
DRAWN	J.J.M.
CHECKED	C.J.C.
DATE	05/02/2018
JOB NO.	117297502
SCALE	1" = 30'

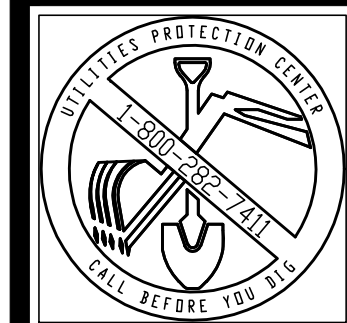
WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC
EROSION AND SEDIMENT CONTROL PLAN - INITIAL PHASE

DRAWING NUMBER
21
OF 26
Packet Pg. 64



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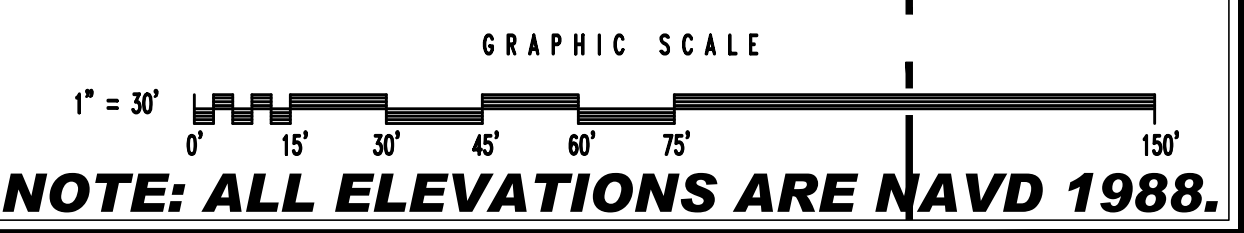
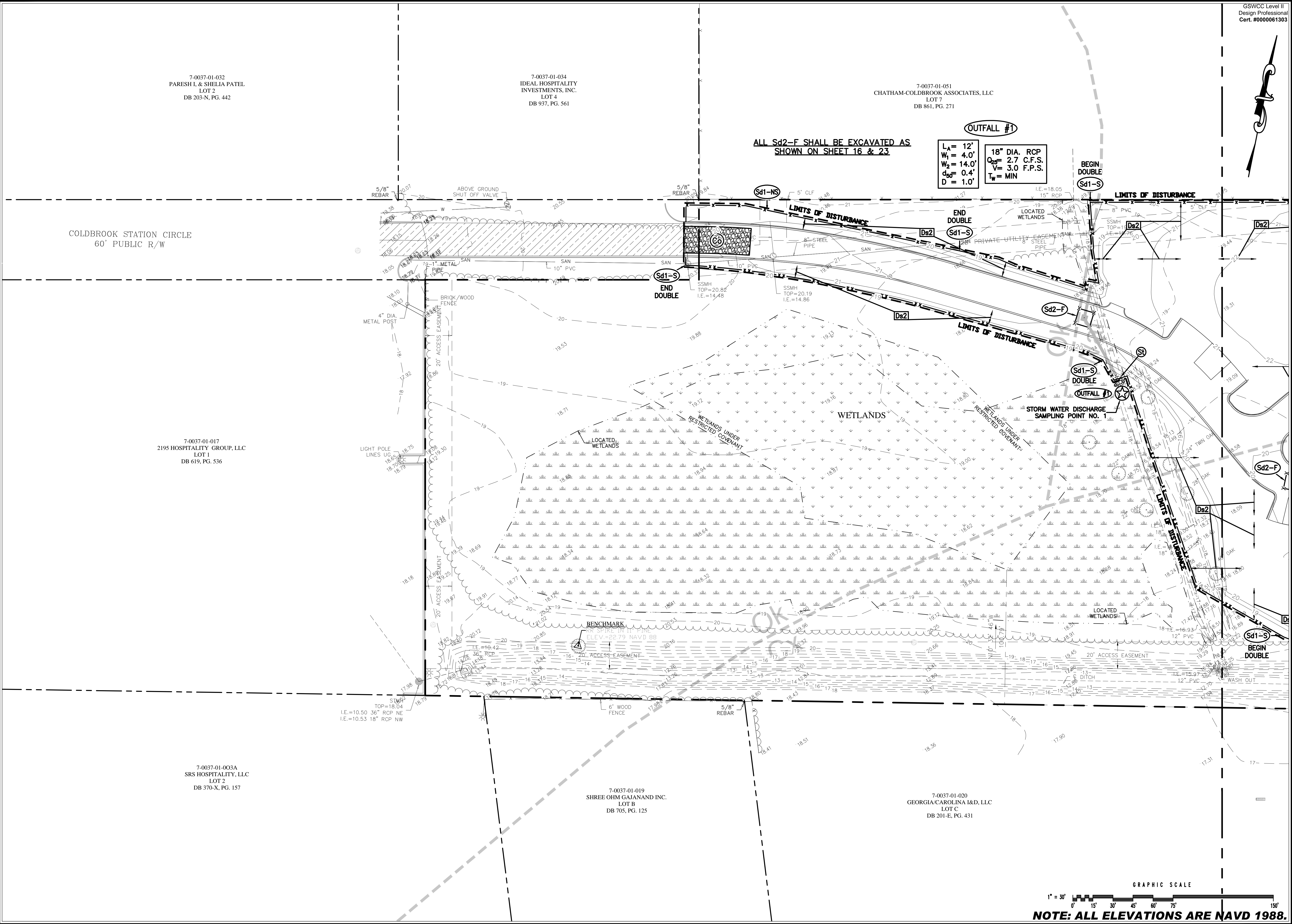
REVISIONS:

GENERAL REVISIONS	05/21/2018
GENERAL REVISIONS	06/05/2018

DESIGNED	H.F.R.	DRAWN	J.J.M.	CHECKED	C.J.C.
DATE: 05/02/2018					
JOB NO. 117297502					
SCALE: 1" = 30'					

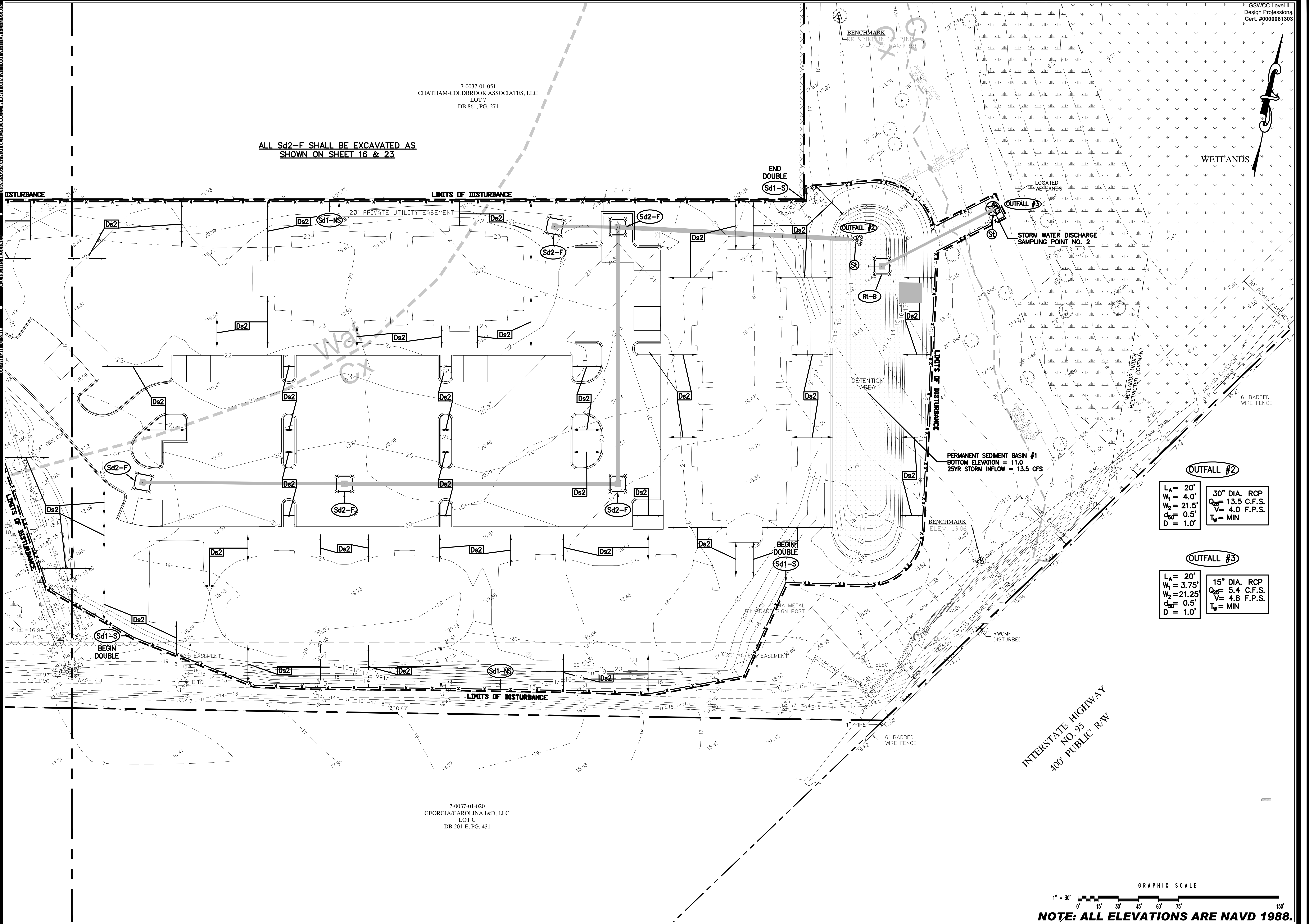
WOOD MEADOW APARTMENTS
COLD BROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC
EROSION AND SEDIMENT CONTROL PLAN - INTERMEDIATE PHASE

DRAWING NUMBER
22
OF 28
Packet Pg. 65



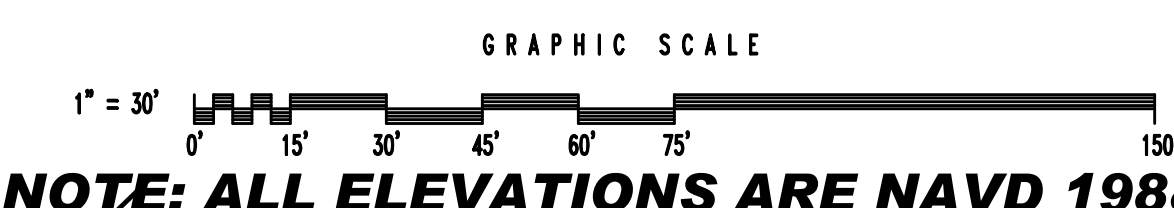
7-0037-01-051
CHATHAM-COLDBROOK ASSOCIATES, LLC
LOT 7
DB 861, PG. 271

ALL Sd2-F SHALL BE EXCAVATED AS
SHOWN ON SHEET 16 & 23



OUTFALL #2	
L _A = 20'	30" DIA. RCP
W ₁ = 4.0'	Q ₂₅ = 13.5 C.F.S.
W ₂ = 21.5'	V = 4.0 F.P.S.
d ₅₀ = 0.5'	T _w = MIN
D = 1.0'	

OUTFALL #3	
L _A = 20'	15" DIA. RCP
W ₁ = 3.75'	Q ₂₅ = 5.4 C.F.S.
W ₂ = 21.25'	V = 4.8 F.P.S.
d ₅₀ = 0.5'	T _w = MIN
D = 1.0'	



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Established 1958

329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

DESIGNED	DRAWN	CHECKED
H.F.R.	J.J.M.	C.J.C.

DATE: 05/02/2018
JOB NO. 117297502
SCALE: 1" = 30'

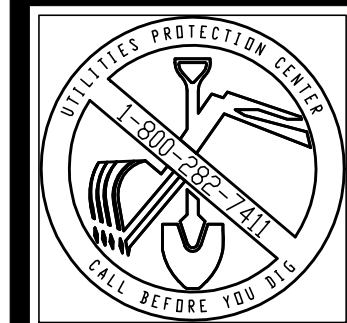
WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC

EROSION AND SEDIMENT CONTROL PLAN - INTERMEDIATE PHASE

DRAWING NUMBER
23
OF 26

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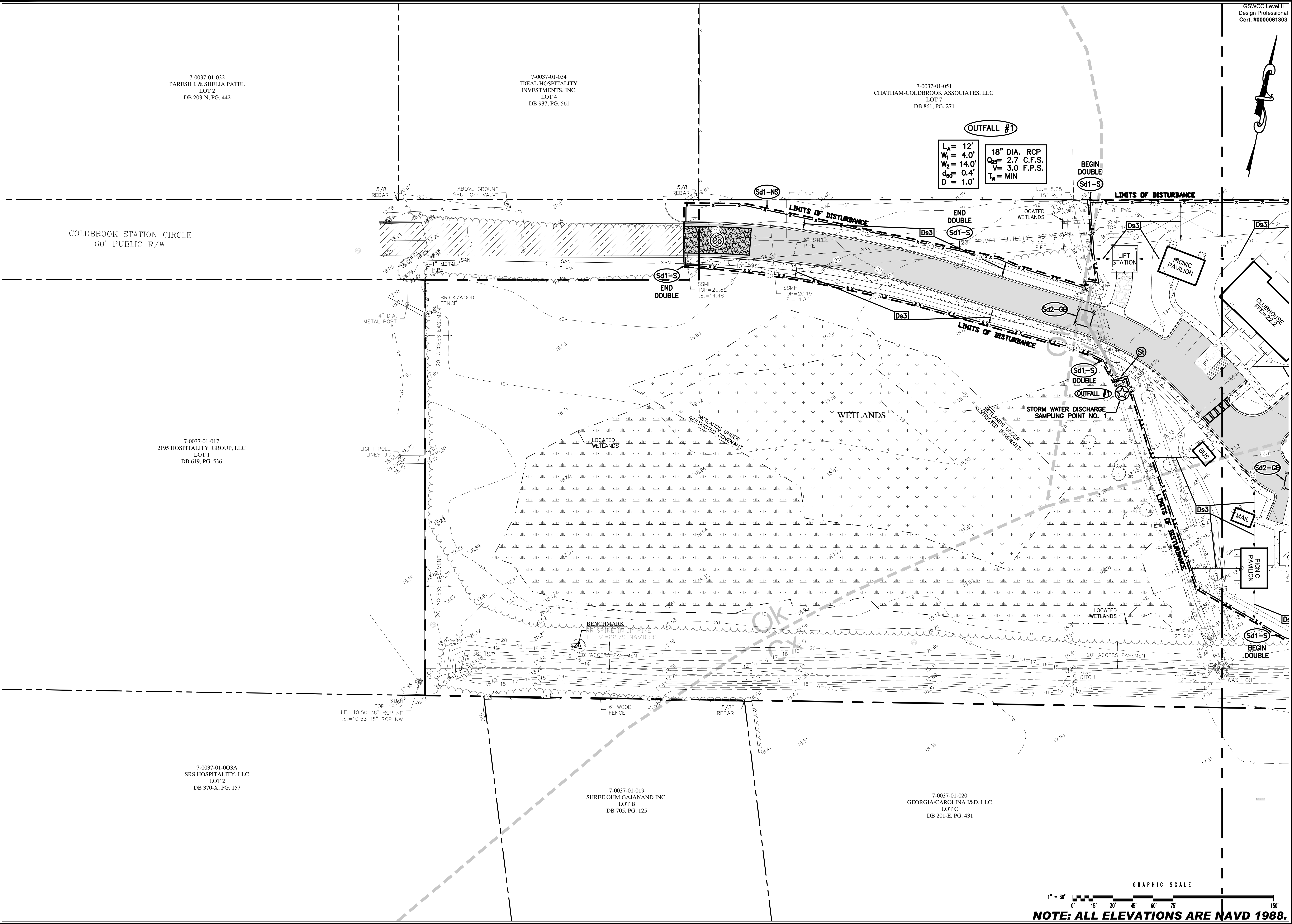
HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

DESIGNED	H.F.R.	DRAWN	J.J.M.	CHECKED	C.J.C.
DATE:	05/02/2018				
JOB NO.	117297502				
SCALE:	1" = 30'				
REVISIONS:	GENERAL REVISIONS 05/21/2018 GENERAL REVISIONS 06/05/2018				

DESIGNED	H.F.R.	DRAWN	J.J.M.	CHECKED	C.J.C.
DATE:	05/02/2018				
JOB NO.	117297502				
SCALE:	1" = 30'				

WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC
EROSION AND SEDIMENT CONTROL PLAN - FINAL PHASE

DRAWING NUMBER
24
OF 26
Packet Pg. 67



7-0037-01-032
PARESH I. & SHELIA PATEL
LOT 2
DB 203-N, PG. 442

7-0037-01-034
IDEAL HOSPITALITY
INVESTMENTS, INC.
LOT 4
DB 937, PG. 561

7-0037-01-051
CHATHAM-COLDBROOK ASSOCIATES, LLC
LOT 7
DB 861, PG. 271

7-0037-01-017
2195 HOSPITALITY GROUP, LLC
LOT 1
DB 619, PG. 536

7-0037-01-003A
SRS HOSPITALITY, LLC
LOT 2
DB 370-X, PG. 157

7-0037-01-019
SHREE OHM GAJANAND INC.
LOT B
DB 705, PG. 125

7-0037-01-020
GEORGIA-CAROLINA I&D, LLC
LOT C
DB 201-E, PG. 431

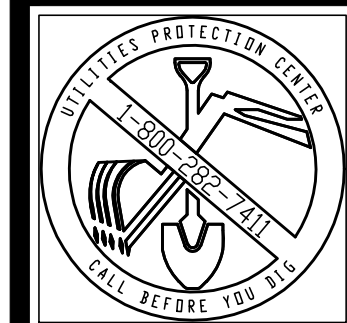
COLDBROOK STATION CIRCLE
60' PUBLIC R/W

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7-0037-01-051
CHATHAM-COLDBROOK ASSOCIATES, LLC
LOT 7
DB 861, PG. 271

7-0037-01-020
GEORGIA CAROLINA I&D, LLC
LOT C
DB 201-E, PG. 431

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HUSSEY GAY BELL
Established 1958
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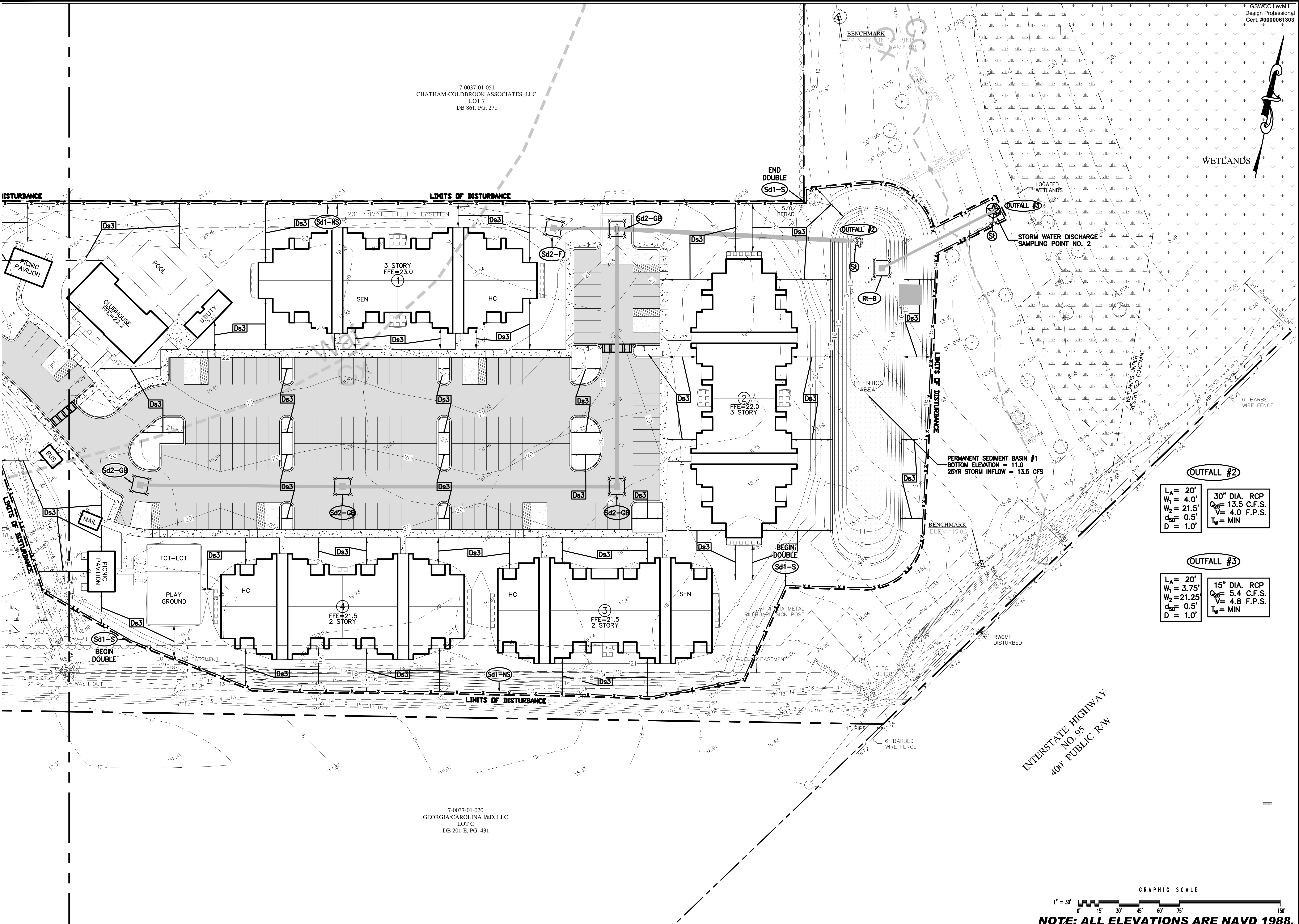
DESIGNED	H.F.R.	DRAWN	J.J.M.	CHECKED	C.J.C.
DATE:	05/02/2018				
JOB NO.:	117297502				
SCALE:	1"=30'				

WOOD MEADOW APARTMENTS
COLDBROOK STATION CIRCLE
PORT WENTWORTH, GEORGIA
FOR
CRN DEVELOPMENT, LLC

EROSION AND SEDIMENT CONTROL PLAN - FINAL PHASE

DRAWING NUMBER
25
OF 26

Packet Pg. 68



OUTFALL #2

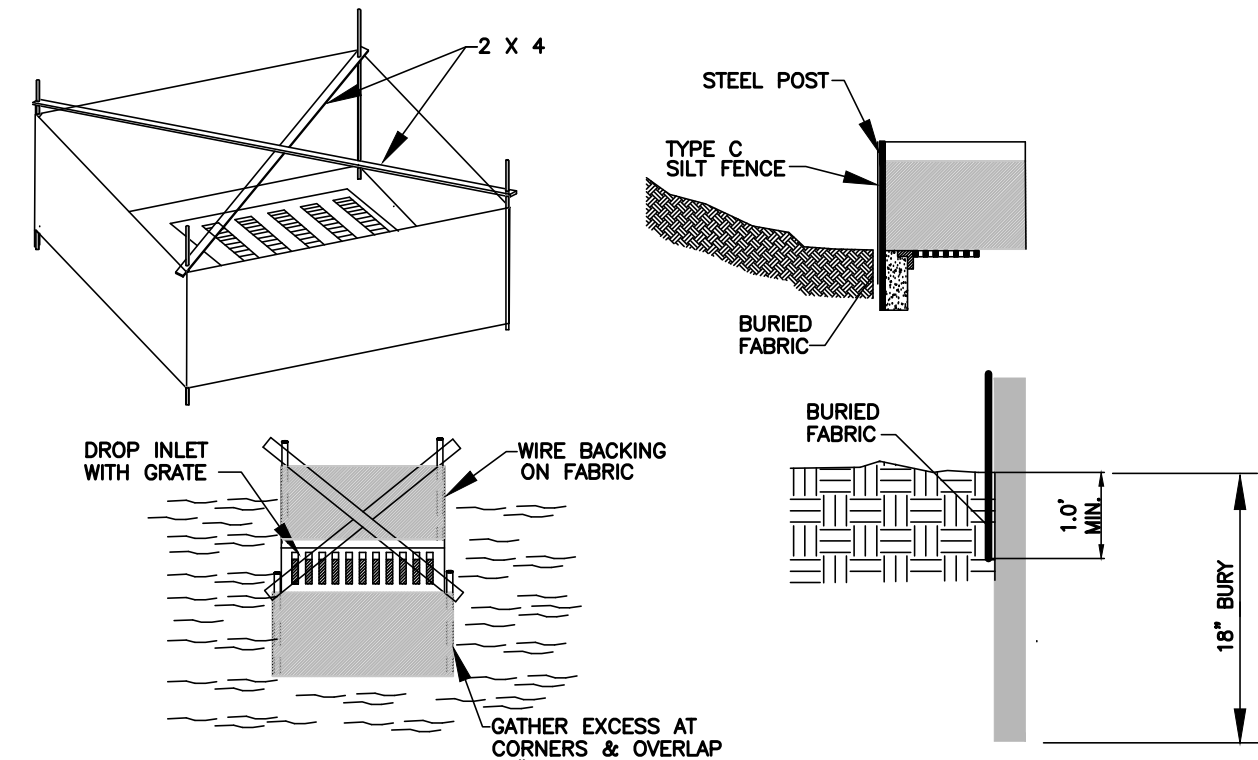
L _A = 20'	30" DIA. RCP
W ₁ = 4.0'	Q ₂₅ = 13.5 C.F.S.
W ₂ = 21.5'	V = 4.0 F.P.S.
d ₅₀ = 0.5'	T _w = MIN
D = 1.0'	

OUTFALL #3

L _A = 20'	15" DIA. RCP
W ₁ = 3.75'	Q ₂₅ = 5.4 C.F.S.
W ₂ = 21.25'	V = 4.8 F.P.S.
d ₅₀ = 0.5'	T _w = MIN
D = 1.0'	

GRAPHIC SCALE
1" = 30'
0 15' 30' 45' 60' 75' 90'
NOTE: ALL ELEVATIONS ARE NAVD 1988.

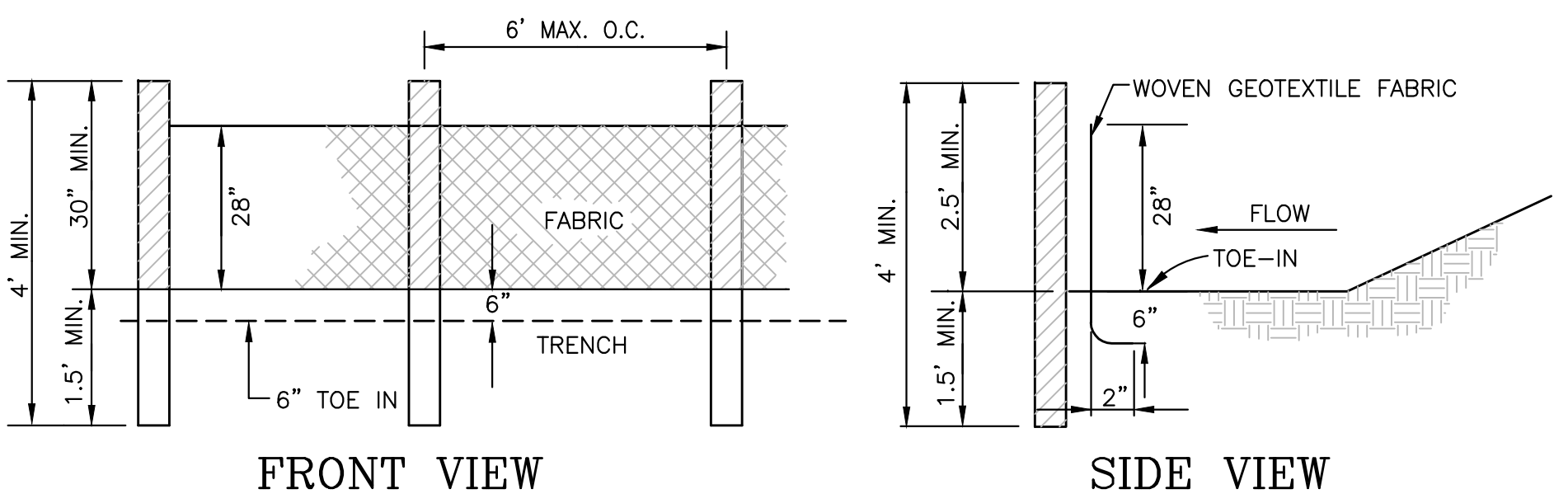
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- USE TYPE C (WIRE REINFORCED) SILT FENCE SUPPORTED BY STEEL POSTS, MINIMUM LENGTH 3 FEET.
- SPACE STAKES EVENLY AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3 FEET APART AND SECURELY DRIVE THEM INTO THE GROUND, APPROXIMATELY 18 INCHES DEEP.
- TO PROVIDE NEEDED STABILITY TO THE INSTALLATION, FRAME WITH 2x4 INCH WOOD STRIPS FROM CORNER TO CORNER ACROSS THE TOP OF THE STEEL FRAME.
- PLACE THE BOTTOM 12 INCHES OF THE FABRIC IN TRENCH AND BACKFILL THE TRENCH WITH AT LEAST 4 INCHES OF CRUSHED STONE OR 12 INCHES OF COMPACTED SOIL.
- FASTEN FABRIC SECURELY TO THE STAKES AND FRAME. JOINTS MUST BE OVERLAPPED TO THE NEXT STAKE.
- THE TOP OF THE FRAME AND FABRIC MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE FROM THE DROP INLET TO KEEP RUNOFF FROM BYPASSING THE INLET. IT MAY BE NECESSARY TO BUILD A TEMPORARY DIKE ON THE DOWN SLOPE SIDE OF THE STRUCTURE TO PREVENT BYPASS FLOW.
- THE INLET SHOULD BE EXCAVATED AS SHOWN IN THE DETAIL "INLET SEDIMENT BARRIER" BELOW, AND ON SHEET 16.

EXCAVATED INLET SEDIMENT TRAP DETAIL
FILTER FABRIC WITH SUPPORTING FRAME **Sd2-F**

N.T.S.



TYPE A FABRIC (36")
 USE:
 1) ON DEVELOPMENTS WHERE THE LIFE OF THE PROJECT IS GREATER THAN OR EQUAL TO 6 MONTHS.
 2) WHERE THE SLOPE GRADIENT IS STEEPER THAN 3:1.

POST SIZE		FASTENERS FOR WOOD POST (WIRE STAPLES)	
MIN. LENGTH	TYPE OF POST	GAUGE	CROWN
4'	SOFT WOOD 3" DIA. OR 2X4	17 MIN.	3/4" WIDE
4'	OAK	1 1/2" LONG	5 MIN.
4'	STEEL 1.3 LB./FT. MIN.		

FASTENERS FOR WOOD POST (NAILS)		FASTENERS FOR WOOD POST (NAILS)	
GAUGE	LENGTH	BUTTON HEADS	NAIL/POST
14 MIN.	1 1/2"	3/4"	4 MIN.

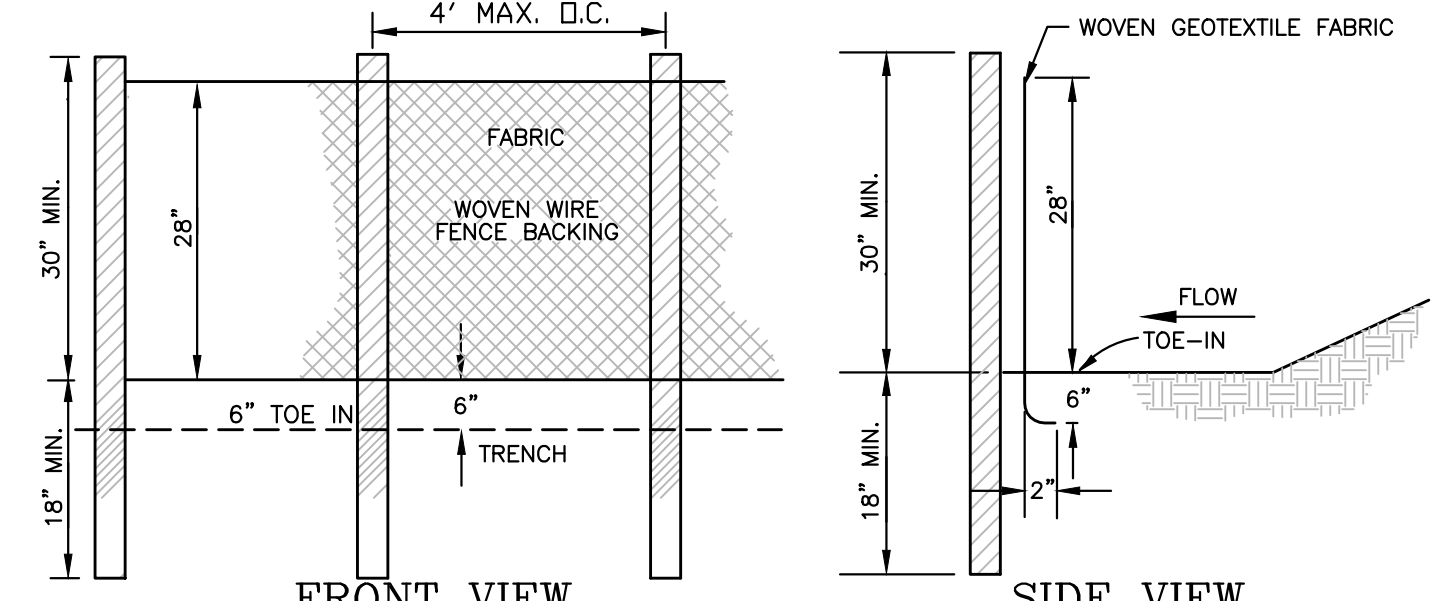
NOTE: FILTER FABRIC MAY ALSO BE ATTACHED TO THE POST BY WIRE, CORD, AND POCKETS.

FENCE						
TENSILE STRENGTH (LBS. MIN.) (1)	ELONGATION (%MAX.) (ASTM D-4632)	AOS (APPARENT OPENING SIZE) (MAX. SIEVE SIZE) (ASTM D-4751)	FLOW RATE (GAL./MIN./SQ. FT.) (GDT-B7)	ULTRAVIOLET STABILITY (2) (ASTM D-4632 AFTER 300 HOURS WEATHERING IN ACCORDANCE WITH ASTM D-4355)	BURSTING STRENGTH MIN. (PSI MIN.) (ASTM D-3786 DIAPHRAGM BURSTING STRENGTH TESTER)	FABRIC WIDTH (INCHES)
WARP-120 FILL-100	40	#30	25	80	175	36

(1) MIN. ROLL AVERAGE OF FIVE SPECIMENS.
 (2) PERCENT OF REQUIRED INITIAL MIN. TENSILE STRENGTH.

SILT FENCE -
TYPE NON-SENSITIVE **Sd1-NS**

N.T.S.



TYPE C FABRIC (36")
 USE: WHERE FILL SLOPES EXCEED A VERTICAL HEIGHT OF 20 FEET AND THE SLOPE GRADIENT IS STEEPER THAN 3:1.

POST SIZE		FASTENERS FOR WOOD POST (WIRE STAPLES)	
MIN. LENGTH	TYPE OF POST	GAUGE	CROWN
4'	STEEL 1.3 LB./FT. MIN.	17 MIN.	3/4" WIDE
4'	SOFT WOOD 3" DIA. OR 2X4	1 1/2" LONG	5 MIN.
4'	OAK	1 1/2" LONG	5 MIN.
4'	STEEL 1.3 LB./FT. MIN.		

FASTENERS FOR WOOD POST (NAILS)		FASTENERS FOR WOOD POST (NAILS)	
GAUGE	LENGTH	BUTTON HEADS	NAIL/POST
14 MIN.	1 1/2"	3/4"	4 MIN.

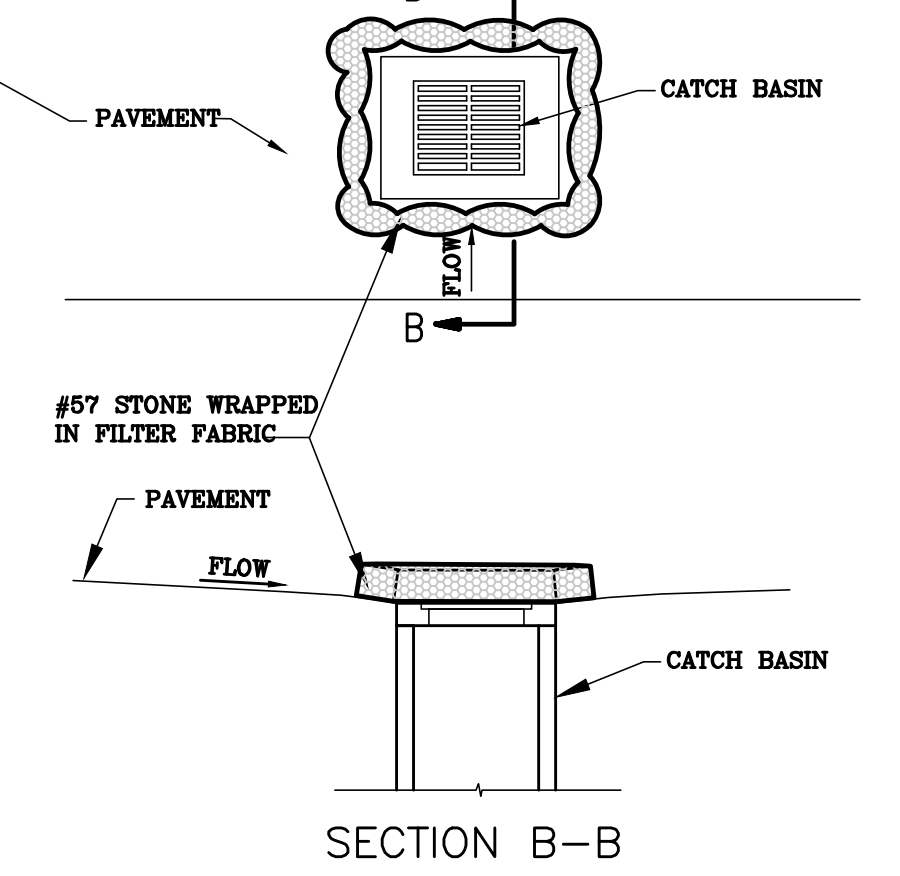
NOTE: FILTER FABRIC MAY ALSO BE ATTACHED TO THE POST BY WIRE, CORD, AND POCKETS.

FENCE						
TENSILE STRENGTH (LBS. MIN.) (1)	ELONGATION (%MAX.) (ASTM D-4632)	AOS (APPARENT OPENING SIZE) (MAX. SIEVE SIZE) (ASTM D-4751)	FLOW RATE (GAL./MIN./SQ. FT.) (GDT-B7)	ULTRAVIOLET STABILITY (2) (ASTM D-4632 AFTER 300 HOURS WEATHERING IN ACCORDANCE WITH ASTM D-4355)	BURSTING STRENGTH MIN. (PSI MIN.) (ASTM D-3786 DIAPHRAGM BURSTING STRENGTH TESTER)	FABRIC WIDTH (INCHES)
WARP-260 FILL-180	40	#30	70	80	175	36

(1) MIN. ROLL AVERAGE OF FIVE SPECIMENS.
 (2) PERCENT OF REQUIRED INITIAL MIN. TENSILE STRENGTH.

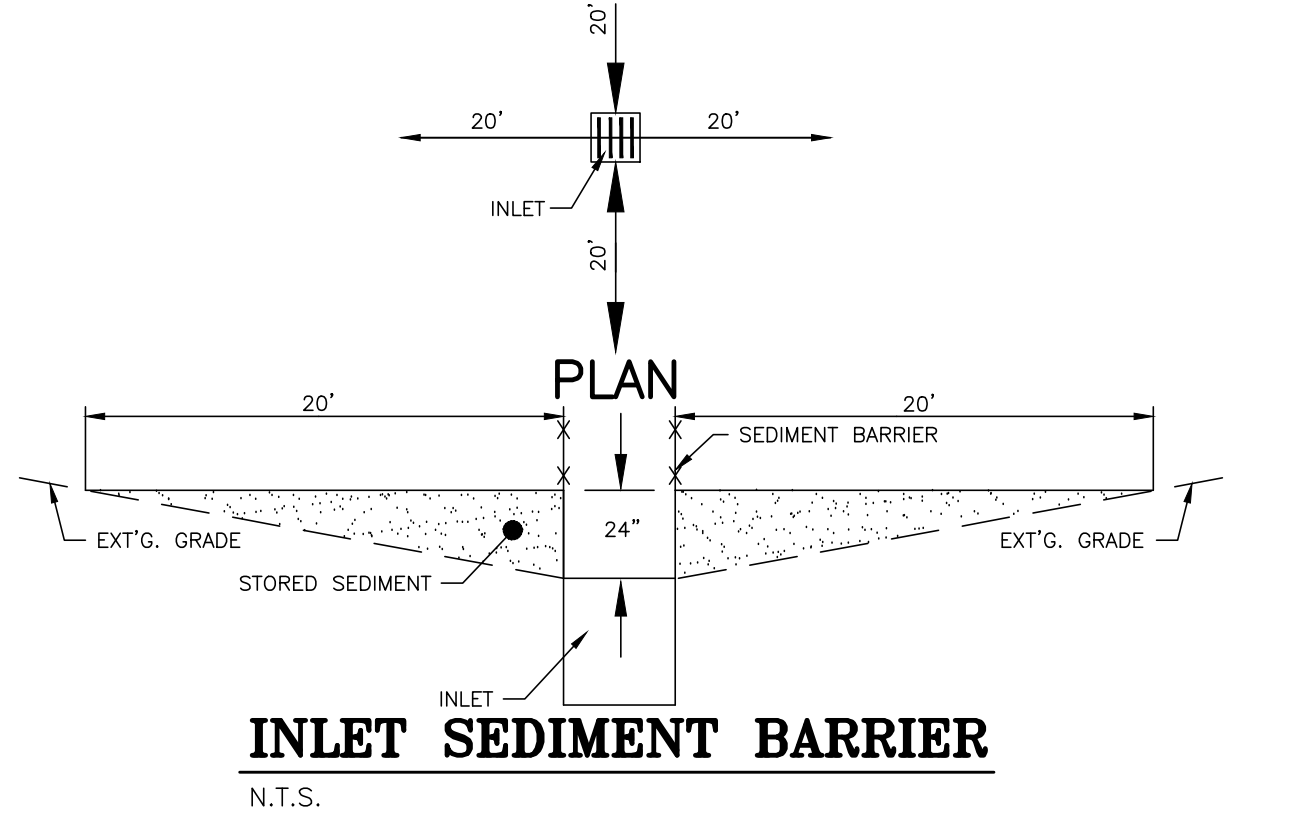
SEDIMENT BARRIER
SILT FENCE - SENSITIVE **Sd1-S**

N.T.S.



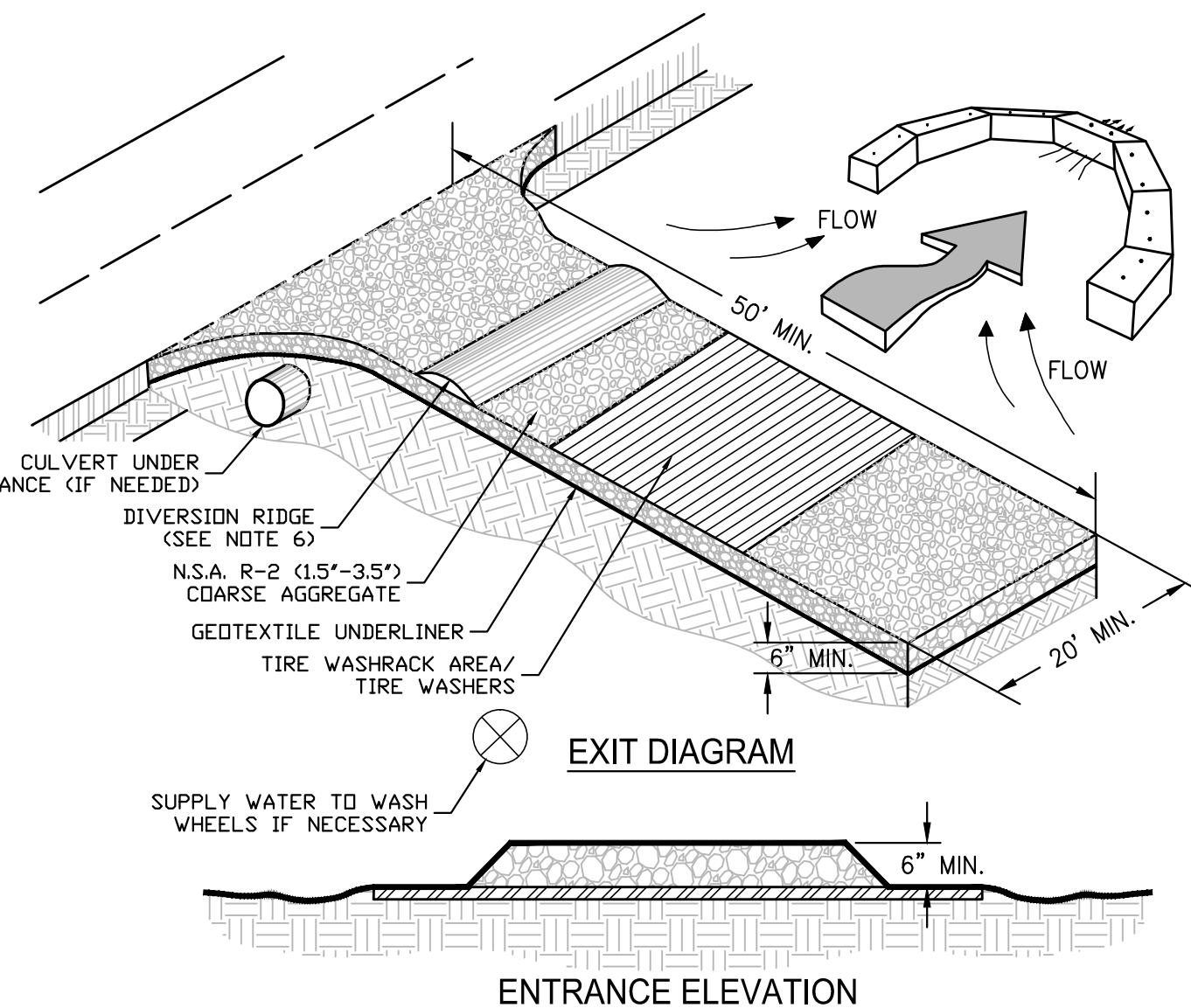
INLET SEDIMENT TRAP DETAIL
INLET FILTER GRAVEL BAG **Sd2-GB**

N.T.S.



INLET SEDIMENT BARRIER

N.T.S.



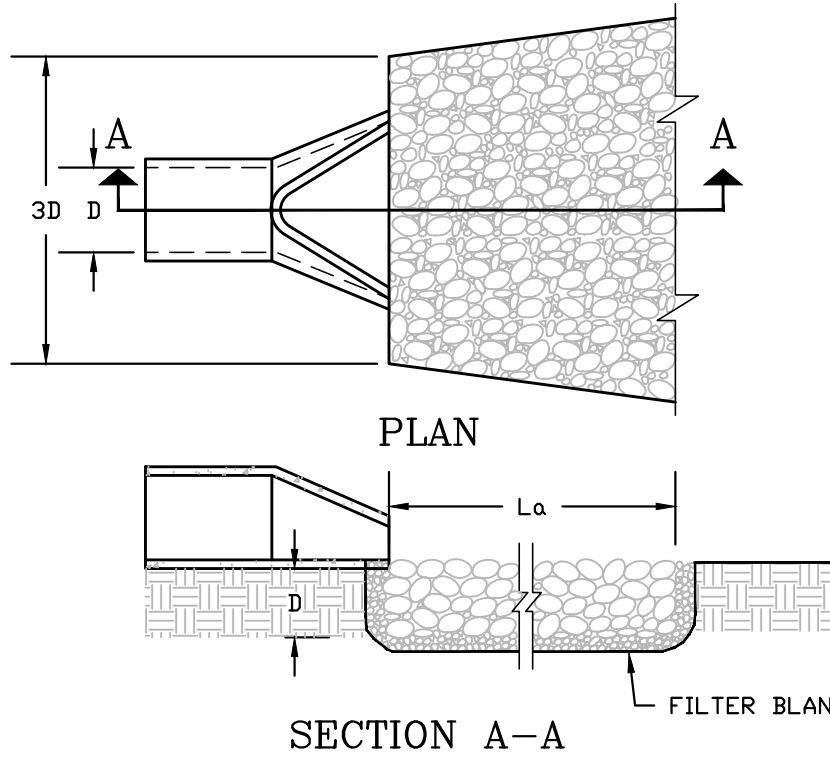
ENTRANCE ELEVATION

- NOTES:**
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 - AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 - PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20".
 - A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 - INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 - WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 - MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

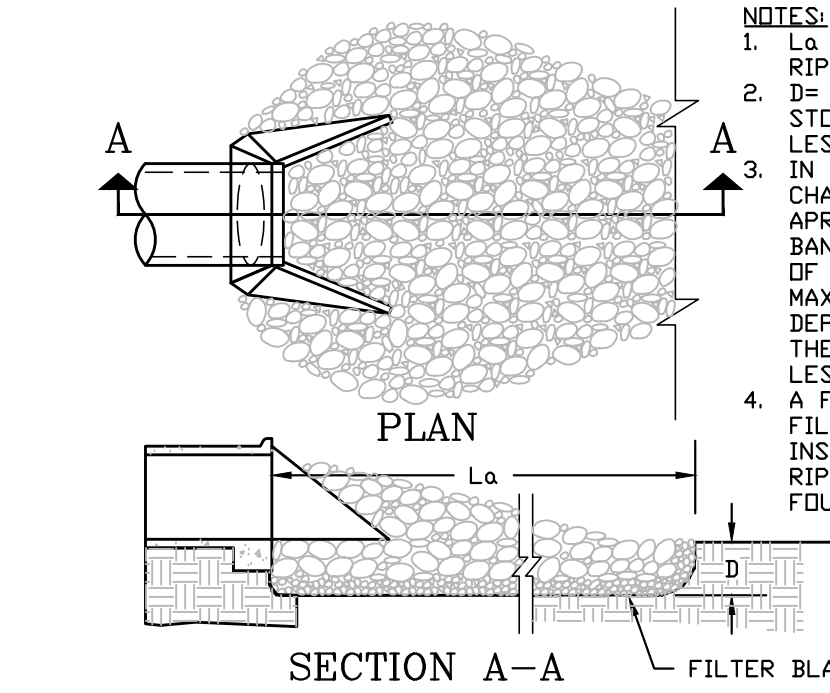
CRUSHED STONE CONSTRUCTION EXIT

N.T.S.

PIPE OUTLET TO FLAT AREA - NO WELL-DEFINED CHANNEL



PIPE OUTLET TO WELL-DEFINED CHANNEL



PIPE RIP-RAP OUTLET PROTECTION **St**

N.T.S.

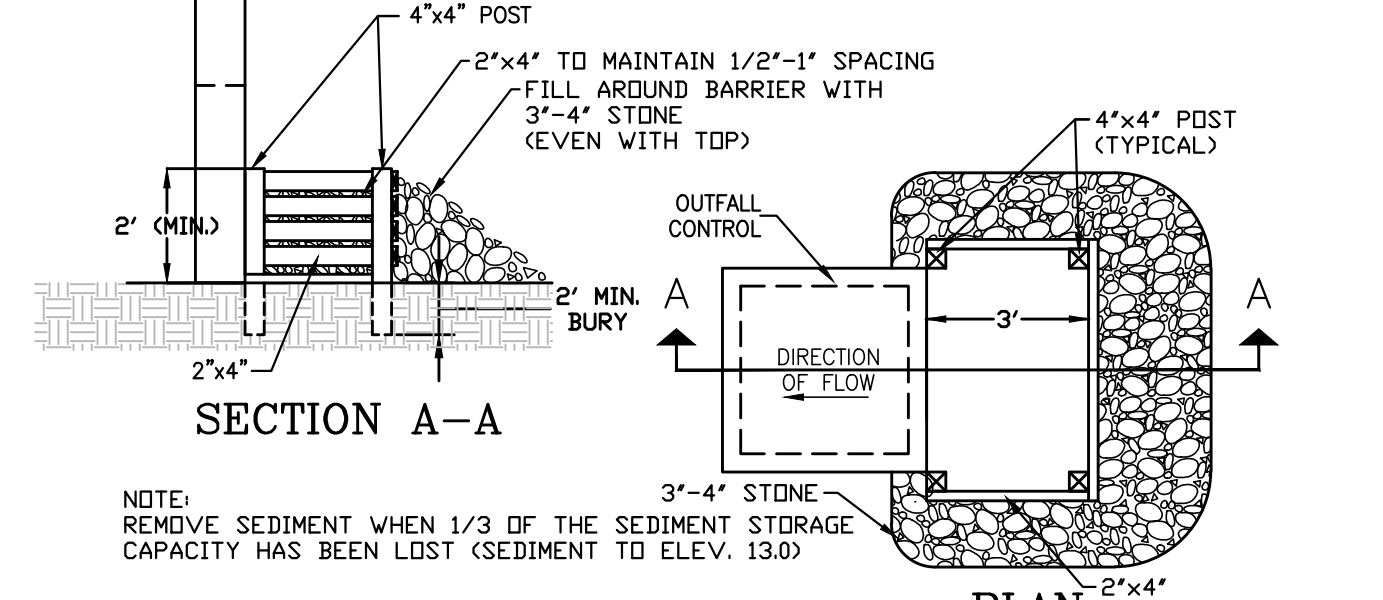
- NOTES:**
- TEMPORARY METHODS
 - MULCHES (DS1) - DISTURBED AREA STABILIZATION (WITH MULCHING ONLY). SYNTHETIC RESINS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL. REFER TO STANDARD TD-TACKIFIERS AND BINDERS. RESINS SUCH AS CURASDL DR TERRATAK SHOULD BE USED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - VEGETATIVE COVER - DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING.
 - SPRAY ON ADHESIVES - THESE ARE USED ON MINERAL SOILS (NON EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. REFER TO TACKIFIERS AND BINDERS.
 - TILLAGE - THIS PRACTICE IS DESIGNED TO ROUGHEN AND BRING CLDS TO THE SURFACE. IT IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE WIND EROSION STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 - IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.
 - BARRIERS - SOLID BOARD FENCES, SNOWFENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.
 - CALCIUM CHLORIDE - APPLY AT A RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.
 - PERMANENT METHODS
 - PERMANENT VEGETATION - DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION). EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
 - TOPSOILING - THIS ENTAILS COVERING THE SURFACE WITH LESS ERODIBLE SOIL MATERIAL.
 - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

SPRAY ON ADHESIVE REQUIREMENTS

ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION (GAL./AC.)
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1	FINE SPRAY	300

DUST CONTROL ON DISTURBED AREAS **Du**

N.T.S.



SLOTTED BOARD DAM WITH STONE FILTER

N.T.S.

Rt-B

HUSSEY GAY BELL
 Established 1958
 329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

WOOD MEADOW APARTMENTS
 COLDBROOK STATION CIRCLE
 PORT WENTWORTH, GEORGIA
 FOR CRN DEVELOPMENT, LLC

EROSION AND SEDIMENT CONTROL DETAILS

DESIGNED: H.F.R. DRAWN: J.J.M. CHECKED: C.J.C.
 DATE: 05/02/2018
 JOB NO. 117297502
 SCALE: 1" = 30'

DRAWING NUMBER
26
 OF 26

Attachment: Wood Meadow Apartment Specific Site Plan 3rd revision JUNE 2018 (1916 - Site Plan Review Application Wood Meadow Apartments JUNE 2018) 7.C.b



May 14, 2018

Mr. Brian Harvey
 Director of Development Services
 City of Port Wentworth
 305 South Coastal Highway
 Port Wentworth, GA 31407

RE: Wood Meadow Apartments (1st Submittal)

Dear Mr. Harvey:

We have the initial submittal for the referenced project. Below are our comments.

- 1) Per the Comprehensive Development Manual (CDM), submit Water/Wastewater Availability Request form.
- 2) Submit water system design calculations.
- 3) Submit sanitary sewer system design calculations.
- 4) Submit reuse water system design calculations.
- 5) Verify if the roads and storm sewer system will be privately owned, as stated in the Hydrology report.
- 6) 8" water valves or larger shall be in manholes. Valve spacing shall be 800' max.
- 7) Add a note that water service pipe shall be SDR 9 HDPE.
- 8) Show Water main easements along the 8" pipe.
- 9) Complete and submit Exhibit 2 from the CDM, Fire Protection Design Requirements & Exhibit 3 Available Fire Flow (AFF).
- 10) Add numbering system to sanitary sewer manholes.
- 11) Maximum sanitary sewer manhole spacing is 350'.
- 12) Show sanitary sewer easements along the 8" pipe and the Pump Station.
- 13) Use standard Port Wentworth water and sewer details.
- 14) No steps allowed in storm or wastewater manholes.
- 15) Provide Pump Station and force main plans and design calculations.
- 16) Submit reuse irrigation plans.
- 17) Minimum pavement width is 24' on the road into the complex.
- 18) Provide storm drain profiles showing water or sewer crossings.
- 19) Add Pre vs. Post Development Detention Analysis for the 2-Year & 5-Year events to the Hydrology Report.
- 20) Change applicable notes. All tracing wire shall be 12 gauge not 14 gauge.
- 21) Provide EPD E&S approval.
- 22) Provide EPD Water & Sewer approval.
- 23) Provide 5 ft. wide sidewalk detail. Show dimensions limits of sidewalk construction. Shade proposed sidewalk. Difficult to distinguish what is existing versus proposed.
- 24) What is replacing the existing concrete island to be removed?

Goodwyn Mills Cawood

424 East Oglethorpe Avenue
 Savannah, GA 31401

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 F (770) 955-1064

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- 25) Show loading dock parking stripes dashed (existing).
- 26) Label SR 21, show right-of-way. Prepare GDOT permit for concrete driveway addition.
- 27) Rename Sheet D.1 to "Standard Water Details" currently named "Erosion Control General Notes.
- 28) Provide erosion control plan and details per GS&WCC utilizing BMP's.

Let us know if there are questions.
Sincerely,

GOODWYN MILLS CAWOOD, INC.

James C. Vaughn, Jr, P.E.
Project Manager

Cc: Hussey Gay Bell (via email)

Attachment: Wood Meadow Apartments Specific Site Plan 1st Comment Letter GMC JUNE 2018 (1916 : Site Plan Review Application Wood

HUSSEY GAY BELL

Established 1958

May 23, 2018

Mr. Brian Harvey
 Director of Development Services
 City of Port Wentworth
 305 South Coastal Highway
 Port Wentworth, GA 31407

RE: Wood Meadow Apartments (1st Submittal)

We have reviewed the comments dated May 14, 2018 by Goodwyn Mills and Cawood, Inc. Our responses to the comments are as follows:

Comments:

1. Per the Comprehensive Development Manual (CDM), submit Water/Wastewater Availability Request form. *Acknowledged. Please see attached form.*
2. Submit water system design calculations.
Acknowledged. Please review the attached design calculations.
3. Submit sanitary system design calculations.
Acknowledged. Please review the attached design calculations.
4. Submit reuse water system design calculations.
Not applicable, there is not an on-site reuse water system.
5. Verify if the roads and storm sewer system will be privately owned, as stated in the Hydrology report. *The proposed interior roadways and drainage system will be private and maintained by the property owner. Please see Plan sheet 2 (Special Notes – No. 2).*
6. 8" water valves or larger shall be in manholes. Valve spacing shall be 800' max.
Acknowledged. Please see the revised plan sheets 7 and 8 showing the placement of all 8" valves in manholes. Also, valves on the 1st submittal plans were adequately spaced and did not require any changes to be made to the spacing of the valves.
7. Add a note that water service pipe shall be SDR9 HDPE.
Acknowledged. Please see the revised plan sheets 7 and 8.
8. Show Water main easements along the 8" pipe.
Acknowledged. Please see the revised plan sheets 7 and 8.

HUSSEY GAY BELL

Established 1958

9. Complete and submit Exhibit 2 from the CDM, Fire Protection Design Requirements & Exhibit 3 Available Fire Flow (AFF). *Acknowledged. Please see attached form.*
10. Add numbering system to sanitary sewer manholes.
Acknowledged. Please see plan sheets 7 and 8.
11. Maximum sanitary sewer manhole spacing is 350'.
Acknowledged. Please see the revised plan sheet 8.
12. Show sanitary sewer easements along the 8" pipe and the Pump Station.
Acknowledged. Please see the revised plan sheets 7 and 8.
13. Use standard Port Wentworth water and sewer details.
Acknowledged. Please see the revised plan sheets 10, 11 and 12.
14. No steps allowed in storm or wastewater manholes.
Acknowledged. Please see the revised plan sheet 12.
15. Provide Pump station and force main plans and design calculations.
Acknowledged. Please see the revised plan sheet 14 along with the attached design calculations.
16. Submit reuse irrigation plans.
Not applicable, there is not an on-site reuse water system.
17. Minimum pavement width is 24' on the road into the complex.
The minimum width of travel way is 24 ft. This has been adhered to. The road starts with 24 ft of asphalt paving to match the existing roadway. Through the first curve in the development, the road width transitions to 22 ft of asphalt paving with 1 ft of gutter on each side. This gives 24 ft of travel way which meets the requirements of the City of Port Wentworth. Throughout the development there is a minimum of 24 ft of travel way for POV and accessible vehicles which meets the requirements of the City.
18. Provide storm drain profiles showing water or sewer crossings.
Acknowledged. Please see the revised plan sheet 9.
19. Add Pre vs. Post Development Detention Analysis for the 2-Year & 5-Year events to the Hydrology Report. *Acknowledged. Please see the revised hydrology report.*
20. Change applicable notes. All tracing wire shall be 12 gauge not 14 gauge.
Acknowledged. Please see the revised plan sheet 2.

HUSSEY GAY BELL*Established 1958*

21. Provide EPD E&S approval.
Acknowledged. The required forms have been submitted to and approved by EPD. Please see the attached approval.
22. Provide EPD Water & Sewer approval.
Applicable forms need to be signed by the City of Port Wentworth with applicable information for submittal to EPD. We desire a conditional approval with the condition being to obtain approval from EPD for water and sewer.
23. Provide 5 ft. wide sidewalk detail. Show dimensions limits of sidewalk construction. Shade proposed sidewalk. Difficult to distinguish what is existing versus proposed.
As discussed via phone call, this comment does not pertain to this project.
24. What is replacing the existing concrete island to be removed?
As discussed via phone call, this comment does not pertain to this project.
25. Show loading dock parking stripes dashed (existing).
As discussed via phone call, this comment does not pertain to this project.
26. Label SR 21, show right-of-way. Prepare GDOT permit for concrete driveway addition.
As discussed via phone call, this comment does not pertain to this project.
27. Rename Sheet D.1 to "Standard Water Details" currently named "Erosion Control General Notes."
As discussed via phone call, this comment does not pertain to this project.
28. Provide erosion control plan and details per GS&WCC utilizing BMWs.
As discussed via phone call, this comment does not pertain to this project.

Should you have any questions or need additional information, please do not hesitate to contact me.

Regards,
Hussey Gay Bell



Jim Kopotic

C.c. C.J. Chance



May 29, 2018

Mr. Brian Harvey
 Director of Development Services
 City of Port Wentworth
 305 South Coastal Highway
 Port Wentworth, GA 31407

RE: Wood Meadow Apartments (1st Submittal)

Dear Mr. Harvey:

We have reviewed the second submittal for the referenced project. Below are our comments.

- 1) Recommend that pump station and all utilities on developer's property remain private.
- 2) Show easement to encompass the entire sewer pump station and its appurtenances.
- 3) Provide a site plan showing a fence around the entire pump station site. meeting minimum GAEPD standards for pump stations, water service, lighting, etc.
- 4) Does pump station have Fall Prevention grating built into access hatch? If so please include.
- 5) Provide pump station buoyancy and design calculations with pump curves.
- 6) Add fencing details.
- 7) Route the 2" FM to the nearest manhole (Top=19.18). Core existing manhole. Do not connect to the existing gravity line.
- 8) Add a FM receiving manhole detail.
- 9) Add back the water service manifold detail and provide backflow protection.
- 10) The 8" DIP water line down stream of Grate Inlet #4 shall have #57 stone placed between the intersection of the two pipes from the spring line of each pipe.
- 11) Match crowns on storm sewer pipe.
- 12) Add storm sewer pipe profiles for G.I. #5 & #6 to pond, add pond outlet pipe profile.
- 13) The grading plan sheet 07, the existing roadway section under construction is crowned thus the proposed roadway needs to match the existing section then create an appropriate transition to an inverted crown section as desired per your design.
- 14) Provide Pump Station and force main plans and design calculations.
- 15) Comply with the City's Reuse Ordinance, i.e., provide reuse irrigation system and associated calculations. Make note that all irrigation piping, valves and fittings shall be pantone purple.
- 16) Provide EPD Water & Sewer approval.
- 17) Provide wetland disturbance permit from USACE.
- 18) Verify that all existing private utilities (water & sanitary sewer systems) meet City standards.

Goodwyn Mills Cawood

424 East Oglethorpe Avenue
 Savannah, GA 31401

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19) Has construction of the two southern apartment buildings, constructed on top of the 20' Access Easement to the billboards, been approved by the easement owner? If so, provide the appropriate documentation.

Let us know if there are questions.
Sincerely,

GOODWYN MILLS CAWOOD, INC.

James C. Vaughn, Jr, P.E.
Project Manager

Cc: Hussey Gay Bell (via email)

Attachment: Wood Meadow Apartments Specific Site Plan 2nd Comment Letter GMC JUNE 2018 (1916 : Site Plan Review Application Wood

HUSSEY GAY BELL*Established 1958*

June 05, 2018

Mr. Brian Harvey
 Director of Development Services
 City of Port Wentworth
 305 South Coastal Highway
 Port Wentworth, GA 31407

RE: Wood Meadow Apartments (1st Submittal)

We have reviewed the comments dated May 29, 2018 by Goodwyn Mills and Cawood, Inc. Our responses to the comments are as follows:

Comments:

1. Recommend that pump station and all utilities on developer's property remain private. *Acknowledged. The pump station and all utilities shall remain private and maintenance for such shall remain the responsibility of the owner. Water shall remain private from the master meter and backflow prevention device to the apartments.*
2. Show easement to encompass the entire sewer pump station and its appurtenances. *The pump station for the development and all sewer shall remain private and therefore not require easements. The water system from the existing water tie-in to the master meter and backflow prevention device has been provided with easements.*
3. Provide a site plan showing a fence around the entire pump station site. Meeting minimum GAEPD standards for pump stations, water services, lighting, etc. *Acknowledged. Please see the revised plan sheet 7.*
4. Does pump station have Fall prevention grating built into access hatch? If so please include. *Acknowledged. Please see the revised plan sheet 15 for the inclusion of safe hatch access by Xylem.*
5. Provide pump station buoyancy and design calculations with pump services. *Acknowledged. Please see the attached calculations.*
6. Add fencing details. *Acknowledged. Please see the revised plan sheet 12.*
7. Route the 2" FM to the nearest manhole (Top=19.18). Core existing manhole. Do not connect the existing gravity line. *Acknowledged. Please see the revised plan sheet 7.*
8. Add a FM receiving manhole detail. *Acknowledged. Please see the revised plan sheet 12.*

HUSSEY GAY BELL*Established 1958*

9. Add back the water service manifold detail and provide backflow protection.
Acknowledged. Please see the revised plan sheet 11.
10. The 8" DIP water line downstream of Grade Inlet #4 shall have #57 stone placed between the intersection of the Mo pipes from the spring line of each pipe. *Acknowledged. Please see the revised plan sheet 9.*
11. Match crowns on storm sewer pipes.
Acknowledged. Please see the revised plan sheets 5, 6 and 9.
12. Add storm sewer pipe profiles for G.I #5 & #6 to pond, add pond outlet pipe profile.
Acknowledged. Please see the revised plan sheet 9.
13. The grading plan sheet 07, the existing roadway section under construction is crowned thus the proposed roadway needs to match the existing section then create an appropriate transition to an inverted crown section as desired per your design.
Acknowledged. Please see the revised plan sheet 5.
14. Provide Pump Station and force main plans and design calculations.
Acknowledged. Please see the attached plans and calculations.
15. Comply with the City's Reuse Ordinance, i.e, provide reuse irrigation system and associated calculation. Make note that all irrigation piping, valves and fittings shall be pantone purple. *Acknowledged. Please see the attached reuse calculations for the site. Irrigation is completed as a design build item by the selected contractor. However, all pipe will be installed as "purple" pipe such that if re-use irrigation is ever delivered to the site, the site is ready.*
16. Provide EPD Water & Sewer approval. *Acknowledged. The Sanitary Sewer Extension form has been completed and is ready to be submitted to EPD once we receive the applicable information and signatures from the City of Port Wentworth. We wish that this be a condition of approval.*
17. Provide wetland disturbance permit from USACE. *Acknowledged. The permit has been applied for and will be forwarded once the permit is received. We wish that this be a condition of approval.*
18. Verify that all existing private utilities (water & sanitary sewer systems) meet City standards. *Acknowledged. The existing utilities meet City standards.*

HUSSEY GAY BELL*Established 1958*

19. Has construction of the two southern apartment buildings, constructed on top of the 20' Access Easement to the billboards, been approved by the easement owner? If so, provide the appropriate documentation. *The access easement existing on the site is from a private party to a private party. It has no bearing on the City. The easement location will be reassigned and the owner will allow the private entities to utilize the private drives they are constructing as a part of the project to access and maintain their property. This is an issue that is being handled independent of City approvals.*

Additional Comment (received June 5, 2018):

1. The water distribution lines for the apartments (from the master meter) will be private. *Acknowledged. Please see the revised plan sheets 7 and 8.*

Should you have any questions or need additional information, please do not hesitate to contact me.

Regards,
Hussey Gay Bell



Jim Kopotic

C.c. C.J. Chance



June 6, 2018

Mr. Brian Harvey
 Director of Development Services
 City of Port Wentworth
 305 South Coastal Highway
 Port Wentworth, GA 31407

RE: Wood Meadow Apartments (3rd Submittal)

Dear Mr. Harvey:

We have reviewed the third submittal for the referenced project. Below are our comments.

- 1) Recommend that pump station and all utilities on developer's property remain private.
- 2) Provide water service line w/backflow prevention and a non-freeze yard hydrant, site lighting, an emergency electrical pump connection (outlet plug) per GAEPD requirements.
- 3) On sheet 15 of the plans & in the Pump Station Report – The PS inlet pipe needs to be an 8" pipe not 4".
- 4) Comply with the City's Reuse Ordinance, i.e., provide reuse irrigation system. Make note that all irrigation piping, valves and fittings shall be pantone purple. The irrigation system must be installed with this project.
- 5) Provide EPD Water & Sewer approval.
- 6) Provide wetland disturbance permit from USACE.

Let us know if there are questions.

Sincerely,

GOODWYN MILLS CAWOOD, INC.

James C. Vaughn, Jr, P.E.
 Project Manager

Cc: Hussey Gay Bell (via email)

Goodwyn Mills Cawood

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Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 06/11/18 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 1917)

DOC ID: 1917

**Subdivision Application submitted by Joshua Akins,
Coleman Company, INC., on behalf of Bald Eagle Partners,
for PIN # 7-0906B-14-003 (Birch Circle) located in a M-P-O
(Master Plan Overlay) Zoning District for a Final Plat of a
Major Subdivision (Parkside Subdivision, Phase 1-C) for the
purpose of Single-Family Homes**

Issue/Item: Subdivision Application submitted by Joshua Akins, Coleman Company, INC., on behalf of Bald Eagle Partners, for PIN # 7-0906B-14-003 (Birch Circle) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Parkside Subdivision, Phase 1-C) for the purpose of Single-Family Homes

Background: This is the Final Plat submittal for Parkside Subdivision, Phase 1-C of the Rice Hope Subdivision. Parkside Subdivision, Phase 1-C includes twenty-eight (28) single family lots on approximately 5.044 acres. The lots will be accessed off Birch Circle and is served by public water and sewer utilities.

Facts and Findings: The construction of this phase complies with the City of Port Wentworth Development Standards, and all requirements of the Subdivision Ordinances have been met.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, June 11, 2018 at 6:30 P.M.

ATTACHMENTS:

- Parkside Subdivision Phase 1-C Application JUNE 2018 (PDF)
- FINAL PLAT 6-1-2018 (PDF)

**SUBDIVISION APPLICATION FORM
FOR THE
CITY OF PORT WENTWORTH**

Application Form Required

This application form is to accompany all subdivisions submitted for Port Wentworth Planning Commission review and is to be filled out in its entirety. Plats/subdivisions not accompanied by this application will not be accepted for processing. All subdivisions with their completed applications must be received by the City of Port Wentworth at least 20 business days prior to the Planning Commission meeting at which they are to be considered. Revisions to a subdivision under review by the Port Wentworth Planning Commission must be received 10 business days prior to the Port Wentworth Planning Commission at which each subdivision is scheduled to be heard.

Subdivision Name: Parkside Subdivision ; Rice Hope Plantation ; Phase 1-C

Location: Surrounded by Lakeside Blvd, Maple St., Dogwood Cir, + Parkside Blvd

Number of Lots: 28

Number of Acres: 5.044 AC

PIN #: 7-09068-14-003

Current Zoning: PUD

Type of Subdivision: (Check applicable blanks from each column)

- A. Sketch Plan
- Master Plan
- Preliminary Plat
- Final Plat
- Revision to a Recorded Plat

- B. Major Subdivision
(4 or more lots or a new road)
- Minor Subdivision
(3 or less lots & no new road)

Purpose of Subdivision:

- Single-Family
- Multi-Family
- Retail
- Other Business

- Industrial
- Institutional
- Other
- Sign

Variances: (List all variances being requested)

Attachment: Parkside Subdivision Phase 1-C Application JUNE 2018 (1917 : Subdivision Application FINAL PLAT Parkside Subdivision Phase

Georgia DOT Review

In all applications in which property being subdivided lies along a State Highway or access is needed from a State Highway, all applicants are required to submit a plat to the Georgia Department of Transportation for review. The subdivision application will not be considered by the Port Wentworth Planning Commission until the Georgia Department of Transportation has commented on the subdivision. The comments must accompany the application.

Previous Submittal

Has this tract of land being proposed for subdividing been submitted to the Port Wentworth Planning Commission under a different subdivision name?

Yes _____ No X

If yes, what name? _____

Date Submitted: _____ PWPC File No: _____

Number of Required Prints

All submittals, regardless of type, shall include fifteen (15) prints. **Final Plats must include a copy of the plat scanned to a CD along with the fifteen (15) printed copies. Stamp must be in contrasting ink.**

Statements as to Covenants/Deed Restrictions: (Check One)

_____ A copy of all existing deed restrictions or subdivision covenants applicable to this property are attached.

_____ There are no added restrictions or subdivision covenants on this property.

Contact Person (s): (Type or Print Legibly)

Engineer/Surveyor: Joshua Atkins / Coleman Company, INC.

Address: 17 Park of Commerce, Suite 201, Savannah, GA Zip Code: 31405

Phone #: 912-200-3041 Fax #: _____

Owner: Paul Larner + Scott Decain / Bald Eagle Partners

Address: 3071 Slate Mills Rd, Sperryville, VA Zip Code: 22740

Phone #: _____ Fax #: _____

Date of Submittal: _____

Attachment: Parkside Subdivision Phase 1-C Application JUNE 2018 (1917 : Subdivision Application FINAL PLAT Parkside Subdivision Phase

Please list all property owners that are adjacent to the parcel to be subdivided including those across the public right-of-way:

See Attachment

Certifications

1. I hereby certify that this proposed subdivision/plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided.
2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding.
3. I hereby certify that I am the owner of the property being proposed for subdivision.
4. I hereby certify that all the information pertained in this application is true and correct.



Signature of Owner

Comments: Place any pertinent comments you wish to make in the following space:

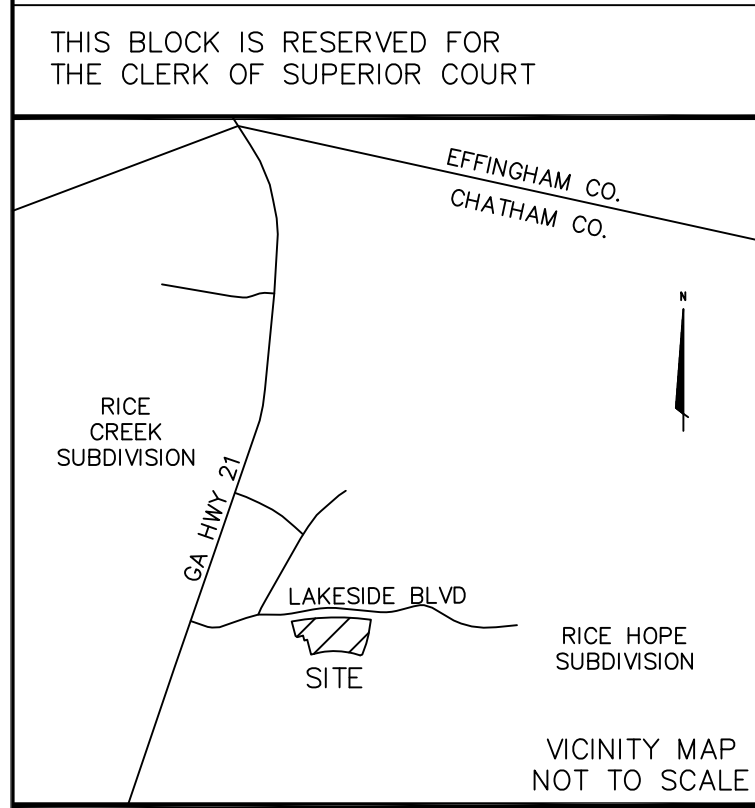
Submit this form along with the proposed subdivision and any accompanying information to:

**CITY OF PORT WENTWORTH
305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GEORGIA 31407**

Parkside Subdivision, Rice Hope adjacent property owners

1. Roni Copeland – 39 Birch Circle, Port Wentworth, Ga 31407
2. Karen Thompson – 5 Parkside Blvd, Port Wentworth, Ga 31407
3. Darrell Smith & Jenn Hagan – 245 Dogwood Cir, Port Wentworth, Ga 31407
4. Cottonwood Homebuilders – 72 Magnolia Marsh Dr, Richmond Hill, Ga 31324
5. Riverside Construction Company – 2368 Marcus Nobles Rd NE, Glenville, Ga 30427
6. Kristian & Theresa Kline – 239 Dogwood Cir, Port Wentworth, Ga 31407
7. Mafia Evans – 237 Dogwood Cir, Port Wentworth, Ga 31407
8. MJF Investment Properties, LLC – 508 N Laural St, Springfield, Ga 31329
9. Donald & Betty Green – 233 Dogwood Cir, Port Wentworth, Ga 31407
10. Michael & Kelly Michaud – 231 Dogwood Cir, Port Wentworth, Ga 31407
11. Riverside Construction Company – 2368 Marcus Nobles Rd NE, Glenville, Ga 30427
12. Darrell Varnum & Jerily Grady – 227 Dogwood Cir, Port Wentworth, Ga 31407
13. MJF Investment Properties, LLC – 508 N Laural St, Springfield, Ga 31329
14. Stanley & Marie Polwort – 232 Dogwood Cir, Port Wentworth, Ga 31407
15. Rice Hope Plantation Community Association, Inc – 14 E State St, Savannah, Ga 31401

Owner Name	Street Address	Street Address 2	City	State	Zip
Coleman Company, Inc	17 Park of Commerce	Suite 201	Savannah	GA	31405
Bald Eagle Partners	3071 Slate Mills Rd		Sperryville	VA	22740
Roni Copeland	39 Birch Circle		Port Wentworth	GA	31407
Karen Thompson	5 Parkside Blvd		Port Wentworth	GA	31407
Darrell Smith & Jenn Hagan	245 Dogwood Cir		Port Wentworth	GA	31407
Cottonwood Homebuilders	72 Magnolia Marsh Dr		Richmond Hill	GA	31324
Riverside Construction Company	2368 Marcus Nobles Rd NE		Glenville	GA	30427
Kristian & Theresa Kline	239 Dogwood Cir		Port Wentworth	GA	31407
Mafia Evans	237 Dogwood Cir		Port Wentworth	GA	31407
MJF Investment Properties, LLC	508 N Laural St		Springfield	GA	31329
Donald & Betty Green	233 Dogwood Cir		Port Wentworth	GA	31407
Michael & Kelly Michaud	231 Dogwood Cir		Port Wentworth	GA	31407
Darrell Varnum & Jerily Grady	227 Dogwood Cir		Port Wentworth	GA	31407
Stanley & Marie Polwort	232 Dogwood Cir		Port Wentworth	GA	31407
Rice Hope Plantation Community Association, Inc	14 E State St		Savannah	GA	31401



- NOTES:**
- THIS SUBDIVISION CONTAINS 28 LOTS.
 - TOTAL AREA: 5.044 AC, 219,728 SF
 - LOTS ARE TO BE SERVED BY CITY OF PORT WENTWORTH WATER AND SANITARY SEWER SYSTEMS.
 - PROPERTY ADDRESS: LAKESIDE BOULEVARD PORT WENTWORTH, GA 31407
 - PARENT PARCEL IDENTIFICATION NUMBER: 7-0906B-14-003. THIS PROPERTY IS CURRENTLY ZONED PUD.
 - THE HORIZONTAL DATUM OF THIS PLAT IS BASED ON GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, NAD 83.
 - BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBERS 13051C0030F, EFFECTIVE DATE: SEPTEMBER 26, 2008.
 - ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ZONING ORDINANCES.
 - THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 - ALL WETLANDS ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREA WITHOUT PROPER PERMIT APPLICATION & APPROVAL.
 - ADDITIONAL EASEMENTS MAY BE REQUIRED UPON COMPLETION OF ASBUILT INFORMATION.
 - PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY PERMITS, THE BUILDING PERMIT APPLICANTS FOR ALL LOTS SHALL BE REQUIRED TO INSTALL A SIDEWALK ALONG THEIR RESPECTIVE LOTS ON ALL STREETS IN ACCORDANCE WITH THE CITY OF PORT WENTWORTH SUBDIVISION REGULATIONS AND APPROVED CONSTRUCTION PLANS.
 - ALL STREETS, RIGHTS-OF-WAY, EASEMENTS, AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USE INTENDED.

OWNER: BALD EAGLE PARTNERS

LOT #	ACRE	SF	ADDRESS	FFE
1	0.100	4,364	37 BIRCH CIRCLE	21.1'
2	0.116	5,066	35 BIRCH CIRCLE	20.2'
3	0.101	4,400	33 BIRCH CIRCLE	20.2'
4	0.101	4,400	31 BIRCH CIRCLE	20.5'
5	0.101	4,400	29 BIRCH CIRCLE	20.8'
6	0.101	4,400	27 BIRCH CIRCLE	20.8'
7	0.101	4,391	25 BIRCH CIRCLE	20.8'
8	0.101	4,400	23 BIRCH CIRCLE	20.6'
9	0.101	4,400	21 BIRCH CIRCLE	20.9'
10	0.101	4,400	19 BIRCH CIRCLE	20.9'
11	0.101	4,400	17 BIRCH CIRCLE	20.7'
12	0.106	4,624	15 BIRCH CIRCLE	20.5'
13	0.105	4,553	13 BIRCH CIRCLE	20.5'
14	0.105	4,580	40 BIRCH CIRCLE	19.3'
15	0.111	4,843	38 BIRCH CIRCLE	19.7'
16	0.111	4,843	36 BIRCH CIRCLE	20.2'
17	0.103	4,500	34 BIRCH CIRCLE	20.6'
18	0.101	4,403	32 BIRCH CIRCLE	21.1'
19	0.101	4,406	30 BIRCH CIRCLE	21.5'
20	0.102	4,425	28 BIRCH CIRCLE	21.6'
21	0.101	4,383	26 BIRCH CIRCLE	21.6'
22	0.101	4,410	24 BIRCH CIRCLE	21.4'
23	0.101	4,408	22 BIRCH CIRCLE	21.2'
24	0.101	4,406	20 BIRCH CIRCLE	21.0'
25	0.101	4,403	18 BIRCH CIRCLE	20.8'
26	0.103	4,467	16 BIRCH CIRCLE	20.5'
27	0.111	4,848	14 BIRCH CIRCLE	20.3'
28	0.102	4,424	12 BIRCH CIRCLE	20.0'
LOT TOTAL	2.891	125,947		
LANDSCAPE BUFFER A	1.097	47,782		
LANDSCAPE BUFFER B/ UTILITY EASEMENT	0.335	14,560		
BUFFER TOTAL	1.432	62,342		
RIGHT-OF-WAY	0.721	31,424		
TOTAL AREA	5.044	219,713		

CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	776.62'	2414.50'	18°25'45"	391.70'	N88°43'01"E	773.28'
C2	18.50'	781.61'	1°21'21"	9.25'	S11°49'40"W	18.50'
C3	50.01'	781.61'	3°39'58"	25.02'	S14°20'20"W	50.00'
C4	21.58'	781.61'	1°34'55"	10.79'	S16°57'47"W	21.58'
C5	90.09'	781.61'	6°36'14"	45.09'	S14°27'07"W	90.04'
C6	456.18'	765.00'	34°09'58"	235.10'	N87°55'01"W	449.45'
C7	42.05'	275.00'	8°45'40"	21.07'	N79°14'07"W	42.01'
C8	19.77'	275.00'	4°07'09"	9.89'	N85°40'32"W	19.77'
C9	61.82'	275.00'	12°52'49"	31.04'	N81°17'42"W	61.69'
C10	3.12'	1025.00'	0°10'27"	1.56'	N87°38'53"W	3.12'
C11	0.50'	275.00'	0°06'13"	0.25'	N87°36'46"W	0.50'
C12	57.46'	275.00'	11°58'18"	28.83'	S86°20'59"W	57.35'
C13	25.79'	275.00'	5°22'24"	12.90'	S77°40'38"W	25.78'
C14	83.75'	275.00'	17°26'54"	42.20'	S83°42'54"W	83.42'
C15	15.17'	325.00'	2°40'31"	7.59'	N74°51'17"W	15.17'
C16	37.70'	325.00'	6°38'48"	18.87'	N80°59'27"W	37.68'
C17	37.70'	325.00'	6°38'48"	18.87'	N87°38'10"E	37.68'
C18	8.39'	325.00'	1°28'47"	4.20'	S88°18'03"E	8.39'
C19	98.97'	325.00'	17°26'54"	49.87'	N83°42'54"E	98.59'
C20	2.96'	975.00'	0°10'27"	1.48'	S87°38'53"E	2.96'
C21	5.54'	325.00'	0°58'37"	2.77'	S86°18'55"W	5.54'
C22	37.70'	325.00'	6°38'48"	18.87'	S83°28'05"E	37.68'
C23	29.82'	325.00'	5°15'24"	14.92'	S77°28'59"E	29.81'
C24	73.06'	325.00'	12°52'49"	36.69'	S81°17'42"E	72.91'

REFERENCE:

- SUBDIVISION MAP BOOK 355, PAGE 33A-B.
- SUBDIVISION MAP BOOK 365, PAGE 54A-F.
- PLAT RECORD BOOK 33P, PAGE 88.
- DEED BOOK 3910, PAGE 391.

SURVEY DATE: 9/23/2017
EQUIPMENT USED: ELECTRONIC TOTAL STATION
ANGULAR ERROR PER "Δ" = 02"
ADJUSTED BY LEAST SQUARES
PLAT ERROR OF CLOSURE: 1/240,165
FIELD ERROR OF CLOSURE: 1/137,870

LEGEND

- BENCHMARK
- 1" IRON PIPE FOUND WITH CAP (T&H)
- IPS 1" IRON PIPE SET
- CMS CONCRETE MONUMENT SET

MINIMUM BUILDING SETBACKS

FRONT SETBACK: 15'
REAR SETBACK: 15'
SIDE SETBACK: MINIMUM 10' BUILDING SEPARATION, EXCLUDING FIREPLACES, BOX/BAY WINDOWS, STEPS, ETC.

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:

APPROVED BY MAYOR AND COUNCIL, PORT WENTWORTH

MAYOR _____

COUNCILMAN _____ COUNCILMAN _____

COUNCILMAN _____ COUNCILMAN _____

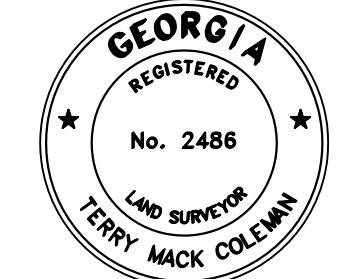
COUNCILMAN _____ COUNCILMAN _____

APPROVED BY THE CHATHAM COUNTY DEPARTMENT OF PUBLIC HEALTH, DIVISION OF ENVIRONMENTAL HEALTH

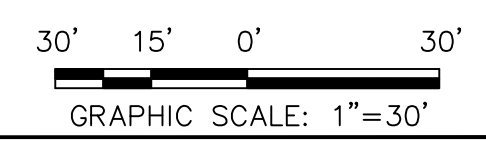
DIRECTOR _____ DATE _____

PARKSIDE AT RICE HOPE PHASE 2-A

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



TERRY MACK COLEMAN
GA REG. LAND SURVEYOR NO. 2486
COLEMAN COMPANY, INC.
CERTIFICATE OF AUTHORIZATION: LSF 1167



A MAJOR SUBDIVISION OF A 5.04 ACRE PORTION OF THE REMAINING LANDS OF TRACT A-1, THE FORMER JULIAN F. CHISHOLM TRACT, 8TH G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA
PREPARED FOR: BALD EAGLE PARTNERS

MAJOR SUBDIVISION

DATE: 5/3/2018
SCALE: 1"=30'
JOB #: 17-574
DRAWN BY: JPA
CHECKED BY:

SHEET 1/1