



CITY OF PORT WENTWORTH

PLANNING COMMISSION

JANUARY 16, 2018

Council Meeting Room

Regular Meeting

6:30 PM

305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

2. PRAYER AND PLEDGE OF ALLEGIANCE

3. ROLL CALL - SECRETARY

4. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - Dec 11, 2017 6:30 PM

5. ZONING MAP AMENDMENTS (REZONING)

6. ZONING TEXT AMENDMENTS (ORDINANCES)

7. SITE PLAN/SUBDIVISION APPROVAL

A. Subdivision Application submitted by Terry Coleman, Coleman Company Inc., on behalf of BEP Rice Hope LLC., for PIN # 7-0906B-14-003 (Lakeside Boulevard) located in a M-P-O (Master Plan Overlay) Zoning District for a Preliminary Plat of a Major Subdivision (Parkside Subdivision) for the purpose of Single-Family Homes

- Public Hearing
- Action

B. Site Plan Review Application submitted by Greg Coleman, Coleman Company, Inc., on behalf of BEP Rice Hope LLC for PIN #: 7-0906B-14-003 (Lakeside Boulevard) for a Specific Development Plan to allow a Single Family Residential Development in a MPO (Master Plan Overlay) Zoning District

- Public Hearing
- Action

C. Subdivision Application submitted by Michael Hussey, Sundial Land Surveying, PC., on behalf of Fox Haven Properties, LLC, for PIN #: 7-0978-01-025 (Roseberry Circle) located in a P-RIP (Planned Residential Institutional) Zoning District for a Final Plat of a Major Subdivision (St. Augustine Town Homes) for the purpose of Townhomes

- Public Hearing
- Action

8. ADJOURNMENT



CITY OF PORT WENTWORTH

PLANNING COMMISSION

DECEMBER 11, 2017

Council Meeting Room

Regular Meeting

6:30 PM

305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

Chairman Linda Smith called the meeting to order.

2. PRAYER AND PLEDGE OF ALLEGIANCE

Chairman Linda Smith led in Prayer and the Pledge of Allegiance.

3. ROLL CALL - SECRETARY

*It was noted that Sylvia Hinely resigned her Commission seat during the month of November 2017

Attendee Name	Title	Status	Arrived
Linda Smith	Chairperson	Present	
Joseph Dobry	Planning Commissioner	Present	
Jerry Bogus	Planning Commissioner	Absent	
Larry Longo	Planning Commissioner	Present	
Rufus Bright	Planning Commissioner	Present	
Rosetta Franklin	Planning Commissioner	Present	
Donna Blalock	Planning Commissioner	Present	
Brian Harvey	Director of Development Services	Present	
Melanie Ellis	Administrative Secretary	Present	

4. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - Oct 9, 2017 6:30 PM

RESULT: ACCEPTED [UNANIMOUS]
MOVER: Joseph Dobry, Planning Commissioner
SECONDER: Donna Blalock, Planning Commissioner
AYES: Dobry, Longo, Bright, Franklin, Blalock
ABSENT: Bogus

5. ZONING MAP AMENDMENTS (REZONING)

6. ZONING TEXT AMENDMENTS (ORDINANCES)

7. SITE PLAN/SUBDIVISION APPROVAL

A. Site Plan Review Application submitted by Sean Register, on behalf of Port Fuel Center, LLC., for PIN #'s 7-0018-02-001, 003, 004, 005, 006, 007, 008, 009, 009A, 010, 011, 012, 013, 014 (Grange Rd & Highway 21) for a General Development Site Plan to allow a Truck Stop / Gas Station in a P-C-3 (Planned General Business) Zoning District.

Mr. Harvey informed the Commission that the application was complete. The applicant, Sean Register, was present and gave a short presentation of the project, and offered to

Minutes Acceptance: Minutes of Dec 11, 2017 6:30 PM (ADOPTION OF MINUTES)

answer any questions the Commission may have. The Commission asked several questions regarding truck parking and lighting. Donald Wilson, 1 Fries Road, spoke in favor of the application. After several minutes of discussion, Larry Longo made the motion to approve the application. Rosetta Franklin seconded the motion to approve. The vote was unanimous.

RESULT: APPROVED [UNANIMOUS]
MOVER: Larry Longo, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Dobry, Longo, Bright, Franklin, Blalock
ABSENT: Bogus

- B. Alcoholic Beverage License Application submitted by Anne W. Groves for a Package Shop License for Randall's Beverage Center, LLC., (8210 Highway 21) located in a P-C-3 (Planned General Business) Zoning District.

Mr. Harvey informed the Commission that the application was complete. The applicant, Anne W. Groves, was present to answer any questions. Murray Marshall spoke in favor of the application. The Commission asked questions regarding the references listed on the application. After several minutes of discussion Joseph Dobry made a motion to approve. Donna Blalock seconded the motion. The vote was unanimous.

RESULT: APPROVED [UNANIMOUS]
MOVER: Joseph Dobry, Planning Commissioner
SECONDER: Donna Blalock, Planning Commissioner
AYES: Dobry, Longo, Bright, Franklin, Blalock
ABSENT: Bogus

- C. Site Plan Review Application submitted by Maupin Engineering, on behalf of Darel Sapp for PIN #'s: 7-0039B-01-002 , 003 (184 Godley Road) for a Specific Development Site Plan to allow a Wrecker Service in a P-I-1 (Planned Industrial) Zoning District

Mr. Harvey informed the Commission that the application was complete. Jay Maupin was present on behalf of the applicant to answer any questions. The Commission asked questions regarding the private well, private septic system, and the gravel lot. After several minutes of discussion Rosetta Franklin made a motion to approve the application. Rufus Bright seconded the motion to approve. The Vote was unanimous.

RESULT: APPROVED [UNANIMOUS]
MOVER: Rosetta Franklin, Planning Commissioner
SECONDER: Rufus Bright, Planning Commissioner
AYES: Dobry, Longo, Bright, Franklin, Blalock
ABSENT: Bogus

- D. Site Plan Review Application submitted by Maupin Engineering, on behalf of Yash Desai for PIN #: 7-0906-04-029 (2 Magnolia Boulevard) for a Specific Development Site Plan to allow a Gas Station / Convenience Store with a Retail Space in a MPO (Master Plan Overlay) Zoning District

Mr. Harvey informed the Commission that the application was complete. Jay Maupin was present on behalf of the applicant to answer any questions. The Commission asked questions regarding bike parking, the retail spaces and the engineer review comment letter. Murray Marshal spoke in favor of the application. After several minutes of discussion Joseph Dobry made a motion to approve the application. Rosetta Franklin seconded the motion to approve. The Vote was unanimous.

Minutes Acceptance: Minutes of Dec 11, 2017 6:30 PM (ADOPTION OF MINUTES)

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Joseph Dobry, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Dobry, Longo, Bright, Franklin, Blalock
ABSENT: Bogus

8. ELECTION OF CHAIRMAN

A. Election of Chairman

Larry Longo nominated Joseph Dobry to be the Chairman of the Planning Commission. Rosetta Franklin seconded the motion. Commissioners Longo, Franklin and Blalock voted to approve. Commissioner Bright voted to deny. The vote passes 3 to 1.

RESULT: **ADOPTED [3 TO 1]**
MOVER: Larry Longo, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Longo, Franklin, Blalock
NAYS: Bright
ABSENT: Bogus
RECUSED: Dobry

9. ADJOURNMENT

There being no further business to discuss, Commissioner Dobry made a motion to adjourn the meeting. Commissioner Blalock seconded the motion to adjourn. The vote was unanimous.

Joseph Dobry, Chairman

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2018.

Larry Longo, Secretary

Minutes Acceptance: Minutes of Dec 11, 2017 6:30 PM (ADOPTION OF MINUTES)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 01/16/18 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SCHEDULED

AGENDA ITEM (ID # 1802)

DOC ID: 1802

**Subdivision Application submitted by Terry Coleman,
Coleman Company Inc., on behalf of BEP Rice Hope LLC., for
PIN # 7-0906B-14-003 (Lakeside Boulevard) located in a M-P-
O (Master Plan Overlay) Zoning District for a Preliminary Plat
of a Major Subdivision (Parkside Subdivision) for the
purpose of Single-Family Homes**

Issue/Item: Subdivision Application submitted by Terry Coleman, Coleman Company Inc., on behalf of BEP Rice Hope LLC., for PIN # 7-0906B-14-003 (Lakeside Boulevard) located in a M-P-O (Master Plan Overlay) Zoning District for a Preliminary Plat of a Major Subdivision (Parkside Subdivision) for the purpose of Single-Family Homes

Background: This is the Preliminary Plat submittal for Parkside Subdivision of the Rice Hope Subdivision. Parkside Subdivision includes twenty-eight (28) single family lots on approximately 5.044 acres. The lots can be accessed from Parkside Boulevard and Maple Street. The property has existing water and sewer utilities connections.

Facts and Findings: The application appears to be complete. The application is currently under review by the City engineers, Goodwyn, Mills, & Cawood. Birch Circle will be extended from Parkside Boulevard to Maple Street.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Tuesday, January 16, 2017 at 6:30 PM.

ATTACHMENTS:

- Subdivision Application Preliminary Plat Parkside Subdivision January 2018 (PDF)
- Parkside Subdivision PRELIMINARY PLAT January 2018 (PDF)

**SUBDIVISION APPLICATION FORM
FOR THE
CITY OF PORT WENTWORTH**

Application Form Required

This application form is to accompany **all** subdivisions submitted for Port Wentworth Planning Commission review and is to be filled out in its **entirety**. Plats/subdivisions not accompanied by this application will not be accepted for processing. All subdivisions with their completed applications must be received by the City of Port Wentworth at least 20 business days prior to the Planning Commission meeting at which they are to be considered. Revisions to a subdivision under review by the Port Wentworth Planning Commission must be received 10 business days prior to the Port Wentworth Planning Commission at which each subdivision is scheduled to be heard.

Subdivision Name: Parkside Subdivision, 28 Lots

Location: Lakeside Boulevard Accessible from: Parkside Boulevard and Maple Street

Number of Lots: 28 Number of Acres: 5.044

PIN #: 7-0906B-14-003 Current Zoning: M-P-O

Type of Subdivision: (Check applicable blanks from each column)

- A. Sketch Plan
- Master Plan
- Preliminary Plat
- Final Plat
- Revision to a Recorded Plat

- B. Major Subdivision
(4 or more lots or a new road)
- Minor Subdivision
(3 or less lots & no new road)

Purpose of Subdivision:

- Single-Family
- Multi-Family
- Retail
- Other Business

- Industrial
- Institutional
- Other
- Sign

VariANCES: (List all variances being requested)

Attachment: Subdivision Application Preliminary Plat Parkside Subdivision January 2018 (1802 : Subdivision Application Parkside Subdivision

Georgia DOT Review

In all applications in which property being subdivided lies along a State Highway or access is needed from a State Highway, all applicants are required to submit a plat to the Georgia Department of Transportation for review. The subdivision application will not be considered by the Port Wentworth Planning Commission until the Georgia Department of Transportation has commented on the subdivision. The comments must accompany the application.

Previous Submittal

Has this tract of land being proposed for subdividing been submitted to the Port Wentworth Planning Commission under a different subdivision name?

Yes _____ No _____

If yes, what name? _____

Date Submitted: _____ PWPC File No: _____

Number of Required Prints

All submittals, regardless of type, shall include fifteen (15) prints. **Final Plats must include a copy of the plat scanned to a CD along with the fifteen (15) printed copies. Stamp must be in contrasting ink.**

Statements as to Covenants/Deed Restrictions: (Check One)

A copy of all existing deed restrictions or subdivision covenants applicable to this property are attached.
 There are no added restrictions or subdivision covenants on this property.

Contact Person (s): (Type or Print Legibly)

Engineer/Surveyor: Terry Coleman

Address: 17 Park of Commerce, Suite 201 Savannah, GA Zip Code: 31405

Phone #: 912-200-3041 Fax #: _____

Owner: BEP Rice Hope LLC

Address: 4800 Hampden Lane, Suite 200 Bethesda, MD Zip Code: 20814

Phone #: 301-915-0460 Fax #: _____

Date of Submittal: 12/6/2017

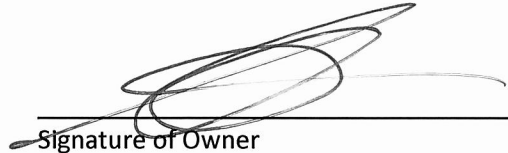
Attachment: Subdivision Application Preliminary Plat Parkside Subdivision January 2018 (1802 : Subdivision Application Parkside Subdivision

Please list all property owners that are adjacent to the parcel to be subdivided including those across the public right-of-way:

see attachment

Certifications

1. I hereby certify that this proposed subdivision/plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided.
2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding.
3. I hereby certify that I am the owner of the property being proposed for subdivision.
4. I hereby certify that all the information pertained in this application is true and correct.



Signature of Owner

Comments: Place any pertinent comments you wish to make in the following space:

Submit this form along with the proposed subdivision and any accompanying information to:

CITY OF PORT WENTWORTH
305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GEORGIA 31407

Attachment: Subdivision Application Preliminary Plat Parkside Subdivision January 2018 (1802 : Subdivision Application Parkside Subdivision

Adjacent Property Owners

Roni J Copeland
3 Parkside Blvd, Port Wentworth, Ga 31407
7-0906B-14-002

Karen D Thompson
5 Parkside Blvd, Port Wentworth, Ga 31407
7-0906B-14-001

Desiree M Balconi
7 Parkside Blvd, Port Wentworth, Ga 31407
7-0906B-13-003

Darrell T Smith & Jenn Hagan
245 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-004

Cotton Wood Homebuilders, Inc.
72 Magnolia Marsh Dr, Richmond Hill, Ga 31324
7-0906B-13-005

Riverside Construction Company
2368 Marcus Nobles Rd NE, Glennville, GA 30427
7-0906B-13-006

Kristian D & Theresa Kline
239 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-007

Mafia Jenell Evans
237 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-008

MJF Investment Properties, Inc.
508 N Laurel Street, Springfield, GA 31329
7-0906B-13-009

Donald & Betty Green
233 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-010

Michael & Kelly Michaud
231 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-011

Riverside Construction Company
2368 Marcus Nobles Rd NE, Glennville, GA 30427
7-0906B-13-012

Darrell Varnum & Jeri Ly Grady
227 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-013

MJF Investment Properties, Inc.
508 N Laurel Street, Springfield, GA 31329
7-0906B-13-014

BEP Rice Hope, LLC
14 East State Street, Savannah, Ga 31401
7-0906B-13-015

Stanley & Marie Polwort
232 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-15-002

City of Port Wentworth

305 South Coastal Highway, Port Wentworth, Georgia 31407

Phone 912-966-7427 Fax 912-966-3699 mellis@cityofportwentworth.com

INVOICE #144

Customer

Coleman Company Inc

17 Park of Commerce, Suite 201

Savannah, GA 31405

Invoice Date 12/19/2017

Sales Person Melanie Ellis

Permit # 140986

Phone 912-200-3041

Fax

Job	Payment Due	Payment Terms
Parkside Subdivision-Subdivision Application	12/19/2017	Due on Receipt

Product	Quantity	Unit Price	Line Total
ADMINISTRATIVE FEE	1	\$50.000	\$50.00
PRELIMINARY PLAN (MAJOR SUBDIVISION) BASE RATE	1	\$416.000	\$416.00
PRELIMINARY PLAN (MAJOR SUBDIVISION) PER LOT	28	\$50.000	\$1,400.00

Subdivision Application

Products Total	\$1,866.00
Invoice Total	\$1,866.00

Thank you for your business

City of Port Wentworth 305 South Coastal Highway, Port Wentworth, Georgia 31407

Phone 912-966-7427 Fax 912-966-3699 mellis@cityofportwentworth.com



COLEMAN COMPANY INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041

UNITED COMMUNITY BANK 64-1284
611


69

One Thousand Eight Hundred Sixteen and no/100

DATE		AMOUNT
12/06/17	6955	\$1,816.00

PAY
TO THE
ORDER
OF

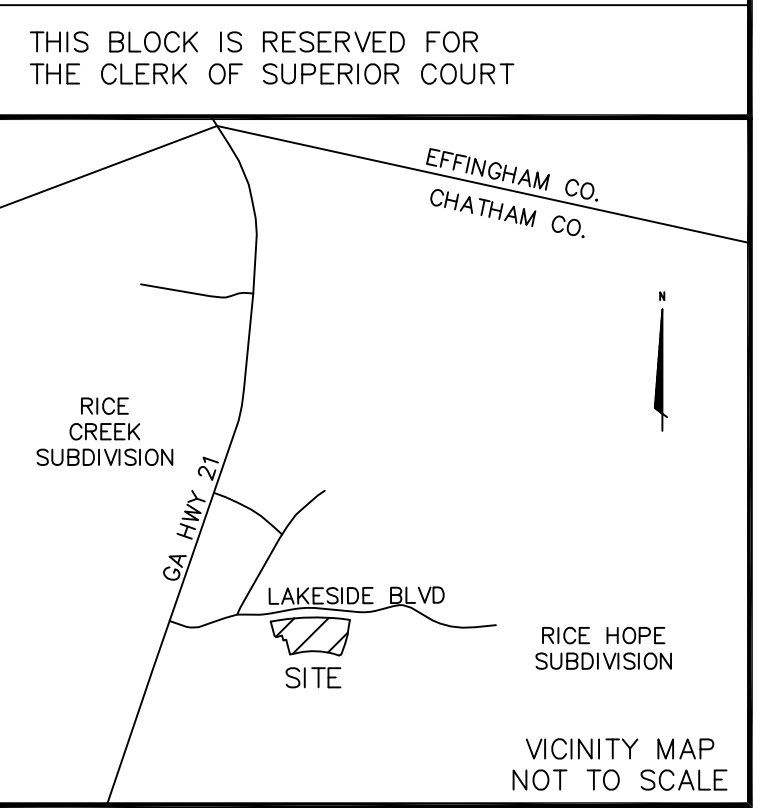
CITY OF PORT WENTWORTH



AUTHORIZED SIGNATURE

⑈006955⑈ ⑆061112843⑆ 2088117565⑈

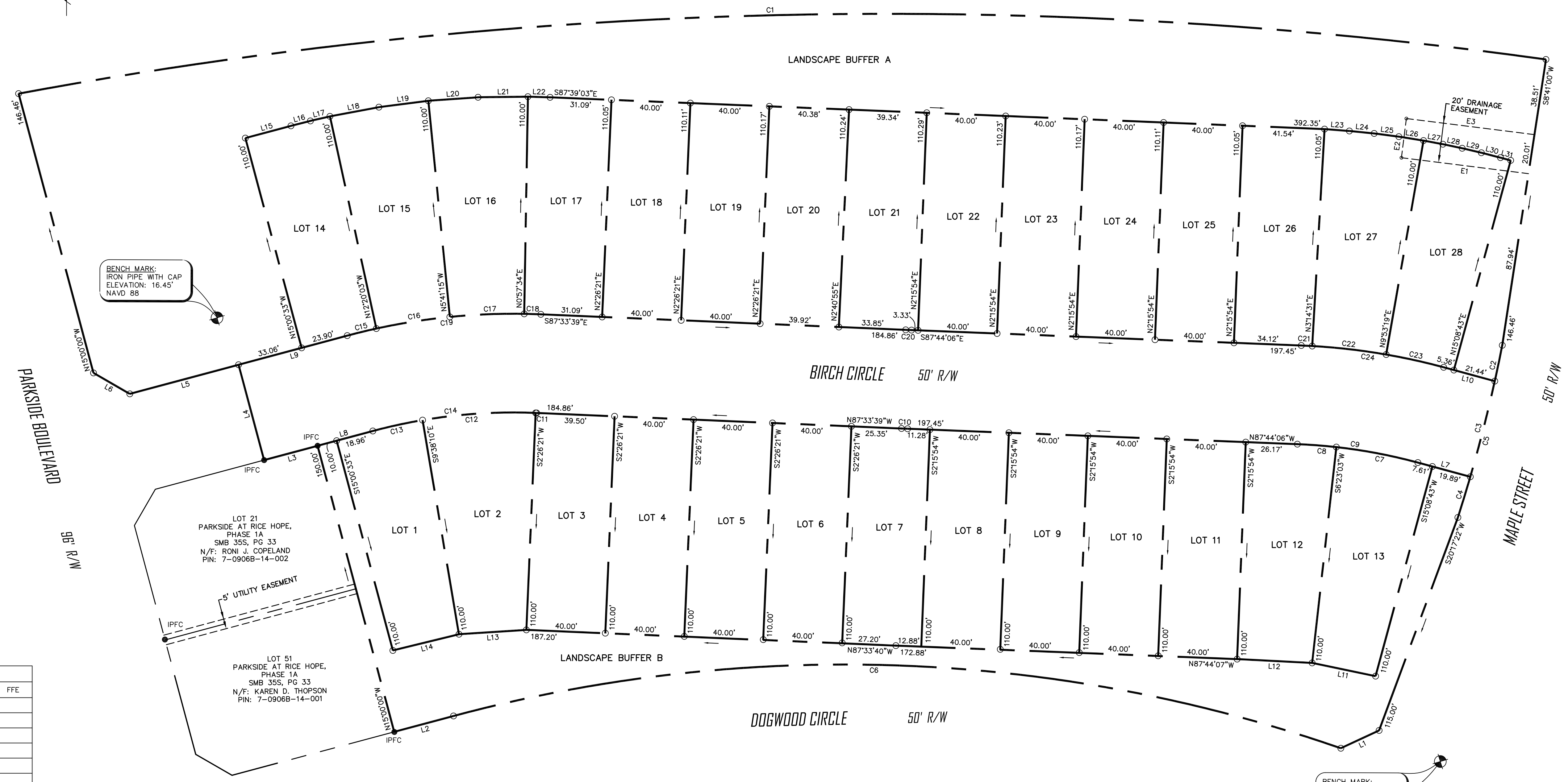
Attachment: Subdivision Application Preliminary Plat Parkside Subdivision January 2018 (1802 : Subdivision Application Parkside Subdivision



- NOTES:**
1. THIS SUBDIVISION CONTAINS 25 LOTS.
 2. TOTAL AREA: 5.044 AC, 219,728 SF
 3. LOTS ARE TO BE SERVED BY CITY OF PORT WENTWORTH WATER AND SANITARY SEWER SYSTEMS.
 4. PROPERTY ADDRESS: LAKESIDE BOULEVARD, PORT WENTWORTH, GA 31407
 5. PARENT PARCEL IDENTIFICATION NUMBER: 7-0906B-14-003.
 6. THIS PROPERTY IS CURRENTLY ZONED PUD.
 7. THE HORIZONTAL DATUM OF THIS PLAT IS BASED ON GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, NAD 83.
 8. BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBERS 13051C0030F, EFFECTIVE DATE: SEPTEMBER 26, 2008.
 9. ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ZONING ORDINANCES.
 10. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 11. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREA WITHOUT PROPER PERMIT APPLICATION & APPROVAL.
 12. ADDITIONAL EASEMENTS MAY BE REQUIRED UPON COMPLETION OF ASBUILT INFORMATION.
 13. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY PERMITS, THE BUILDING PERMIT APPLICANTS FOR ALL LOTS SHALL BE REQUIRED TO INSTALL A SIDEWALK ALONG THEIR RESPECTIVE LOTS ON ALL STREETS IN ACCORDANCE WITH THE CITY OF PORT WENTWORTH SUBDIVISION REGULATIONS AND APPROVED CONSTRUCTION PLANS.
 14. ALL STREETS, RIGHTS-OF-WAY, EASEMENTS, AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USE INTENDED.

OWNER

LOT TABLE				
LOT #	ACRE	SF	ADDRESS	FFE
1	0.100	4,364	BIRCH CIRCLE	
2	0.116	5,066	BIRCH CIRCLE	
3	0.101	4,400	BIRCH CIRCLE	
4	0.101	4,400	BIRCH CIRCLE	
5	0.101	4,400	BIRCH CIRCLE	
6	0.101	4,400	BIRCH CIRCLE	
7	0.101	4,391	BIRCH CIRCLE	
8	0.101	4,400	BIRCH CIRCLE	
9	0.101	4,400	BIRCH CIRCLE	
10	0.101	4,400	BIRCH CIRCLE	
11	0.101	4,400	BIRCH CIRCLE	
12	0.106	4,624	BIRCH CIRCLE	
13	0.105	4,553	BIRCH CIRCLE	
14	0.105	4,580	BIRCH CIRCLE	
15	0.111	4,843	BIRCH CIRCLE	
16	0.111	4,843	BIRCH CIRCLE	
17	0.103	4,500	BIRCH CIRCLE	
18	0.101	4,403	BIRCH CIRCLE	
19	0.101	4,406	BIRCH CIRCLE	
20	0.102	4,425	BIRCH CIRCLE	
21	0.101	4,383	BIRCH CIRCLE	
22	0.101	4,410	BIRCH CIRCLE	
23	0.101	4,408	BIRCH CIRCLE	
24	0.101	4,406	BIRCH CIRCLE	
25	0.101	4,403	BIRCH CIRCLE	
26	0.103	4,467	BIRCH CIRCLE	
27	0.111	4,848	BIRCH CIRCLE	
28	0.102	4,424	BIRCH CIRCLE	
LOT TOTAL	2.891	125,947		
LANDSCAPE BUFFER A	1.097	47,790		
LANDSCAPE BUFFER B	0.335	14,565		
BUFFER TOTAL	1.432	62,355		
RIGHT-OF-WAY	0.721	31,426		
TOTAL AREA	5.044	219,728		



CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	776.67'	2414.50'	18°25'49"	391.72'	S88°43'03"W	773.33'
C2	18.53'	781.61'	1°21'31"	9.27'	S11°49'45"W	18.53'
C3	50.01'	781.61'	3°39'58"	25.02'	S14°20'30"W	50.00'
C4	21.54'	781.61'	1°34'45"	10.77'	S16°57'52"W	21.54'
C5	90.09'	781.61'	6°36'14"	45.09'	S14°27'07"W	90.04'
C6	456.18'	765.00'	34°09'58"	235.10'	N87°55'01"W	449.45'
C7	42.05'	275.00'	8°45'40"	21.07'	N79°14'07"W	42.01'
C8	19.77'	275.00'	4°07'09"	9.89'	N85°40'32"W	19.77'
C9	61.82'	275.00'	12°52'49"	31.04'	N81°17'42"W	61.69'
C10	3.12'	1025.00'	0°10'27"	1.56'	N87°38'53"W	3.12'
C11	0.50'	275.00'	0°06'13"	0.25'	N87°36'46"W	0.50'
C12	57.46'	275.00'	11°58'18"	28.83'	S86°20'59"W	57.35'
C13	25.79'	275.00'	5°22'24"	12.90'	S77°40'38"W	25.78'
C14	83.75'	275.00'	17°26'54"	42.20'	S83°42'54"W	83.42'
C15	15.17'	325.00'	2°40'31"	7.59'	N76°19'42"E	15.17'
C16	37.70'	325.00'	6°38'48"	18.87'	N80°59'21"E	37.68'
C17	37.70'	325.00'	6°38'48"	18.87'	N87°38'10"E	37.68'
C18	8.39'	325.00'	1°28'47"	4.20'	S88°18'03"E	8.39'
C19	98.97'	325.00'	17°26'54"	49.87'	N83°42'54"E	98.59'
C20	2.96'	975.00'	0°10'27"	1.48'	S87°38'53"E	2.96'
C21	5.54'	325.00'	0°58'37"	2.77'	S87°14'48"E	5.54'
C22	37.70'	325.00'	6°38'48"	18.87'	S83°26'05"E	37.68'
C23	29.82'	325.00'	5°15'24"	14.92'	S77°28'59"E	29.81'
C24	73.06'	325.00'	12°52'49"	36.69'	S81°17'42"E	72.91'

REFERENCE:

1. SUBDIVISION MAP BOOK 355, PAGE 33A-H.
2. SUBDIVISION MAP BOOK 365, PAGE 54A-F.
3. PLAT RECORD BOOK 32P, PAGE 88.
4. DEED BOOK 272W, PAGE 434.

SURVEY DATE: 9/23/2017
 EQUIPMENT USED: ELECTRONIC TOTAL STATION
 ANGULAR ERROR PER "Δ" = 02"
 ADJUSTED BY LEAST SQUARES
 PLAT ERROR OF CLOSURE: 1/240,165
 FIELD ERROR OF CLOSURE: 1/137,870

LEGEND

- BENCH MARK
- IPFC 1" IRON PIPE FOUND WITH CAP (T&H)
- IPS 1" IRON PIPE SET

MINIMUM BUILDING SETBACKS

FRONT SETBACK: 0'
 REAR SETBACK: 5'
 SIDE SETBACK: MINIMUM 10' BUILDING SEPARATION, EXCLUDING FIREPLACES, BOX/BAY WINDOWS, STEPS, ETC.

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:

APPROVED BY MAYOR AND COUNCIL, PORT WENTWORTH

MAYOR _____ DATE _____

COUNCILMAN _____ COUNCILMAN _____

COUNCILMAN _____ COUNCILMAN _____

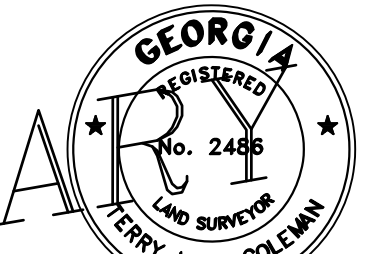
COUNCILMAN _____ COUNCILMAN _____

APPROVED BY THE CHATHAM COUNTY DEPARTMENT OF PUBLIC HEALTH, DIVISION OF ENVIRONMENTAL HEALTH

DIRECTOR _____ DATE _____

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
E1	64.83'	N82°50'30"W
E2	20.00'	N7°09'30"E
E3	65.36'	S82°50'30"E

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



TERRY MACK COLEMAN
 GA REG. LAND SURVEYOR NO. 2486
 COLEMAN COMPANY, INC.
 CERTIFICATE OF AUTHORIZATION; LSF 1167

30' 15' 0" 30'
 GRAPHIC SCALE: 1"=30'

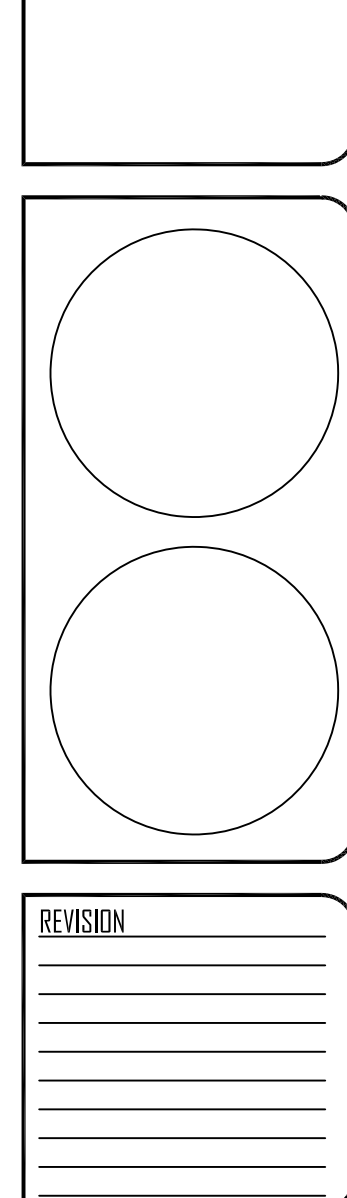
A MAJOR SUBDIVISION OF A PORTION OF TRACT A-1, BEING A PORTION OF THE JULIAN R. CHISHOLM TRACT, BEING A PORTION OF RICE HOPE PLANTATION, 8TH G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA
 PREPARED FOR: BALD EAGLE PARTNERS

MAJOR SUBDIVISION

DATE: 12/6/2017
 SCALE: 1"=30'
 JOB #: 17-574
 DRAWN BY: JPA
 CHECKED BY:

SHEET 1/1

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (D) 912.200.3041 (F) 912.200.3056





Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 01/16/18 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SCHEDULED

AGENDA ITEM (ID # 1801)

DOC ID: 1801

Site Plan Review Application submitted by Greg Coleman, Coleman Company, Inc., on behalf of BEP Rice Hope LLC for PIN #: 7-0906B-14-003 (Lakeside Boulevard) for a Specific Development Plan to allow a Single Family Residential Development in a MPO (Master Plan Overlay) Zoning District

Issue/Item: Site Plan Review Application submitted by Greg Coleman, Coleman Company, Inc., on behalf of BEP Rice Hope LLC for PIN #: 7-0906B-14-003 (Lakeside Boulevard) for a Specific Development Plan to allow a Single Family Residential Development in a MPO (Master Plan Overlay) Zoning District

Background: The subject property is in the Rice Hope Subdivision. The property has existing water and sewer utilities connections.

Facts and Findings: The owner intends to create 28 new single family home lots. Birch Circle will be extended to Maple Street. The property is accessible from Parkside Boulevard and Maple Street. The application is currently under review by the City's engineers, Goodwyn, Mills, & Cawood.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Tuesday, January 16, 2018, at 6:30PM.

ATTACHMENTS:

- Site Plan Review Application Parkside Subdivision SPECIFIC January 2018 (PDF)
- Parkside Subdivision, 28 Lots_Civil Construction Plans (PDF)
- PW Parkside Birch Circle Submittal 2 LETTER GMC January 2018 (PDF)

City of Port Wentworth
Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Name of Site Plan: Parkside Subdivision, 28 Lots

Site Plan Address: Lakeside Boulevard Accessible from: Parkside Boulevard and Maple Street

PIN #: 7-0906B-14-003 Zoning: M-P-O

Type of Construction: single-family residential

Estimated Cost of Construction: \$ 300,000

Applicant's Name: BEP RH Tract 1 LLC BEP Rice Hope LLC

Address: 4800 Hampden Lane, Suite 200 Bethesda, MD 20814

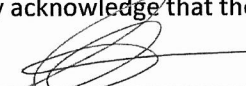
Phone #: 540-987-3164 301-915-0460 Fax #: _____

Owner's Name (If Different from Applicant): _____

Address: _____

Phone #: _____ Fax #: _____

I hereby acknowledge that the above information is true and correct.



Applicant's Signature

12/1/2017

Date

Owner's Signature (If Different from Applicant)

Date

- Please submit the following with completed application:**
- 1. Name, address & PIN # for all adjacent property owners.**
 - 2. Fifteen (15) copies in 11"x17" or larger of your site plan & one 8.5"x11".**

Attachment: Site Plan Review Application Parkside Subdivision SPECIFIC January 2018 (1801 : Site Plan Review Application Lakeside

Adjacent Property Owners

Roni J Copeland
3 Parkside Blvd, Port Wentworth, Ga 31407
7-0906B-14-002

Karen D Thompson
5 Parkside Blvd, Port Wentworth, Ga 31407
7-0906B-14-001

Desiree M Balconi
7 Parkside Blvd, Port Wentworth, Ga 31407
7-0906B-13-003

Darrell T Smith & Jenn Hagan
245 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-004

Cotton Wood Homebuilders, Inc.
72 Magnolia Marsh Dr, Richmond Hill, Ga 31324
7-0906B-13-005

Riverside Construction Company
2368 Marcus Nobles Rd NE, Glennville, GA 30427
7-0906B-13-006

Kristian D & Theresa Kline
239 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-007

Mafia Jenell Evans
237 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-008

MJF Investment Properties, Inc.
508 N Laurel Street, Springfield, GA 31329
7-0906B-13-009

Donald & Betty Green
233 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-010

Michael & Kelly Michaud
231 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-011

Riverside Construction Company
2368 Marcus Nobles Rd NE, Glennville, GA 30427
7-0906B-13-012

Darrell Varnum & Jeri Ly Grady
227 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-13-013

MJF Investment Properties, Inc.
508 N Laurel Street, Springfield, GA 31329
7-0906B-13-014

BEP Rice Hope, LLC
14 East State Street, Savannah, Ga 31401
7-0906B-13-015

Stanley & Marie Polwort
232 Dogwood Circle, Port Wentworth, Ga 31407
7-0906B-15-002

City of Port Wentworth**INVOICE #143**

305 South Coastal Highway, Port Wentworth, Georgia 31407

Phone 912-966-7427 Fax 912-966-3699 mellis@cityofportwentworth.com

Customer

Coleman Company Inc

17 Park of Commerce, Suite 201

Savannah, GA 31405

Invoice Date 12/19/2017

Sales Person Melanie Ellis

Permit # 140985

Phone 912-200-3041

Fax

Job	Payment Due	Payment Terms
Parkside Subdivision-Site Plan Review Application	12/19/2017	Due on Receipt

Product	Quantity	Unit Price	Line Total
ADMINISTRATIVE FEE	1	\$50.000	\$50.00
SITE PLAN/REVISION TO PUD (WITH LAND DISTURBANCE)	1	\$836.000	\$836.00

Site Plan Review Fee

Products Total	\$886.00
Invoice Total	\$886.00

Thank you for your business

City of Port Wentworth 305 South Coastal Highway, Port Wentworth, Georgia 31407

Phone 912-966-7427 Fax 912-966-3699 mellis@cityofportwentworth.com



COLEMAN COMPANY INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041

UNITED COMMUNITY BANK

64-1284
611

695

Eight Hundred Thirty Six and no/100

DATE		AMOUNT
12/05/17	6950	\$836.00

PAY
TO THE
ORDER
OF

CITY OF PORT WENTWORTH

AUTHORIZED SIGNATURE

⑈006950⑈ ⑆061112843⑆ 2088117565⑈

Attachment: Site Plan Review Application Parkside Subdivision SPECIFIC January 2018 (1801 : Site Plan Review Application Lakeside

CIVIL CONSTRUCTION PLANS OF PARKSIDE SUBDIVISION

28 LOTS

PREPARED FOR: BEP RICE HOPE LLC

COLEMAN COMPANY, INC.

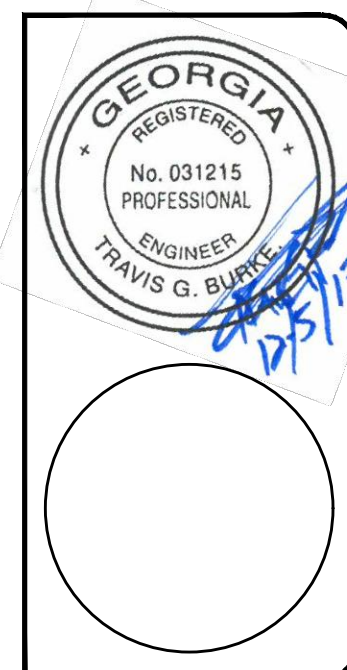
JOB # 17-574

EXISTING UTILITIES NOTE:

ALL UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF POTENTIAL CONFLICTS.



Know what's below.
Call before you dig.



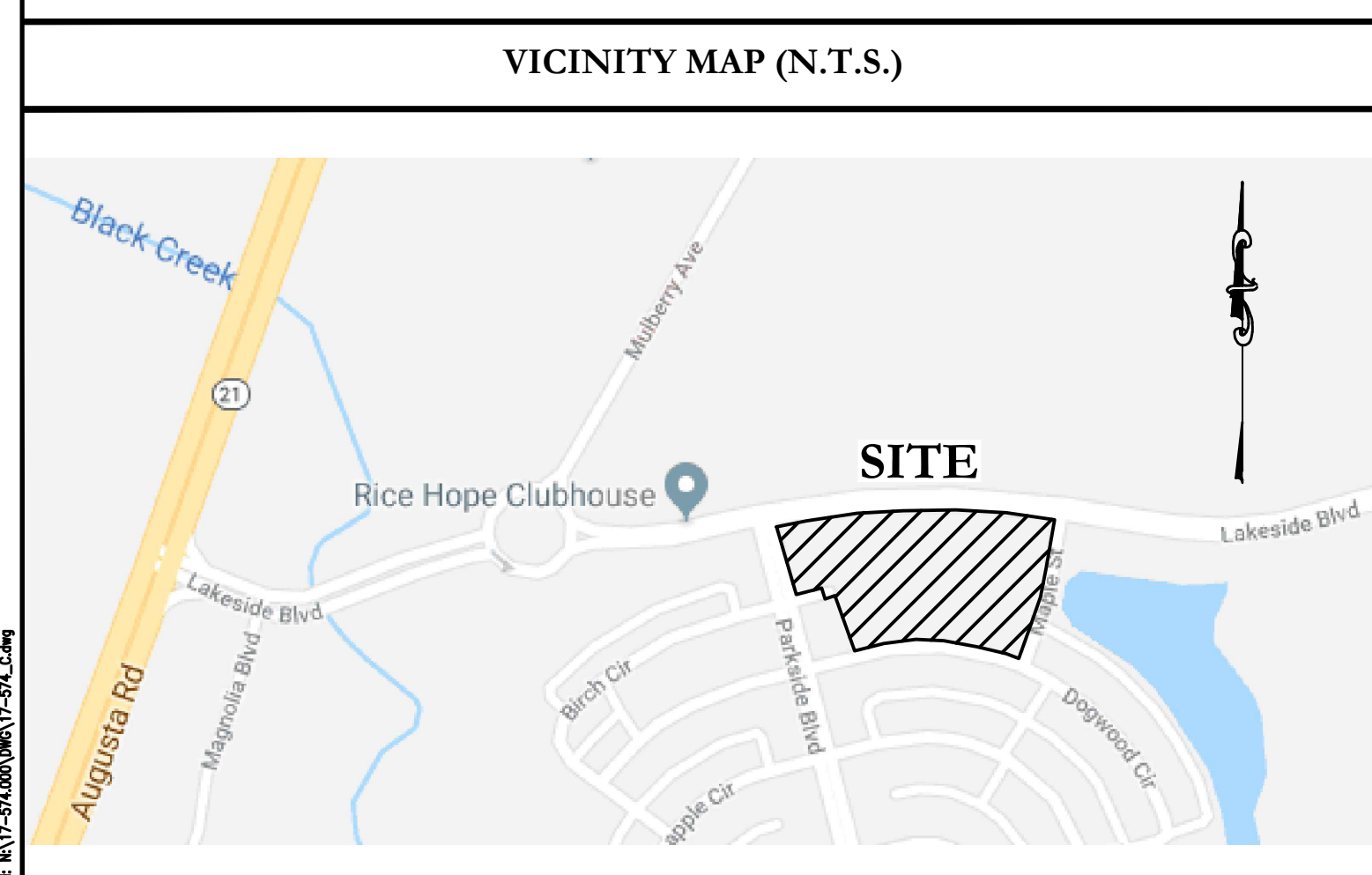
REVISION

CIVIL CONSTRUCTION PLANS OF
PARKSIDE SUBDIVISION, 28 LOTS
LOCATED IN: PORT WENTWORTH, GA
PREPARED FOR: BEP RICE HOPE LLC

COVER SHEET

DATE: 11/15/2017
SCALE: N.T.S.
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

SHEET
COVER



REVISIONS		
REVISION NO.	DATE	DESCRIPTION

PROJECT SITE DATA	
PROJECT AREA:	5.044 ACRES
DISTURBED AREA:	4.700 ACRES
PROJECT ADDRESS:	LAKESIDE BLVD.
PROJECT CITY, STATE:	PORT WENTWORTH, GA
ACCESSIBLE FROM:	PARKSIDE BLVD. AND MAPLE ST.
OWNER/REPRESENTATIVE:	BEP RICE HOPE LLC
ZONING :	M-P-D
VERTICAL DATUM:	NAVD 88
HORIZONTAL DATUM:	GRID NORTH GEORGIA EAST ZONE, NAD 83
FLOOD ZONE:	X
WATER & SEWER PROVIDER:	CITY OF PORT WENTWORTH
PIN:	7-0906B-14-003

INDEX OF DRAWINGS			
COVER	COVER		
C0.0	CONSTRUCTION NOTES		
C1.0	EXISTING CONDITIONS		
C2.0	STAKING PLAN		
C3.0	PAVING, GRADING & DRAINAGE		
C4.0	UTILITY PLAN		
C5.0 - C5.1	PROFILES		
C6.0 - C6.2	EROSION CONTROL PLANS		
C6.3	EROSION CONTROL NOTES		
C6.4 - C6.5	EROSION CONTROL DETAILS		
C7.0 - C7.3	SITE DETAILS		

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
DATE: BY:

PROJECT NARRATIVE

BEP RICE HOPE LLC IS PROPOSING TO CONSTRUCT 28 SINGLE-FAMILY RESIDENTIAL LOTS. CONSTRUCTION WILL INCLUDE ALL PAVING, GRADING, DRAINAGE, AND UTILITY INFRASTRUCTURE. THE PROJECT WILL CONSIST OF ONE RIGHT-OF-WAY THAT WILL TIE INTO TWO EXISTING RIGHTS-OF-WAY ON THE LEFT AND RIGHT SIDES OF THE SITE. PROPOSED WATER MAIN WILL CONNECT AT BOTH ENDS OF THE PROPOSED ROAD IN ORDER TO CREATE A LOOP WITHIN THE EXISTING SYSTEM. PROPOSED GRAVITY SEWER MAIN WILL CONNECT AT THE WESTERN END OF THE PROPOSED ROAD. PROPOSED STORM PIPES WILL CONNECT AT THE EASTERN END OF THE PROPOSED ROAD.

PROJECT RECEIVING WATERS:

THE EXISTING RUN-OFF GENERATED FROM THIS PROPERTY DRAINS INTO TWO EXISTING DETENTION PONDS THAT EVENTUALLY DISCHARGES INTO A JURISDICTIONAL WETLAND THAT DISCHARGES INTO BLACK CREEK, WHICH ULTIMATELY DRAINS INTO THE SAVANNAH RIVER.

WATER - SEWER NOTES:

- 1. FOR ALL WATER, SANITARY SEWER LINES AND STORM DRAINAGE INSTALLATION, CONTACT UTILITIES PROTECTION CENTER A MINIMUM OF SEVENTY - TWO (72) HOURS PRIOR TO DIGGING CALL - ONE CALL LOCATE LINE 811.
2. IN ADDITION TO THE SEDIMENTATION AND EROSION CONTROL MEASURES AS INDICATED ON THE PLANS THE CONTRACTOR SHALL TAKE WHATEVER ACTIONS AS ARE NECESSARY TO ENSURE THAT ALL SEDIMENTATION IS CONFINED TO THE SITE AND THAT NO OFFSITE EROSION IS CAUSED BY THE WORK EITHER DIRECTLY OR INDIRECTLY.
3. HIGHLY CHLORINATED WATER USED IN THE DISINFECTION PROCESS SHALL BE DILUTED AND DISCHARGED INTO THE SANITARY SEWER SYSTEM.
4. PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND OTHER FOREIGN MATTER AT ALL TIMES.
5. ANY DEFECTIVE, DAMAGED OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND IT SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY APPROVED MEANS AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
6. CLEAN THE INTERIORS OF ALL PIPE BY BRUSHING, SWABING OR WASHING OUT ALL DIRT BEFORE LAYING.
7. FLUSH THE NEW PIPE LINES UNTIL WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE DONE AFTER THE PRESSURE TEST AND BEFORE DISINFECTION. A MINIMUM FLUSH TIME OF TWO MINUTES AND UNTIL THE WATER LINE RUNS CLEAR WITH A MINIMUM VELOCITY OF 2.5 FEET PER SECOND IN ORDER TO PURGE THE LINE OF ANY FOREIGN MATERIALS.
8. DURING INSTALLATION, WHEN PIPE LAYING IS NOT IN PROGRESS, A MECHANICAL JOINT PLUG OR CAP, APPROVED EQUIVA, WILL BE USED TO FORM A WATER TIGHT SEAL AT BOTH ENDS OF THE LINE BEING LAID.
9. MAINTAIN A MINIMUM OF EIGHTEEN (18") INCH VERTICAL SEPARATION DISTANCE AND A MINIMUM TEN (10') FEET HORIZONTAL SEPARATION DISTANCE BETWEEN ALL WATER MAINS/LATERALS AND ALL STORM DRAIN LINES AND SANITARY SEWER MAINS/LATERALS.
10. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CITY OF PORT WENTWORTH WATER OPERATION DEPARTMENT.
11. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE DONE BY THE CORE DRILL METHOD.
12. THE WATER SERVICE LATERAL SERVING THE FACILITY SHALL BE INSTALLED BY THE DEVELOPER/CONTRACTOR FROM THE WATER MAIN TO THE METERS.
13. THE CONTRACTOR IS RESPONSIBLE TO BRING PROPOSED MANHOLE TOPS TO GRADE.
14. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL CERTIFICATIONS OF BACKFLOW DEVICES TO THE ENGINEER.
15. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO CITY OF PORT WENTWORTH'S LATEST CONSTRUCTION SPECIFICATION AND DETAILS (DATED JANUARY 2011, REVISED JUNE 2012) AND THEY WILL PREVAIL IN THE EVENT OF CONFLICT WITH ANY SPECIFICATIONS SHOWN BY THE ENGINEER.
16. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
17. CONTRACTOR TO VERIFY ALL INVERT ELEVATIONS OF SANITARY SEWER LATERALS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH INVERT DATA TO INSURE THERE ARE NO CONFLICTS.
18. SEE ARCHITECTURAL PLUMBING PLAN FOR EXACT TIE LOCATION & LINE SIZES.
19. THE INDIVIDUAL REQUESTING WATER SERVICES SHALL BE RESPONSIBLE FOR EXCAVATION, COST OF WET TAPS, SERVICE LINE INSTALLATION AND BACKFILLING THE WATER MAIN FROM WHICH THE SERVICE IS REQUIRED.
20. ALL TAPPING SLEEVES SHALL BE DUCTILE IRON, M&J, AND PRESSURE TESTED AT 150 PSI FOR A MINIMUM OF ONE HOUR WITH A PRESSURE LOSS NO GREATER THAN 1 PSI.
21. CITY OF PORT WENTWORTH'S WATER DEPARTMENT SHALL INSPECT THE PRESSURE TEST, IF THE CITY DOES NOT INSPECT THE PRESSURE TEST, THE CITY WILL NOT ACCEPT ANY RESPONSIBILITY OF MAINTENANCE FOR THE TAPPING VALVE OR SLEEVE.
22. THE TAPPING GATE VALVE SHALL BE RESILIENT SEAT, EPOXY COATED, M&J BY FLANGE, DOMESTIC MAKE.
23. ALL MATERIAL USED AND WHICH COMES IN CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY OR PUBLIC HEALTH. MATERIALS MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61).
24. A SAW CUT "S" SHALL BE CUT IN THE TOP OF THE CURB DIRECTLY OVER THE SANITARY SEWER LATERAL(S) LOCATION. TRACING WIRE SHALL BE ADHERED TO THE LATERAL FROM THE MAIN AND UP TO THE CLEAN OUT.
25. A SAW CUT "M" SHALL BE CUT IN THE TOP OF CURB DIRECTLY OVER THE WATER LATERAL(S) LOCATION. TRACING WIRE SHALL BE #12 GAUGE INSULATED SINGLE STRAND COPPER WIRE, AND SHALL BE INSTALLED FROM THE MAIN TO THE METER AND SHALL PROVIDE CONTINUOUS ELECTRICAL CONDUCTIVITY.
26. ALL SEWER CLEANOUTS LOCATED IN PAVEMENT OR CONCRETE SHALL BE FLUSH AND INSTALLED IN A TRAFFIC-RATED ENCLOSURE.
27. ALL SANITARY SEWER MANHOLES LOCATED WITHIN PAVED AREAS SHALL BE FITTED WITH MANHOLE INFILTRATION PROTECTORS.
28. ALL TIES TO THE EXISTING WATER MAIN SHOULD BE DONE IN THE PRESENCE OF REPRESENTATIVES OF THE WATER DEPARTMENT.
29. ONE JOINT OF DUCTILE IRON PIPE SHOULD BE SHOWN AT ANY LOCATION WHERE THE PROPOSED WATER MAIN CROSSES OTHER PROPOSED UTILITIES.
30. ALL DUCTILE IRON FITTINGS SHALL BE PRO-TECTO 401.

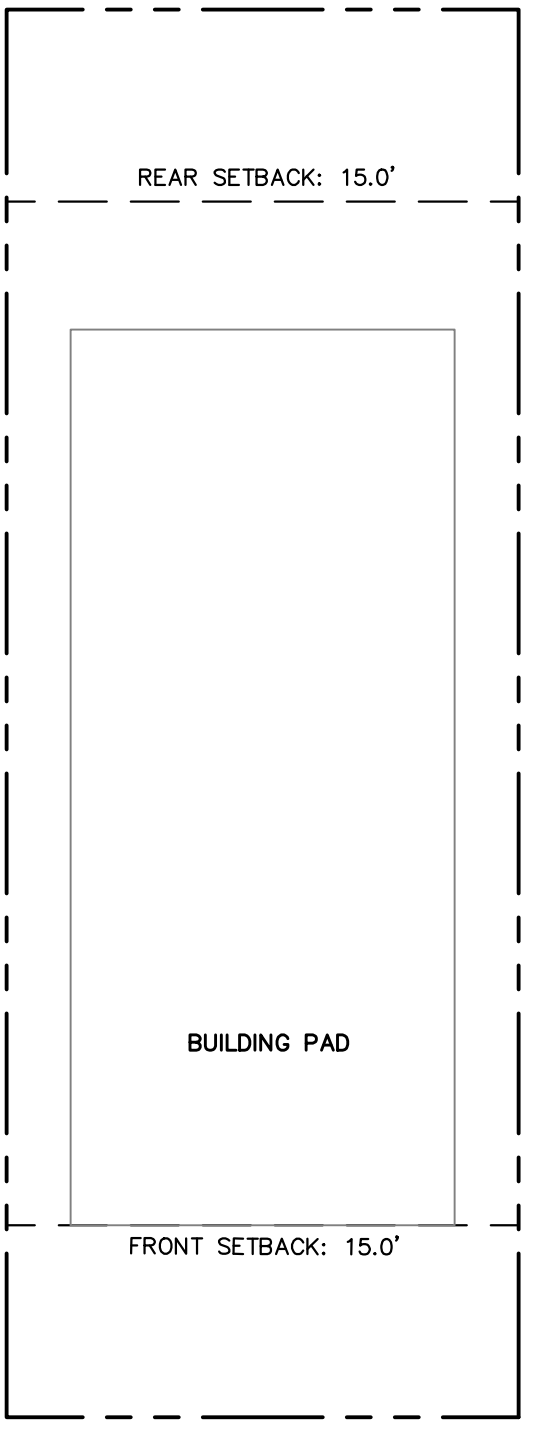
- ***CURRENT BUILDING CODE ALLOWS MAXIMUM OF 216' OF 4" SANITARY SEWER @ 1%
***CURRENT BUILDING CODE ALLOWS MAXIMUM OF 700' OF 6" SANITARY SEWER @ 1%
***CURRENT BUILDING CODE REQUIRES CLEANOUT EVERY 100' & AT TURNS > 45 DEGREES.

GENERAL NOTES:

- 1. CONTRACTOR WILL BE REQUIRED TO ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE GOVERNMENTAL AGENCY IN CHARGE OF THE PROJECT.
2. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTIONS AS REQUIRED FOR APPROVAL OF THE WORK WITH THE GOVERNMENTAL AGENCY WITH JURISDICTION.
3. CONTRACTOR WILL BE RESPONSIBLE FOR COST OF AND COORDINATION WITH LOCAL UTILITY COMPANIES OR AGENCIES FOR RELOCATION OF, OR CONNECTION TO, ALL EXISTING UTILITIES INCLUDING POWER AND TELEPHONE POLES AND WIRES.
4. ALL ELEVATIONS ARE BASED ON DATUM NAVD 88.
5. A MINIMUM SHOULDER WIDTH OF 4 FEET WITH A MINIMUM TRANSVERSE SLOPE OF 5% WILL BE PROVIDED ADJACENT TO CURBS AND WALKS. ALL WALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%.
6. MAXIMUM EARTH SLOPES WILL BE 3:1. GRADE FROM SHOULDER EDGE TO RIGHT- OF-WAY AT 1% MINIMUM.
7. REMOVAL AND REPLACEMENT OF UNSUITABLE SUBGRADE MATERIAL WILL BE PAID FOR ON A CUBIC YARD BASIS IN PLACE MEASUREMENT, AT SUCH AUTHORIZED PRICE PER CUBIC YARD, AS AUTHORIZED BY THE ENGINEER.
8. PROVIDE 1/2" EXPANSION JOINT IN NEW WALKS FOR DEPTH OF CONCRETE, WITH BITUMINOUS SEAL FOR TOP 1 INCH MINIMUM DEPTH AT ABUTMENTS WITH BUILDINGS OR OTHER CONCRETE STRUCTURES. SAW-CUT CONTRACTION JOINTS WILL BE PROVIDED IN ACCORDANCE WITH DETAILS, CUT TO BE 1/4 DEPTH OF CONCRETE MINIMUM.
9. ALL CURB & GUTTER STANDARD 18" PITCHED, UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO EXTERIOR FACE OF BUILDING - EDGE OF SURFACE COURSE OR EDGE OF PAVEMENT.
11. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR SHALL KEEP ACCURATE RECORDS FOR "AS BUILT" PURPOSES AND PROVIDE THIS INFORMATION TO THE ENGINEER AT THE COMPLETION OF THE PROJECT. IF THE CONTRACTOR FAILS TO FURNISH THIS INFORMATION, THE ENGINEER WILL OBTAIN THE NECESSARY INFORMATION AND CHARGE THE CONTRACTOR FOR THE SERVICES. THE ENGINEER WILL CHECK INFORMATION PROVIDED BY THE CONTRACTOR FOR ACCURACY. AS BUILT INFORMATION INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING: ALL UTILITIES INCLUDING INVERTS, TOP ELEVATIONS, PIPE LENGTHS AND TYPE OF CONSTRUCTION MATERIAL; SPOT ELEVATIONS ON FORCE MAINS AND WATER LINES. THE DISTANCE OF THE CENTERLINE OF UTILITIES FROM A PERMANENT STRUCTURE. ALL VALVE MANHOLES AND VALVE BOXES SHALL BE LOCATED WITH RESPECT TO A PERMANENT STRUCTURE. GRADES SHALL BE CONTINUED IN ROADS AND PARKING AREAS AS WELL AS SWALES TO SHOW DIRECTION OF STORMWATER FLOW. THE FINISHED FLOOR ELEVATION SHALL BE SHOWN ON ALL BUILDINGS. IF THE LANDSCAPING IS CHANGED IN ANY WAY AN AS BUILT OF THE LANDSCAPE PLAN IS TO BE SUBMITTED TO THE ENGINEER; AND ANY OTHER REQUIREMENT MADE BY CITY OF PORT WENTWORTH.
13. ALL NEW DISTURBED AREAS WILL BE GRESSED BY SEEDING OR SPRIGGING IN ACCORDANCE WITH GA. D.O.T. STANDARD SPECIFICATIONS, AND AS DIRECTED BY THE ENGINEER.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
15. CONTRACTOR SHALL PROVIDE DUST CONTROL OF ALL DISTURBED AREAS BY THE USE OF WATER AND FAST GROWING, TEMPORARY VEGETATION ON ALL STOCKPILED SOILS.
16. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE INCLUDING ALL EROSION AND SEDIMENT CONTROL MEASURES.
17. CONTRACTOR SHALL PROVIDE AND MAINTAIN CRUSHED STONE 6" THICK, 50' MIN. LONG BY 20' MIN. WIDE AT ALL CONSTRUCTION EXITS TO MINIMIZE TRANSPORT OF SOIL FROM SITE BY VEHICLE WHEELS.
18. ALL EXISTING INLETS AND DITCHES SUBJECT TO STORM WATER RUNOFF FROM THE SITE AND ALL NEW INLETS SHALL BE PROTECTED WITH INLET PROTECTION BARRIERS TO MINIMIZE SOIL TRANSPORT OFF SITE BY STORM WATERS.
19. ALL MATERIALS AND PRACTICES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL MEET THE CURRENT REQUIREMENTS OF THE CITY OF PORT WENTWORTH DEVELOPMENT REGULATIONS AND SPECIFICATIONS.
20. TESTING - PROVIDE ALL TESTING AS REQUIRED IN THE SPECIFICATIONS. PROVIDE ENGINEER WITH COPY DIRECT FROM TESTING LAB.
21. CONTRACTOR SHALL MAINTAIN SITE ON A DAILY BASIS TO PROVIDE FOR POSITIVE DRAINAGE. CONTRACTOR, AT HIS COST, SHALL GRADE SITE AND PROVIDE NECESSARY TEMPORARY DRAINAGE SWALES TO INSURE STORM WATER DOES NOT POND ON SITE.
22. THE DETENTION BASINS SHALL BE CONSTRUCTED IN CONJUNCTION WITH CLEARING AND GRADING TO HELP PREVENT THE LOSS OF SEDIMENT FROM THE SITE. THE CONTRACTOR SHOULD CLEAN OUT ANY SEDIMENT DEPOSITED IN THE BASINS DURING THE CONSTRUCTION PERIOD SO THAT THE SPECIFIED WATER DEPTH AT NORMAL POOL IS MAINTAINED; THE CONTRACTOR MAY OVER EXCAVATE THE BASINS TO ACCOMPLISH THIS, IF DESIRED, AT HIS OWN EXPENSE AND WITH THE CONCURRENCE OF THE ENGINEER.
23. PRIOR TO CONSTRUCTION, ALL BUILDING AREAS, PLUS 10 FEET ON EACH SIDE AND ALL AREAS TO BE PAVED, SHOULD BE STRIPPED OF ALL VEGETATION, TOP SOIL AND ROOT SYSTEMS. AREAS TO BE SPREAD BACK ON AREAS TO BE VEGETATED.
24. SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT ANY PONDING WATER CONDITIONS WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE RAPID RUN-OFF OF STORM WATER.
25. ANY STUMP HOLES, DEPRESSIONS, OR DITCHES SHALL BE CLEARED OF LOOSE MATERIAL AND DEBRIS THEN MUCKED OUT UNTIL CLEAN SOIL IS REACHED. THEY SHALL THEN BE BACKFILLED WITH APPROVED FILL. THE BACKFILL SHOULD BE PLACED IN SIX INCH MAXIMUM LIFTS AND COMPACTED TO 95% DENSITY IN UNPAVED AREAS AND 100% DENSITY UNDER ROADWAYS AND HOUSES IN ACCORDANCE WITH ASTM-D-1557.
26. ANY UTILITIES THAT UNDERLIE THE SITE SHOULD BE RELOCATED AND THE TRENCHES BACKFILLED WITH APPROVED SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCH MAXIMUM LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
27. THE SUBGRADE SHOULD BE PROOF ROLLED WITH A LOADED DUMP TRUCK TO LOCATE UNSTABLE OR SOFT AREAS. THESE AREAS SHOULD THEN BE INVESTIGATED TO DETERMINE THE CAUSE OF THE INSTABILITY. IF DUE TO UNSUITABLE SOIL, SUCH AS HIGHLY ORGANIC SOILS OR SOFT CLAYS, THE AREA SHOULD BE UNDERGUT TO A FIRM SOIL AND REPAIRED WITH APPROVED FILL COMPACTED IN SIX INCH LIFTS TO MINIMUM DENSITY OF 95% IN ACCORDANCE WITH ASTM-D-1557. IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE SUITABLE SOIL, THE AREA SHOULD BE DRAINED AND COMPACTED TO 95% DENSITY. ANY FILL REQUIRED TO LEVEL OR RAISE THE SITE SHOULD THAN BE PLACED IN 6" THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
28. ALL OF THE FILL FOR THIS PROJECT SHOULD CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL SHOULD BE FREE OF OBJECTIONABLE ROOTS, CLAY LUMPS AND DEBRIS.
29. MOISTURE CONTENT SHALL BE AT OR BELOW OPTIMUM.
30. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM CITY OF PORT WENTWORTH CONVEYANCE AND DISTRIBUTION DEPARTMENT.
31. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO FOLLOW THE COMPREHENSIVE MONITORING PLAN PREPARED FOR THE DEVELOPER BY COLEMAN COMPANY.
32. ALL TAPS ON A MAIN FOR SERVICE LATERALS SHALL BE MADE WITH AN ALL STAINLESS STEEL DOUBLE STRAP EPOXY COATED TAPPING SADDLE. THE SIZE OF THE SADDLE SHALL BE WATER MAIN DIAMETER C-900 + 1" C.G. THREAD.
33. ALL FIRE HYDRANTS AND VALVES SHALL BE MANUFACTURED BY AMERICAN, DARLING, MUELLER OR M&H.
34. 50 L.F. OF 6" UNDER-DRAIN AND ROCK SHALL BE INSTALLED FROM EACH ROADSIDE INLET IN EACH DIRECTION.
35. ANY AND ALL UTILITY CROSSINGS FOR WATER MAINS BETWEEN STORM OR SEWER PIPING SHOULD BE ACCOMPLISHED BY USING OF 45' BENDS BOTH DOWN AND UP.
36. ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES, EXCEPT AS NOTED BELOW. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UTILITY FACILITIES OTHER THAN SERVICE LINES FROM STREET MAINS TO ABUTTING PROPERTY WHEN SUCH FACILITIES ARE NOT SHOWN ON THE PLANS AND THEIR EXISTENCE IS UNKNOWN TO THE CONTRACTOR PRIOR TO THE DAMAGES OCCURRING PROVIDING THE ENGINEER DETERMINES THE CONTRACTOR HAS OTHERWISE FULLY COMPLIED WITH THE SPECIFICATIONS.
37. CONTRACTOR(S) SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR(S) ARE RESPONSIBLE FOR LOCATING, PROTECTING, REPAIRING, AND REPLACING ANY AND ALL UNDERGROUND UTILITIES DURING ALL PHASES OF CONSTRUCTION. COLEMAN COMPANY, INC. HAS MADE A DILIGENT EFFORT TO LOCATE ALL ABOVE AND BELOW GROUND UTILITIES BUT CANNOT GUARANTEE THAT ALL PRESENT UTILITIES HAVE BEEN IDENTIFIED. CONTRACTOR SHALL CALL UTILITY PROTECTION CENTER (1-800-282-7411) AT LEAST 3 DAYS PRIOR TO DIGGING AND SHALL NOT BEGIN DIGGING UNTIL ALL UNDERGROUND UTILITY LOCATIONS ARE COMPLETE.
38. ALL CONSTRUCTION DEBRIS SHALL BE PROPERLY DISPOSED OFFSITE AT THE CONTRACTOR'S EXPENSE.
39. A CONTINUOUS RUN OF PLASTICIZED METALLIC TAPE SHALL BE INSTALLED ABOVE THE TOP OF PVC PIPE USED FOR GRAVITY SEWER AND FORCE MAINS AT APPROXIMATELY 30" BELOW FINISHED GRADE. THE TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED AND LABELED TO IDENTIFY CONTENTS OF THE PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL. IN ADDITION TO THE TAPE, A CONTINUOUS RUN OF TRACER WIRE SHALL BE ATTACHED TO THE PIPE AND CONNECTED TO MANHOLE RINGS. ON PIPE RUNS GREATER THAN 500', THE TRACER WIRE SHALL BE ATTACHED TO A 2" GALVANIZED PIPE WITH A 180 DEGREE BEND AT THE TOP, EXTENDING 36" ABOVE GRADE FOR CONNECTION TO LOCATOR EQUIPMENT. THE MAXIMUM DISTANCE BETWEEN 2" PIPE STUBS SHALL BE 500'.
40. ALL SANITARY SEWER LATERALS SHALL BE PROPERLY MARKED AT THE POINT WHERE LATERALS TERMINATE WITH PVC PIPE PAINTED GREEN. ADDITIONAL MARKINGS SHALL BE STAMPED IN THE CURB OR MARKED ON THE EDGE OF PAVING WITH AN APPROVED PERMANENT MARKER CAPABLE OF BEING LOCATED BY A MAGNETIC LOCATOR, SUCH AS A NAIL WITH CAP, IF NO CURB PRESENT. LATERALS SHALL BE MARKED WITH MARKING TAPE AND TRACER WIRE AS DESCRIBED ABOVE.
41. A CONTINUOUS RUN OF PLASTICIZED METALLIC TAPE SHALL BE INSTALLED ABOVE THE TOP OF PVC PIPE USED FOR WATER MAINS AT APPROXIMATELY 18" TO 24" BELOW FINISHED GRADE. THE TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED AND LABELED TO IDENTIFY CONTENTS OF THE PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL. IN ADDITION TO THE TAPE, A CONTINUOUS RUN OF TRACER WIRE SHALL BE ATTACHED TO THE PIPE AND CONNECTED TO CURB STOPS AND BROUGHT TO TOP OF VALVE. ON PIPE RUNS GREATER THAN 500', THE TRACER WIRE SHALL BE ATTACHED TO A 2" GALVANIZED PIPE WITH A 180 DEGREE BEND AT THE TOP, EXTENDING 36" ABOVE GRADE FOR CONNECTION TO LOCATOR EQUIPMENT. THE MAXIMUM DISTANCE BETWEEN 2" PIPE STUBS SHALL BE 500'.
42. ALL WATER SERVICES SHALL BE PROPERLY MARKED ABOVE GROUND WITH PVC PIPE PAINTED BLUE. ADDITIONAL MARKINGS SHALL BE STAMPED IN THE CURB OR MARKED ON THE EDGE OF PAVING WITH AN APPROVED PERMANENT MARKER CAPABLE OF BEING LOCATED BY A MAGNETIC LOCATOR, SUCH AS A NAIL WITH CAP, IF NO CURB PRESENT. SERVICES SHALL BE MARKED WITH MARKING TAPE AND TRACER WIRE AS DESCRIBED ABOVE.
43. TRACER WIRE SHALL BE REQUIRED ON ALL STORM PIPE.
44. THE CONTRACTOR SHALL HAVE APPROVED PLANS ON SITE AT ALL TIMES DURING LAND DISTURBING ACTIVITIES.
45. THE CONTRACTOR SHALL HAVE A CERTIFIED EROSION AND SEDIMENTATION CONTROL INSPECTOR ON SITE AT ALL TIMES DURING LAND DISTURBING ACTIVITIES.
46. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO CITY OF PORT WENTWORTH LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
47. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE.
48. SUB-GRADE WILL BE COMPACTED FOR A DEPTH OF 24" EXTENDING 24" BEYOND PAVEMENT EDGES, TO A MINIMUM OF 100% STANDARD PROCTOR DENSITY AS MEASURED A.A.S.H.O. METHOD T-99.
49. UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS WILL BE AN ENGINEER APPROVED VEHICULAR TRAFFIC PAINT, (WHITE IN COLOR & 4" WIDE)
50. SAW-CUT CONTRACTION JOINTS WILL BE PROVIDED IN ACCORDANCE WITH DETAILS, CUT TO BE 1/4 DEPTH OF CONCRETE MINIMUM.
51. ALL DIMENSIONS ARE TO EXTERIOR FACE OF BUILDING - EDGE OF SURFACE COURSE OR FACE OF CURBING.
52. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
53. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
54. ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH CITY OF PORT WENTWORTH'S STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS (AVAILABLE FROM THE OFFICE OF THE ENGINEER) AND THE SPECIFICATIONS, NOTES AND DETAILS ON THESE DRAWINGS.
55. ANY FOOTING EXCAVATIONS THAT ARE DIRECTLY ADJACENT TO THE EXISTING FOUNDATIONS SHOULD BE DONE IN SMALL INCREMENTS TO AVOID UNDERMINING THEM AND CAUSING A LOSS OF SUPPORT TO THE EXISTING STRUCTURE. IF NECESSARY, THE EXCAVATIONS SHOULD BE SHEETED AND BRACED OR THE SOIL IN THE AFFECTED AREA SHOULD BE STABILIZED BY GROUTING.
56. THE FOOTING EXCAVATIONS AND ALL OF THE PREPARED SLAB UPGRADE SHOULD BE MAINTAINED IN A DRY AND COMPACTED CONDITION UNTIL THE CONCRETE IS PLACED. AREAS THAT ARE SOFTENED BY WATER OR BY CONSTRUCTION ACTIVITY BEARING. SHOULD BE REWORKED AND RECOMPUTED TO THE REQUIRED DENSITY AND BEARING.
57. ALL CONSTRUCTION WITHIN THE CITY OF PORT WENTWORTH RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT PERMIT FROM PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THIS PERMIT PRIOR TO CONSTRUCTION.
58. ALL UTILITIES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
59. FOR CITY WATER AND SANITARY SEWER LINE LOCATIONS, CONTACT THE UTILITIES PROTECTION CENTER (1-800-282-7411) A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
60. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
61. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS."

PROPOSED

- SMH SSMH
CI (TYPE C)
YI YARD INLET
PROPERTY LINE
SANITARY SEWER MAIN
WATER MAIN
STORM PIPE
SILT FENCE
DISTURBED LIMITS
INVERT ELEVATION



TYPICAL LOT BUILDING SETBACKS (N.T.S.)

COLEMAN COMPANY, INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041 (F) 912-200-3056

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. 031215
TRAVIS G. BURTON

REVISION table with columns for description and date.

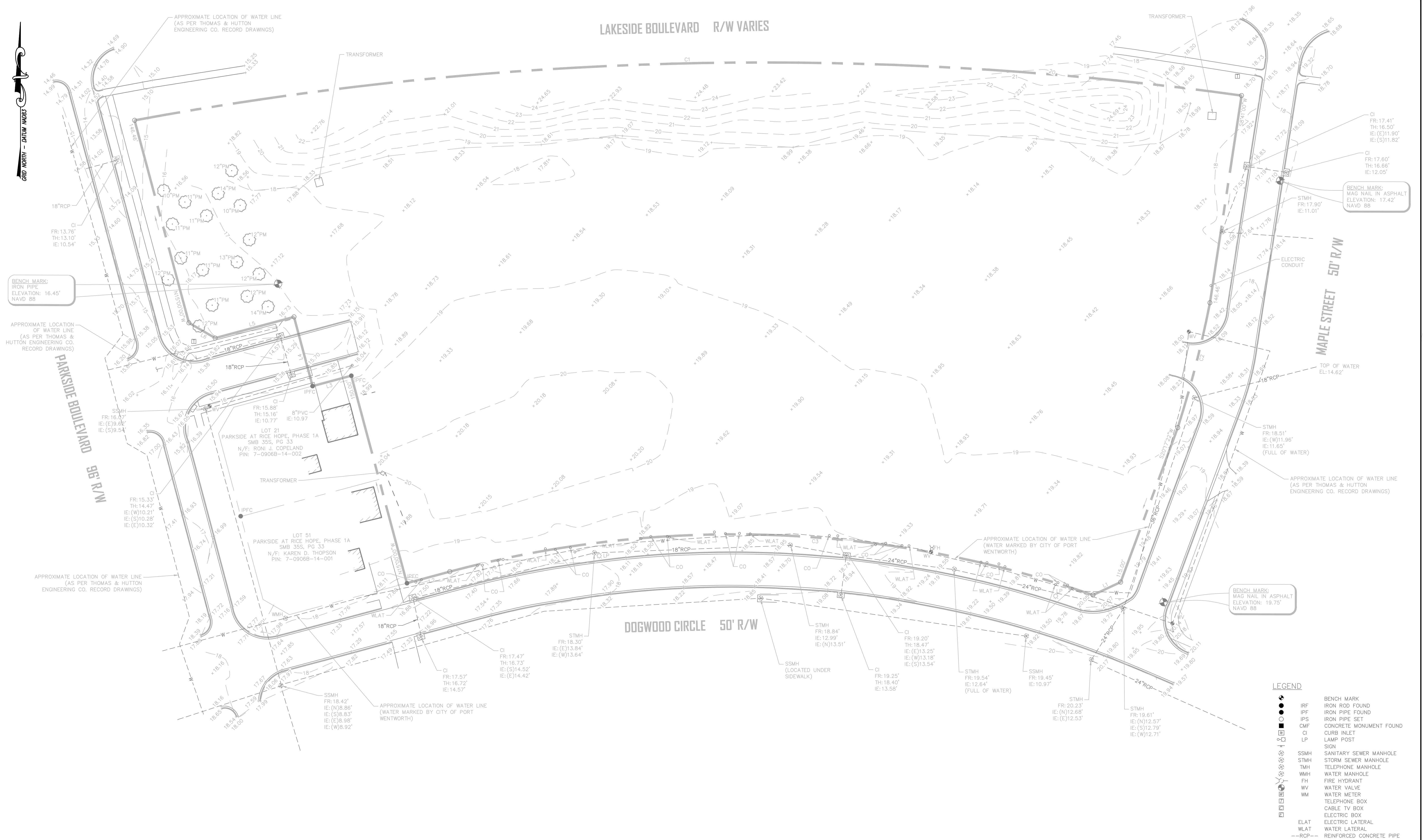
CIVIL CONSTRUCTION PLANS OF PARKSIDE SUBDIVISION, 28 LOTS LOCATED IN: PORT WENTWORTH, GA PREPARED FOR: BEP RICE HOPE LLC

GENERAL NOTES

DATE: 11/15/2017
SCALE: N.T.S.
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

SHEET CO.O

NOT FOR CONSTRUCTION / RELEASED FOR CONSTRUCTION
DATE: BY:

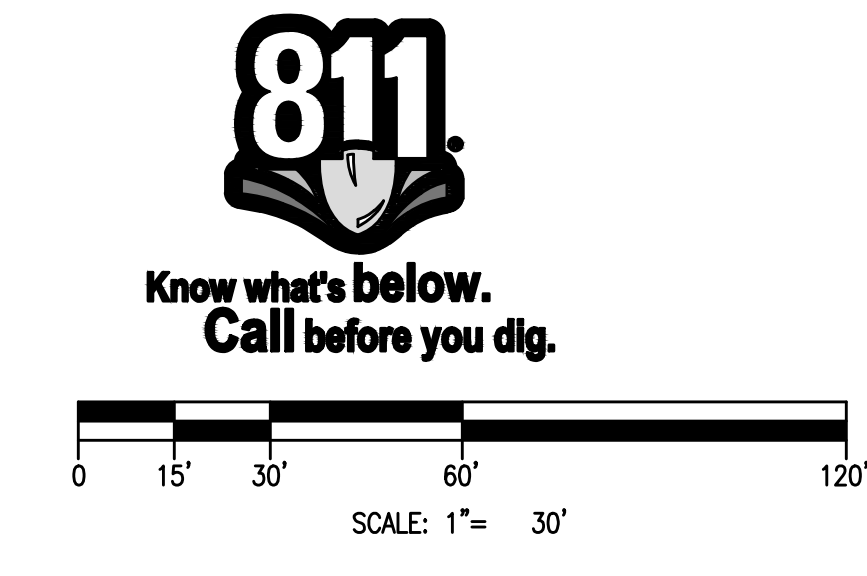


BENCH MARK:
IRON PIPE
ELEVATION: 16.45'
NAVD 88

APPROXIMATE LOCATION OF WATER LINE
(AS PER THOMAS & HUTTON
ENGINEERING CO. RECORD DRAWINGS)

APPROXIMATE LOCATION OF WATER LINE
(AS PER THOMAS & HUTTON
ENGINEERING CO. RECORD DRAWINGS)

APPROXIMATE LOCATION OF WATER LINE
(WATER MARKED BY CITY OF PORT
WENTWORTH)



NOTES

1. ALL ELEVATIONS BASED ON NAVD 88.
2. ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ZONING ORDINANCES.
3. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
4. THE HORIZONTAL DATUM OF THIS SURVEY IS BASED ON GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, NAD 83(12).
5. BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBER 13051C0017G, EFFECTIVE DATE: JULY 7, 2015.

REFERENCES

1. SUBDIVISION MAP BOOK 38S, PAGES 46A-C
2. PLAT BOOK 50, PAGES 99-101
3. PLAT RECORD BOOK 32P, PAGE 14
4. SUBDIVISION MAP BOOK 34S, PAGES 56A-C

LEGEND

●	BENCH MARK
○	IRON ROD FOUND
○	IRON PIPE FOUND
○	IRON PIPE SET
○	CONCRETE MONUMENT FOUND
○	CURB INLET
○	LAMP POST
○	SIGN
○	SANITARY SEWER MANHOLE
○	STORM SEWER MANHOLE
○	TELEPHONE MANHOLE
○	WATER MANHOLE
○	FIRE HYDRANT
○	WATER VALVE
○	WATER METER
○	TELEPHONE BOX
○	CABLE TV BOX
○	ELECTRIC BOX
○	ELECTRIC LATERAL
○	WATER LATERAL
○	REINFORCED CONCRETE PIPE
○	WATER LINE
○	SANITARY SEWER LATERAL
○	CLEAN OUT
○	WOOD LINE
○	RIGHT-OF-WAY
○	THROAT
○	INVERT ELEVATION
○	DEED BOOK
○	PLAT RECORD BOOK
○	SUBDIVISION MAP BOOK
○	PARCEL IDENTIFICATION NUMBER

NOT FOR CONSTRUCTION
RELEASED FOR CONSTRUCTION
DATE: BY:

REVISION

**CIVIL CONSTRUCTION PLANS OF
PARKSIDE SUBDIVISION, 28 LOTS
LOCATED IN: PORT WENTWORTH, GA
PREPARED FOR: BEP RICE HOPE LLC**

**EXISTING
CONDITIONS**

DATE: 11/15/2017
SCALE: 1" = 30'
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

SHEET
C1.0

COLEMAN COMPANY, INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041 | (912) 200-3056

REGISTERED SURVEYOR

REGISTERED
No. 031215
PROFESSIONAL
ENGINEER
TRAVIS G. BUNYAN

GRID NORTH - DATUM NA83

LAKESIDE BOULEVARD R/W VARIES

EDGE OF BERM



PARKSIDE BOULEVARD 50' R/W

MAPLE STREET 50' R/W

DOGWOOD CIRCLE 50' R/W

Line Table

Line #	Length	Direction
L1	27.549	S74° 51' 16.99"E
L2	27.992	N74° 59' 26.62"E
L3	5.068	N74° 59' 26.62"E
L4	23.896	N74° 59' 26.62"E
L5	5.363	S74° 51' 16.99"E
L6	21.435	S74° 51' 16.99"E
L7	23.896	N74° 59' 26.62"E
L8	5.363	S74° 51' 16.99"E
L9	10.000	N74° 59' 26.62"E
L10	18.964	N74° 59' 26.62"E
L11	7.611	S74° 51' 16.99"E
L12	19.889	S74° 51' 16.99"E
L13	18.964	N74° 59' 26.62"E
L14	7.611	S74° 51' 16.99"E

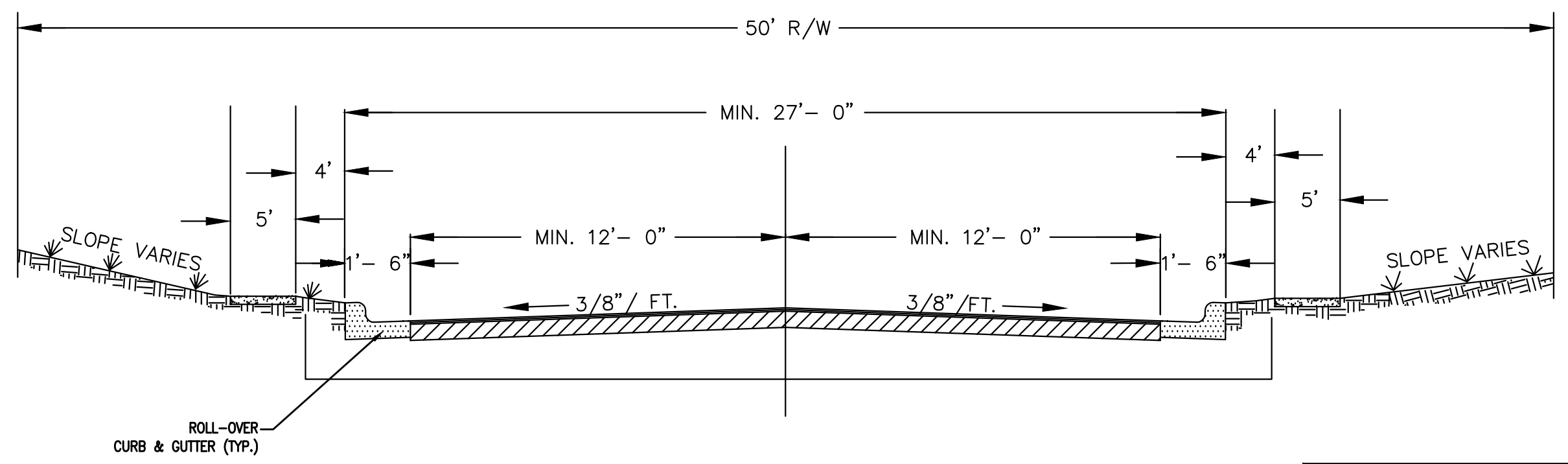
Curve Table

Curve #	Curve Length	Radius	Chord Bearing	Chord Length	Tangent	Delta
C1	91.359	300.000	N83° 42' 53.58"E	91.007	46.036	017.4483
C2	3.039	1000.000	S87° 38' 52.94"E	3.039	1.520	000.1741
C3	67.442	300.000	S81° 17' 41.70"E	67.300	33.864	012.8804
C4	15.174	325.000	N76° 19' 41.95"E	15.173	7.589	002.6752
C5	37.702	325.000	N80° 59' 21.36"E	37.681	18.872	006.6467
C6	37.702	325.000	N87° 38' 09.53"E	37.681	18.872	006.6467
C7	8.393	325.000	S88° 18' 02.92"E	8.393	4.197	001.4797
C8	2.963	975.000	S87° 38' 52.94"E	2.963	1.482	000.1741
C9	5.542	325.000	S87° 14' 47.89"E	5.542	2.771	000.9770
C10	37.702	325.000	S83° 26' 05.29"E	37.681	18.872	006.6467
C11	29.818	325.000	S77° 28' 59.10"E	29.807	14.919	005.2567
C12	20.310	435.000	N76° 19' 41.95"E	20.309	10.157	002.6752
C13	50.463	435.000	N80° 59' 21.36"E	50.435	25.260	006.6467
C14	50.463	435.000	N87° 38' 09.53"E	50.435	25.260	006.6467
C15	11.234	435.000	S88° 18' 02.92"E	11.234	5.617	001.4797
C16	2.629	865.000	S87° 38' 52.94"E	2.629	1.315	000.1741

Curve Table

Curve #	Curve Length	Radius	Chord Bearing	Chord Length	Tangent	Delta
C17	7.417	435.000	S87° 14' 47.89"E	7.417	3.709	000.9770
C18	50.463	435.000	S83° 26' 05.29"E	50.435	25.260	006.6467
C19	39.910	435.000	S77° 28' 59.10"E	39.896	19.969	005.2567
C20	25.790	275.000	N77° 40' 38.39"E	25.780	12.904	005.3732
C21	57.459	275.000	N86° 20' 58.91"E	57.355	28.835	011.9715
C22	0.497	275.000	S87° 36' 45.90"E	0.497	0.249	000.1036
C23	3.115	1025.000	S87° 38' 52.94"E	3.115	1.558	000.1741
C24	19.771	275.000	S85° 40' 31.82"E	19.767	9.880	004.1192
C25	42.051	275.000	S79° 14' 07.12"E	42.010	21.066	008.7612
C26	15.474	165.000	N77° 40' 38.39"E	15.468	7.743	005.3732
C27	34.277	165.000	N86° 18' 54.62"E	34.215	17.200	011.9025
C28	0.497	165.000	S87° 38' 50.19"E	0.497	0.249	000.1728
C29	3.450	1135.000	S87° 38' 52.94"E	3.450	1.725	000.1741
C30	11.862	165.000	S85° 40' 31.82"E	11.860	5.934	004.1192
C31	25.230	165.000	S79° 14' 07.12"E	25.206	12.640	008.7612

- NOTES**
1. ALL CURB & GUTTER SHALL BE 18" ROLL-OVER CONCRETE CURB & GUTTER UNLESS OTHERWISE SHOWN.



811
Know what's below.
Call before you dig.

SCALE: 1" = 30'

0 15' 30' 60' 120'

NOT FOR CONSTRUCTION
RELEASED FOR CONSTRUCTION
DATE: BY:

COLEMAN COMPANY, INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041 (F) 912-200-3056

REGISTERED
No. 031215
PROFESSIONAL
ENGINEER
TRAVIS G. BURRIS

REVISION

NO.	DATE	DESCRIPTION

**CIVIL CONSTRUCTION PLANS OF
PARKSIDE SUBDIVISION, 28 LOTS
LOCATED IN: PORT WENTWORTH, GA
PREPARED FOR: BEP RICE HOPE LLC**

STAKING PLAN

DATE: 11/15/2017
SCALE: 1" = 30'
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

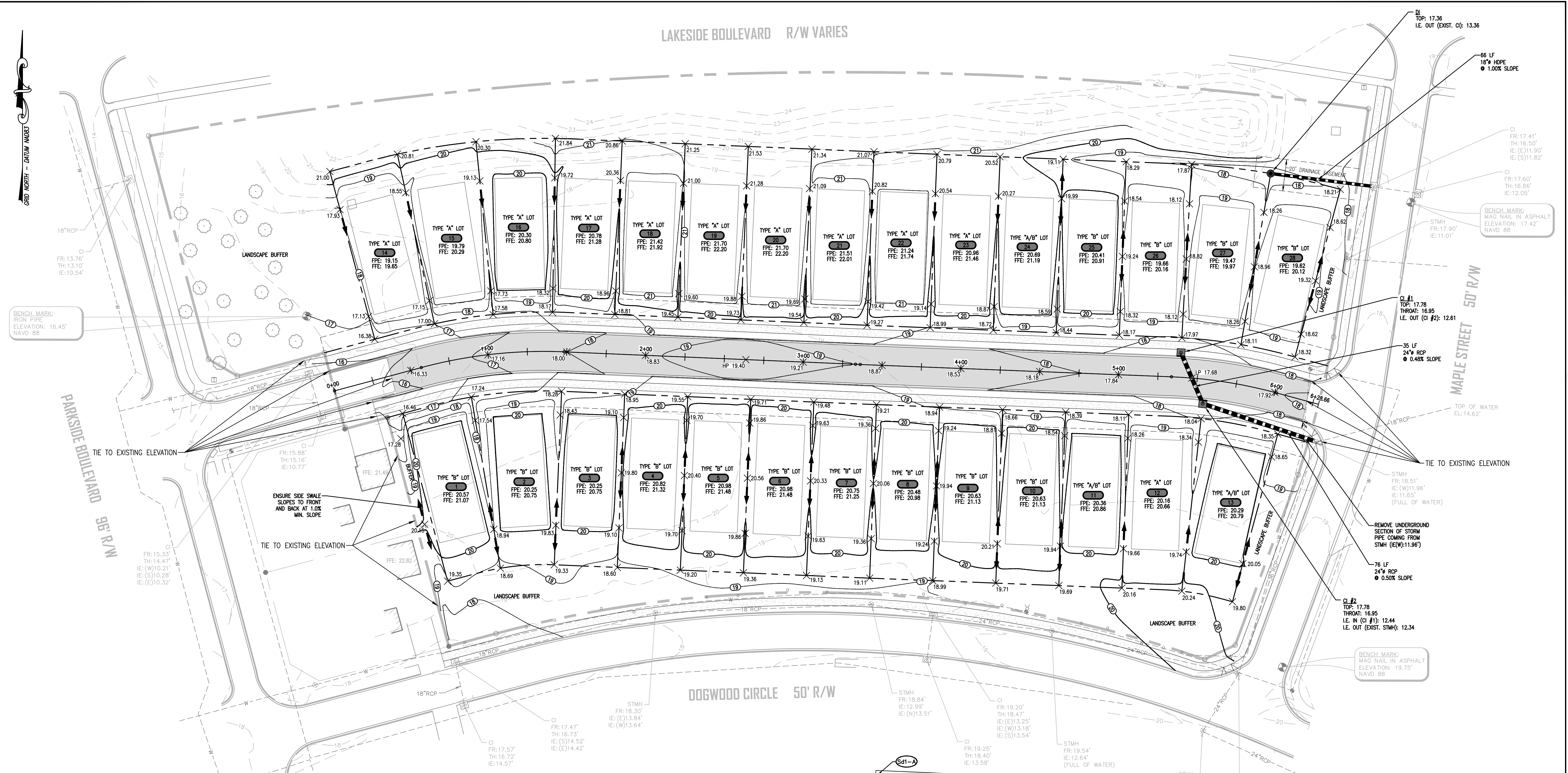
SHEET
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Attachment: Parkside Subdivision, 28 Lots, Civil Construction Plans (1801) : Site Plan Review Application Lakeside Boulevard-14-003 (JANUARY 2018)

LAKESIDE BOULEVARD R/W VARIES

DOGWOOD CIRCLE 50' R/W

MAPLE STREET 50' R/W



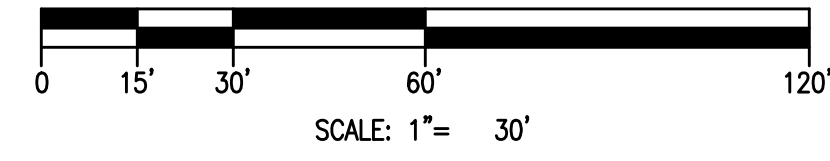
BENCH MARK:
IRON PIPE
ELEVATION: 16.45'
NAVD 88

BENCH MARK:
MAG NAIL IN ASPHALT
ELEVATION: 17.42'
NAVD 88

35 LF
24" RCP
0.48% SLOPE

76 LF
24" RCP
0.50% SLOPE

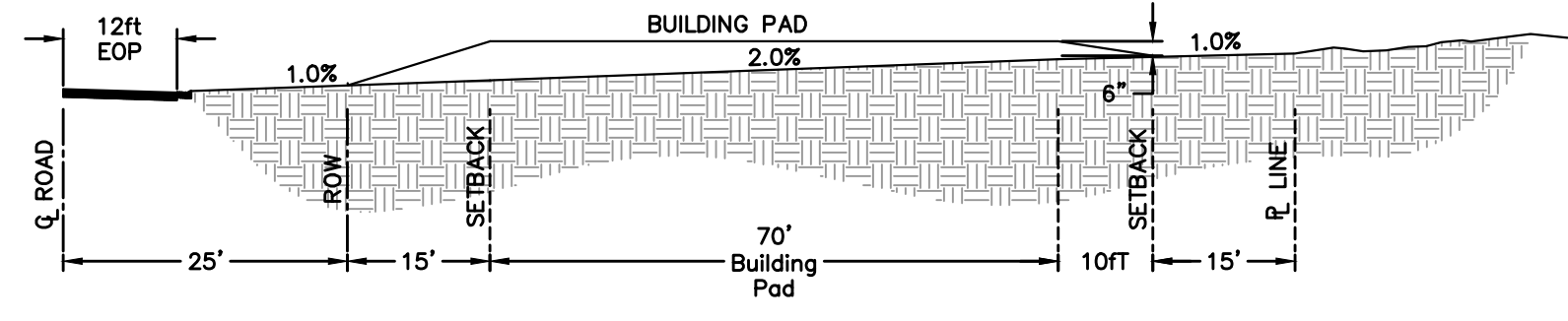
BENCH MARK:
MAG NAIL IN ASPHALT
ELEVATION: 19.75'
NAVD 88



GRADE ADJACENT TO STRUCTURE SHALL BE A MIN. OF 6" BELOW THE FFE AT THE HIGHEST POINT.

THERE SHALL BE A MINIMUM OF 6" OF FALL WITHIN 10FT OF THE STRUCTURE. WHERE 6" OF FALL CANNOT BE OBTAINED WITHIN 10 FT DUE TO DISTANCE CONSTRAINTS, THEN THE GRADE SHALL SLOPE AT A MINIMUM OF 5.0% FROM THE STRUCTURE TO THE SIDE YARD SWALE.

LOT GRADING TYPE "A"
ALL DRAINAGE TO STREET

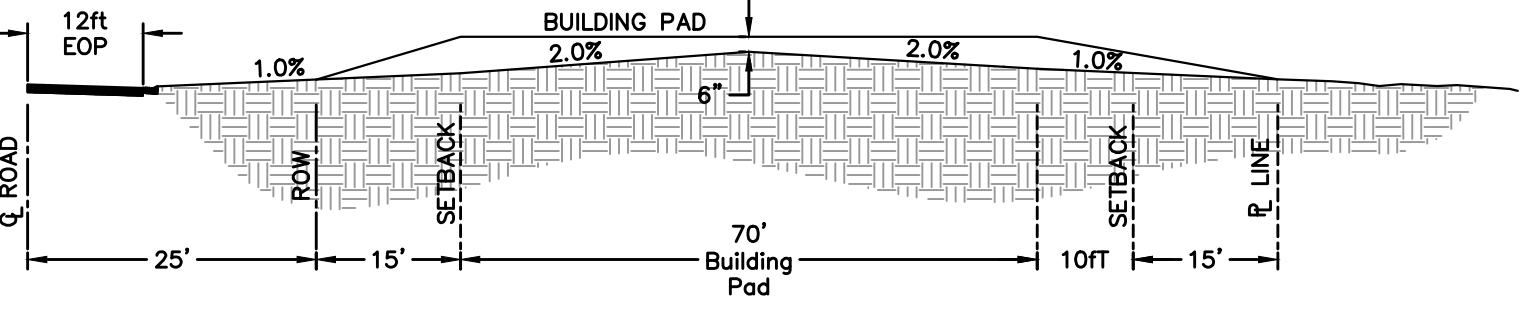


TYPICAL LOT SECTION
NTS

GRADE ADJACENT TO STRUCTURE SHALL BE A MIN. OF 6" BELOW THE FFE AT THE HIGHEST POINT.

THERE SHALL BE A MINIMUM OF 6" OF FALL WITHIN 10FT OF THE STRUCTURE. WHERE 6" OF FALL CANNOT BE OBTAINED WITHIN 10 FT DUE TO DISTANCE CONSTRAINTS, THEN THE GRADE SHALL SLOPE AT A MINIMUM OF 5.0% FROM THE STRUCTURE TO THE SIDE YARD SWALE.

LOT GRADING TYPE "B"
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE

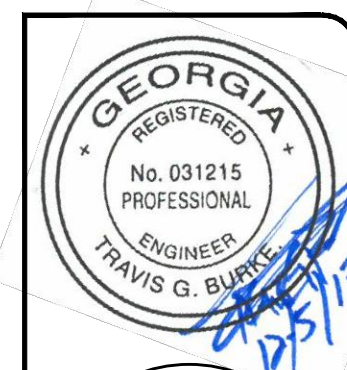


TYPICAL LOT SECTION
NTS

- NOTES
- ADDITIONAL LIFTS BELOW THE FIRST 12 INCHES OF COMPACTED SUB-GRADE SHALL BE COMPACTED TO 95% DENSITY.

NOT FOR CONSTRUCTION
RELEASED FOR CONSTRUCTION
DATE: BY:

COLEMAN COMPANY, INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041 (F) 912-200-3056



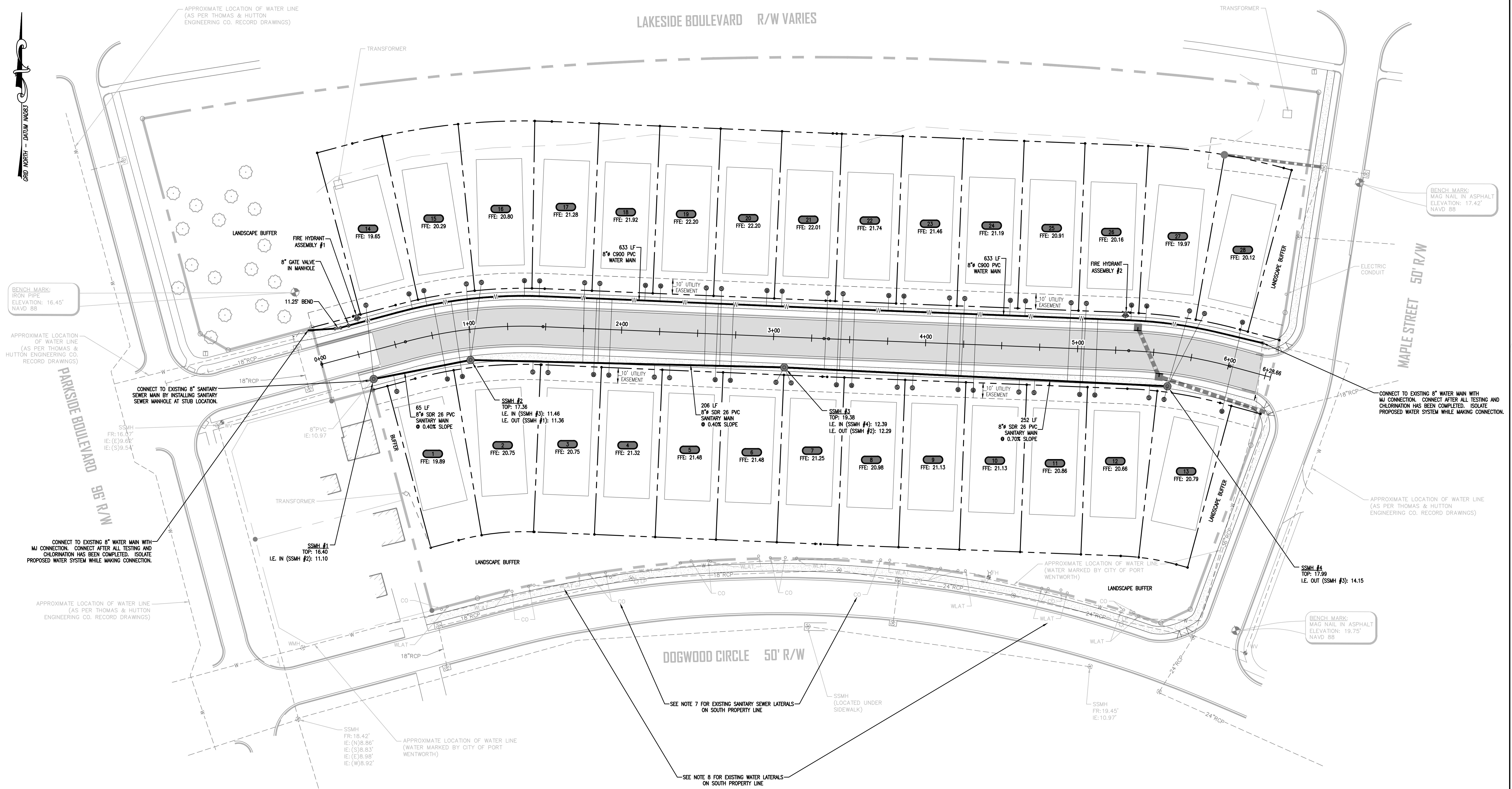
NO.	DATE	DESCRIPTION

CIVIL CONSTRUCTION PLANS OF
PARKSIDE SUBDIVISION, 28 LOTS
LOCATED IN: PORT WENTWORTH, GA
PREPARED FOR: BEP RICE HOPE LLC

PGD
PLAN

DATE: 11/15/2017
SCALE: 1" = 30'
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

SHEET
C3.0



LAKESIDE BOULEVARD R/W VARIES

MAPLE STREET 50' R/W

DOGWOOD CIRCLE 50' R/W

APPROXIMATE LOCATION OF WATER LINE (AS PER THOMAS & HUTTON ENGINEERING CO. RECORD DRAWINGS)

APPROXIMATE LOCATION OF WATER LINE (AS PER THOMAS & HUTTON ENGINEERING CO. RECORD DRAWINGS)

APPROXIMATE LOCATION OF WATER LINE (AS PER THOMAS & HUTTON ENGINEERING CO. RECORD DRAWINGS)

APPROXIMATE LOCATION OF WATER LINE (AS PER THOMAS & HUTTON ENGINEERING CO. RECORD DRAWINGS)

APPROXIMATE LOCATION OF WATER LINE (AS PER THOMAS & HUTTON ENGINEERING CO. RECORD DRAWINGS)

- NOTES**
1. ALL SANITARY SEWER LATERALS ARE TO BE 4"Ø PVC WITH 1% MINIMUM SLOPE.
 2. ALL WATER LATERALS SHALL BE 1"Ø POLYETHYLENE TUBING.
 3. ALL WATER AND SANITARY SEWER LATERALS SHALL BE INSTALLED A MINIMUM OF 5' FROM THE PROPERTY LINE.
 4. WATER METERS SHALL BE INSTALLED ACCORDING TO STANDARD CITY OF PORT WENTWORTH RESIDENTIAL WATER METER SPECIFICATIONS.
 5. THIS SUBDIVISION DOES NOT REQUIRE A FIRE SYSTEM.
 6. THIS SUBDIVISION DOES NOT REQUIRE AN IRRIGATION SYSTEM.
 7. CUT AND CAP SEWER LATERALS 3' BELOW GRADE.
 8. BURY WATER LATERALS 3' BELOW GRADE.

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: BY:

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (D) 912.200.3041 (F) 912.200.3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. BURKE

REVISION

CIVIL CONSTRUCTION PLANS OF
 PARKSIDE SUBDIVISION, 28 LOTS
 LOCATED IN: PORT WENTWORTH, GA
 PREPARED FOR: BEP RICE HOPE LLC

UTILITY PLAN

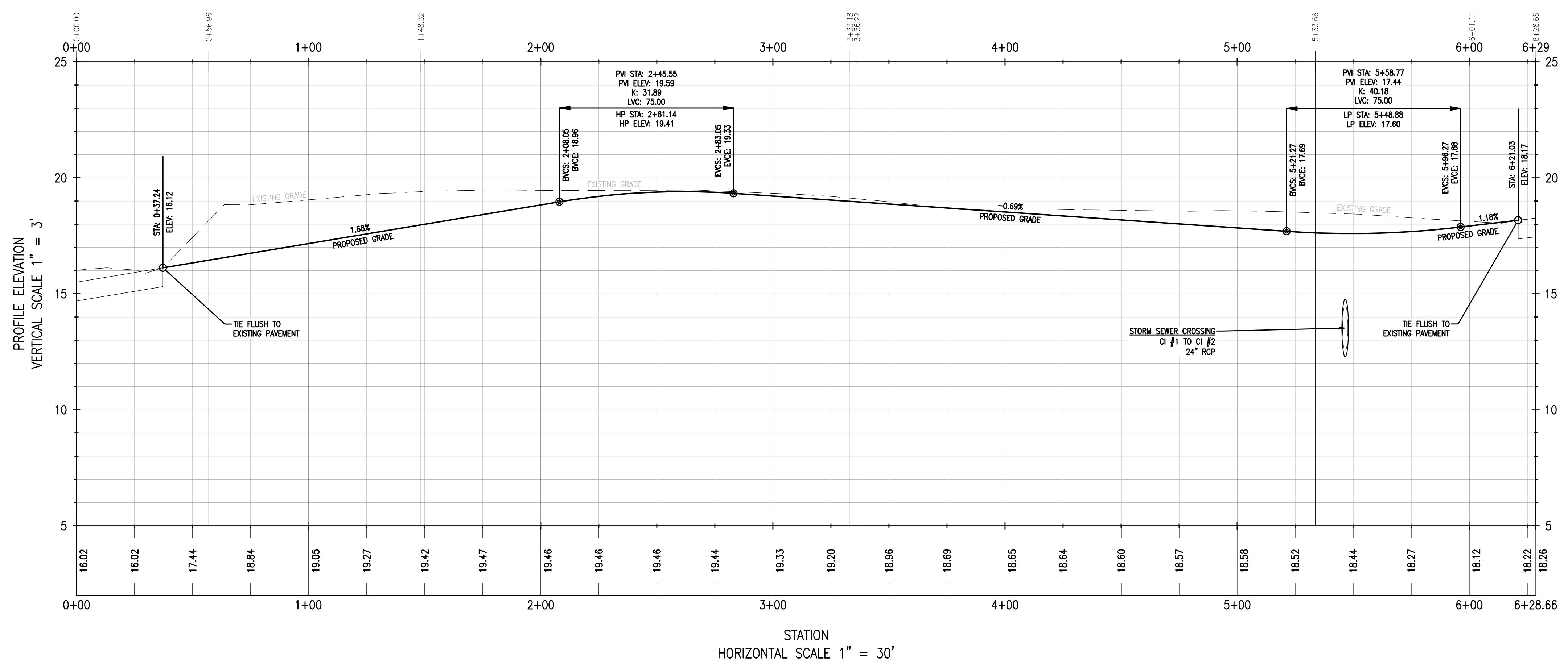
DATE: 11/15/2017
 SCALE: 1" = 30'
 JOB #: 17-574
 DRAWN BY: TBM
 CHECKED BY: TGB

SHEET
C4.0

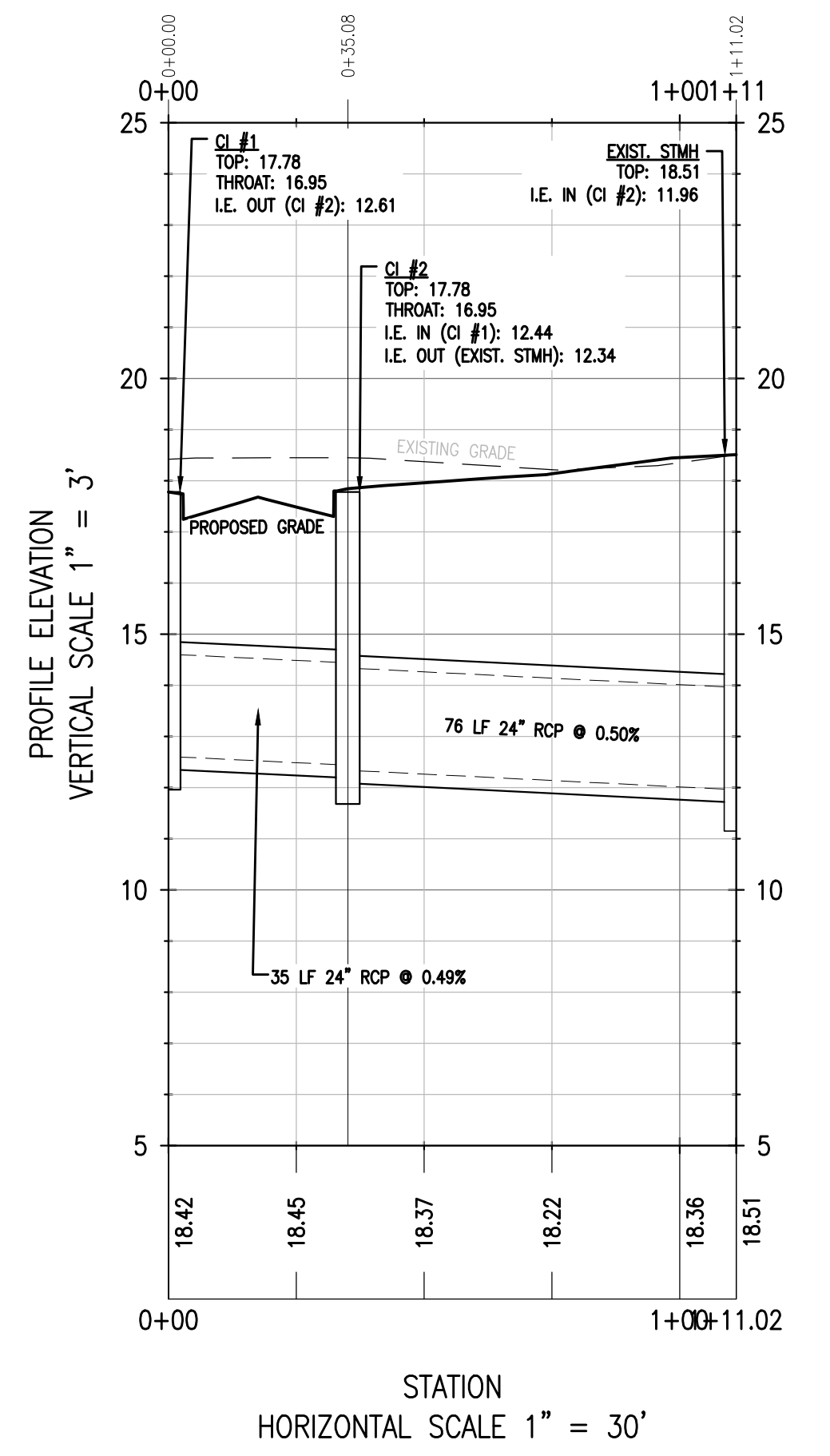
Attachment: Parkside Subdivision, 28 Lots, Civil Construction Plans (1801 - Site Plan Review Application Lakeside Boulevard-7-0906B-14-003 JANUARY 2018)

Packet Pg. 25

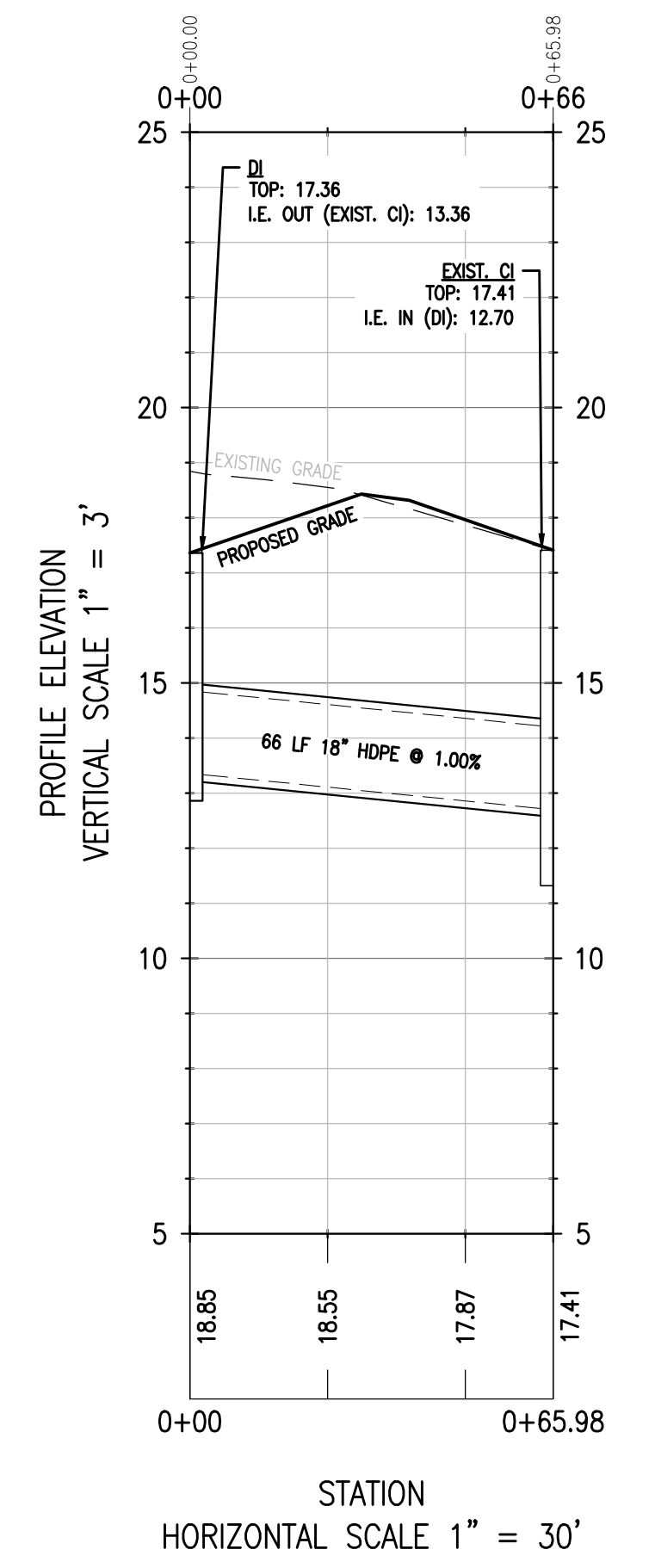
ROAD CENTERLINE PROFILE



**STORM SEWER PROFILE
CI #1 TO EXIST. STMH**



**STORM SEWER PROFILE
DI TO EXIST. CI**



COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (D) 912.200.3041 | (F) 912.200.3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. BURTON

REVISION

CIVIL CONSTRUCTION PLANS OF
 PARKSIDE SUBDIVISION, 28 LOTS
 LOCATED IN: PORT WENTWORTH, GA
 PREPARED FOR: BEP RICE HOPE LLC

PROFILES

DATE: 11/15/2017
 SCALE: N.T.S.
 JOB #: 17-574
 DRAWN BY: TBM
 CHECKED BY: TGB

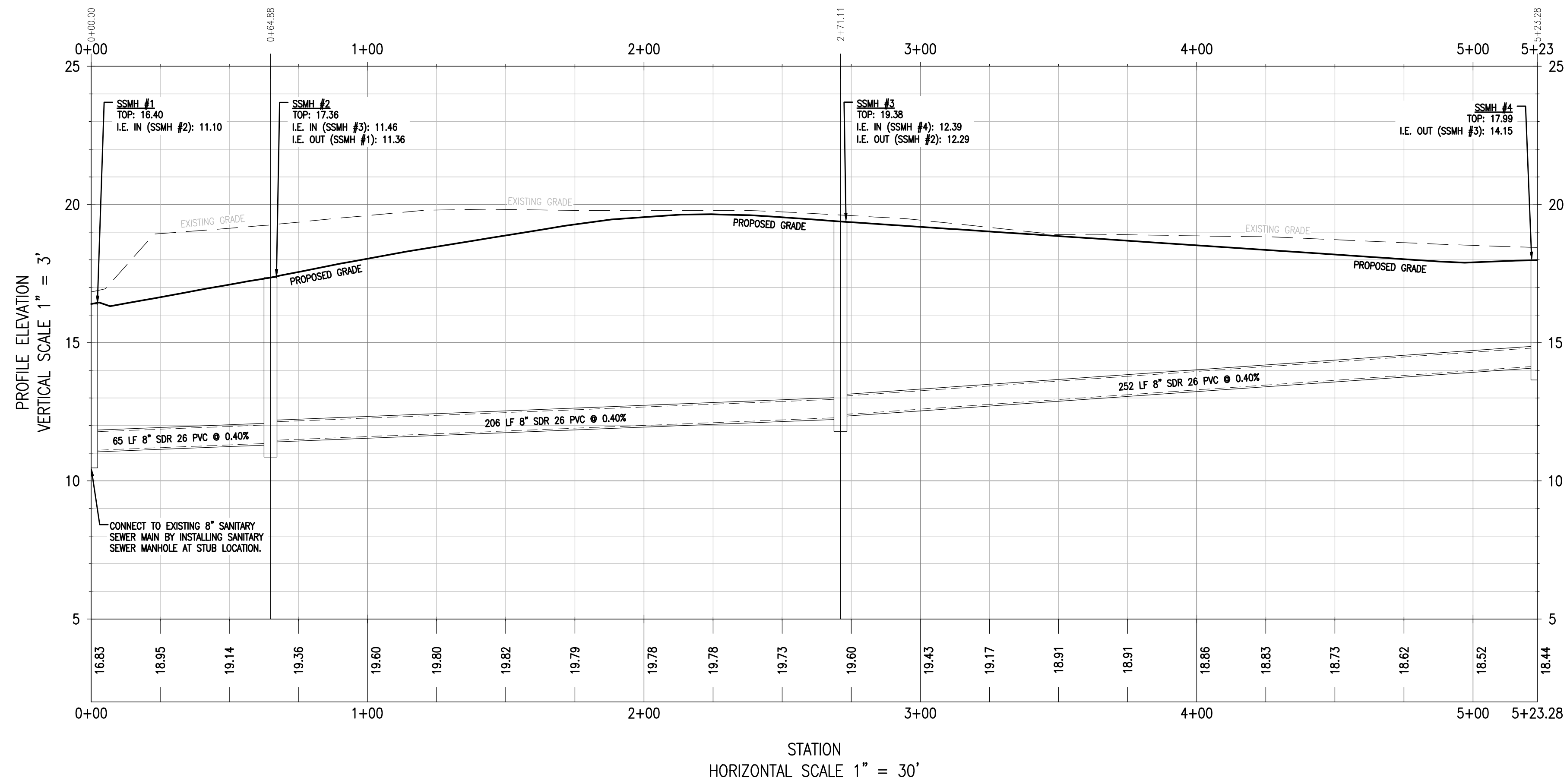
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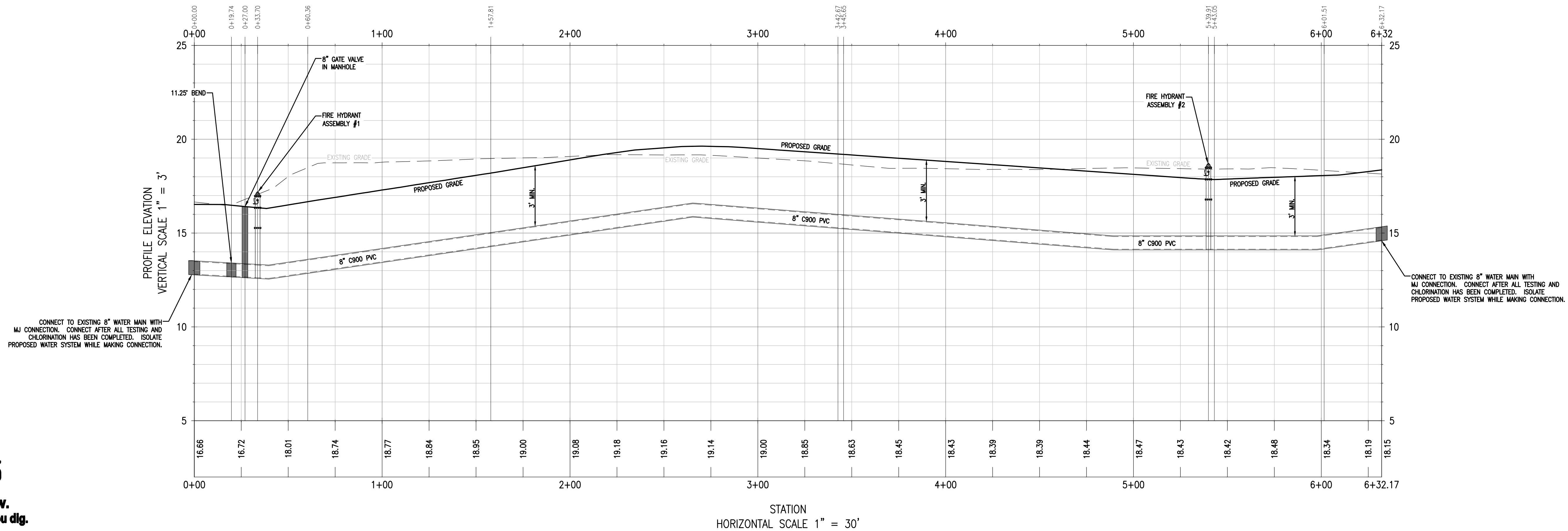


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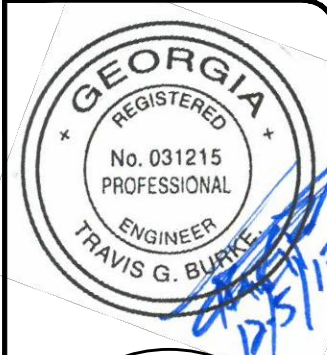
SANITARY SEWER MAIN PROFILE



WATER MAIN PROFILE



COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (404) 912.200.3041 (F) 912.200.3056



REVISION

CIVIL CONSTRUCTION PLANS OF
 PARKSIDE SUBDIVISION, 28 LOTS
 LOCATED IN: PORT WENTWORTH, GA
 PREPARED FOR: BEP RICE HOPE LLC

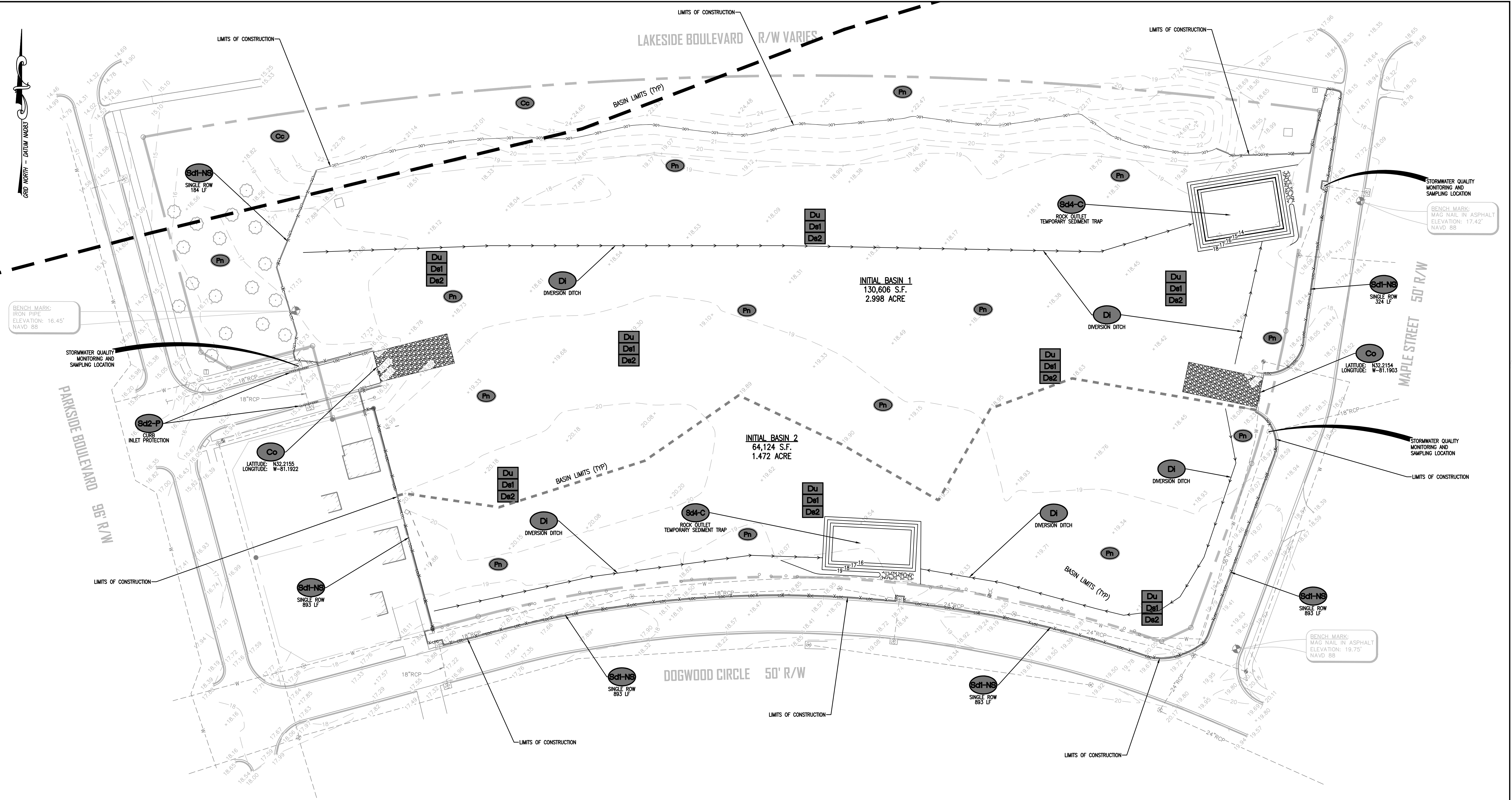
PROFILES

DATE: 11/15/2017
 SCALE: N.T.S.
 JOB #: 17-574
 DRAWN BY: TBM
 CHECKED BY: TGB

SHEET
05.1

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: BY:





811
Know what's below.
Call before you dig.

SCALE: 1" = 30'

0 15' 30' 60' 120'

TEMPORARY SEDIMENT STORAGE REQUIREMENTS - INITIAL BASIN 1
DISTURBED AREA: 2.998 AC.
REQUIRED STORAGE (67 C.Y. PER ACRE): 3.630 AC. X 67 C.Y./AC. = 243.2 C.Y. = 5,423 C.F.

SEDIMENT BASIN STORAGE PROVIDED:
TOP ELEV. (17.00') AREA: 2,516 S.F. (3' DEPTH)
BOTTOM ELEV. (14.00') AREA: 1,437 S.F. (3' DEPTH)
VOLUME (AVERAGE END METHOD): [(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2] X DEPTH OF POND
VOLUME: [(2,516 S.F. + 1,437 S.F.)/2] X 3' = 5,929 C.F.

5,929 C.F. > 5,423 C.F. THEREFORE ADEQUATE STORAGE PROVIDED

TEMPORARY SEDIMENT STORAGE REQUIREMENTS - INITIAL BASIN 2
DISTURBED AREA: 1.472 AC.
REQUIRED STORAGE (67 C.Y. PER ACRE): 0.840 AC. X 67 C.Y./AC. = 56.3 C.Y. = 2,663 C.F.

SEDIMENT BASIN STORAGE PROVIDED:
TOP ELEV. (18.00') AREA: 1,838 S.F. (2' DEPTH)
BOTTOM ELEV. (16.00') AREA: 1,180 S.F. (2' DEPTH)
VOLUME (AVERAGE END METHOD): [(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2] X DEPTH OF POND
VOLUME: [(1,838 S.F. + 1,180 S.F.)/2] X 2' = 3,018 C.F.

3,018 C.F. > 2,663 C.F. THEREFORE ADEQUATE STORAGE PROVIDED

**PARKSIDE SUBDIVISION
28 LOTS**

SITE DATA
PROJECT AREA: 5.044 ACRES
DISTURBED AREA: 4,700 ACRES
ADDRESS: LAKESIDE BLVD.
PORT WENTWORTH, GA
ACCESSIBLE FROM: PARKSIDE BLVD. AND MAPLE ST.
PIN: 7-0906B-14-003
DATUM: NGVD 88
FLOOD ZONE: X
SITE ZONING: M-P-0

OWNER
NAME: BEP RICE HOPE LLC
ADDRESS: 4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD 20814
TELEPHONE NO: (301) 915-0460
EMAIL: jbslo@baldieaglepartners.com

CIVIL ENGINEER
NAME: COLEMAN COMPANY, INC.
ADDRESS: 17 PARK OF COMMERCE BLVD.
SUITE 201 SAVANNAH, GA 31405
CONTACT: TRAVIS BURKE
TELEPHONE NO.: 912-200-3041

SOILS LEGEND

Ph - POOLER FINE SANDY LOAM
Cc - CAPE FEAR SOILS

SPECIAL NOTES:

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- THE PURPOSE OF THE TEMPORARY DIVERSION CHANNELS ARE TO DIVERT SITE RUNOFF INTO THE TEMPORARY SEDIMENT BASINS. THESE CHANNELS MAY NOT BE SHOWN IN EXACTLY THE CORRECT LOCATIONS ON THE PLAN. THE ONSITE CONSTRUCTION MANAGER SHALL USE BEST MANAGEMENT PRACTICES TO LOCATE/RE-LOCATE THESE CHANNELS AS NEEDED OR AS GRADING CHANGES TOPOGRAPHY.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION

DATE: BY:

COLEMAN COMPANY, INC.
17 PARK OF COMMERCE SUITE 201
SAVANNAH, GA 31405
(912) 200-3041 (F) 912-200-3056

REGISTERED PROFESSIONAL ENGINEER
No. 031215
TRAVIS G. BURKE

REVISION

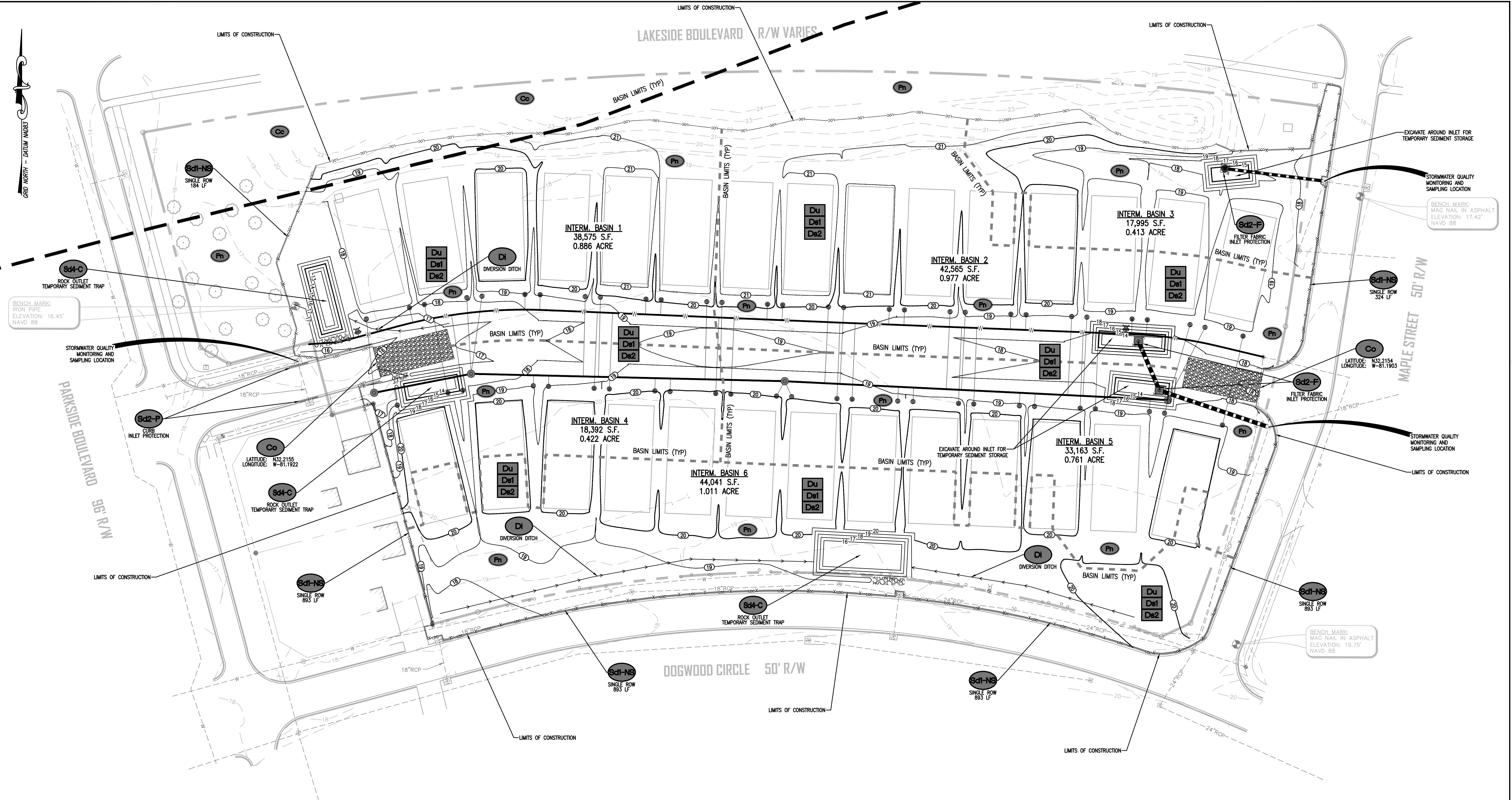
**CIVIL CONSTRUCTION PLANS OF
PARKSIDE SUBDIVISION, 28 LOTS
LOCATED IN: PORT WENTWORTH, GA
PREPARED FOR: BEP RICE HOPE LLC**

**INITIAL ES&PC
PLAN**

DATE: 11/15/2017
SCALE: 1" = 30'
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

SHEET
CG.0

Packet Pg. 28

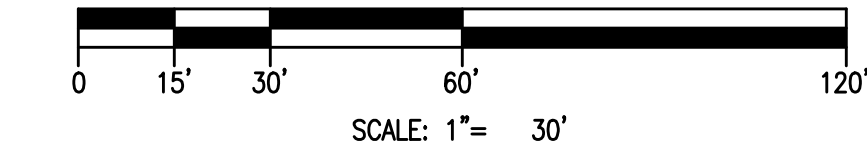


BENCH MARK:
IRON PIPE
ELEVATION: 16.45'
NAVD 88

PARKSIDE BOULEVARD
50' R/W

MAPLE STREET
50' R/W

DOGWOOD CIRCLE
50' R/W



TEMPORARY SEDIMENT STORAGE REQUIREMENTS - INTERMEDIATE BASIN 1
 DISTURBED AREA: 0.886 AC.
 REQUIRED STORAGE (67 C.Y. PER ACRE): 0.886 AC. X 67 C.Y./AC. = 59.4 C.Y. = 1,603 C.F.
 SEDIMENT BASIN STORAGE PROVIDED:
 TOP ELEV. (16.00') AREA: 874 S.F.
 BOTTOM ELEV. (13.00') AREA: 219 S.F. (2' DEPTH)
 VOLUME (AVERAGE END METHOD): [(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2] X DEPTH OF POND
 VOLUME: [(874 S.F. + 219 S.F.)/2] X 2' = 1,640 C.F.
 1,640 C.F. > 1,603 C.F. THEREFORE ADEQUATE STORAGE PROVIDED

TEMPORARY SEDIMENT STORAGE REQUIREMENTS - INTERMEDIATE BASIN 2
 DISTURBED AREA: 0.977 AC.
 REQUIRED STORAGE (67 C.Y. PER ACRE): 0.977 AC. X 67 C.Y./AC. = 65.5 C.Y. = 1,767 C.F.
 SEDIMENT BASIN STORAGE PROVIDED:
 TOP ELEV. (16.95') AREA: 986 S.F.
 BOTTOM ELEV. (14.00') AREA: 277 S.F. (2.95' DEPTH)
 VOLUME (AVERAGE END METHOD): [(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2] X DEPTH OF POND
 VOLUME: [(986 S.F. + 277 S.F.)/2] X 2.95' = 1,833 C.F.
 1,833 C.F. > 1,767 C.F. THEREFORE ADEQUATE STORAGE PROVIDED

TEMPORARY SEDIMENT STORAGE REQUIREMENTS - INTERMEDIATE BASIN 3
 DISTURBED AREA: 0.413 AC.
 REQUIRED STORAGE (67 C.Y. PER ACRE): 0.413 AC. X 67 C.Y./AC. = 27.7 C.Y. = 747 C.F.
 SEDIMENT BASIN STORAGE PROVIDED:
 TOP ELEV. (17.35') AREA: 627 S.F.
 BOTTOM ELEV. (15.00') AREA: 221 S.F. (2.35' DEPTH)
 VOLUME (AVERAGE END METHOD): [(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2] X DEPTH OF POND
 VOLUME: [(627 S.F. + 221 S.F.)/2] X 2.35' = 1,001 C.F.
 1,001 C.F. > 747 C.F. THEREFORE ADEQUATE STORAGE PROVIDED

TEMPORARY SEDIMENT STORAGE REQUIREMENTS - INTERMEDIATE BASIN 4
 DISTURBED AREA: 0.422 AC.
 REQUIRED STORAGE (67 C.Y. PER ACRE): 0.422 AC. X 67 C.Y./AC. = 28.3 C.Y. = 763 C.F.
 SEDIMENT BASIN STORAGE PROVIDED:
 TOP ELEV. (16.00') AREA: 593 S.F.
 BOTTOM ELEV. (14.00') AREA: 221 S.F. (2' DEPTH)
 VOLUME (AVERAGE END METHOD): [(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2] X DEPTH OF POND
 VOLUME: [(593 S.F. + 221 S.F.)/2] X 2' = 814 C.F.
 814 C.F. > 763 C.F. THEREFORE ADEQUATE STORAGE PROVIDED

TEMPORARY SEDIMENT STORAGE REQUIREMENTS - INTERMEDIATE BASIN 5
 DISTURBED AREA: 0.761 AC.
 REQUIRED STORAGE (67 C.Y. PER ACRE): 0.761 AC. X 67 C.Y./AC. = 51.0 C.Y. = 1,377 C.F.
 SEDIMENT BASIN STORAGE PROVIDED:
 TOP ELEV. (16.95') AREA: 815 S.F.
 BOTTOM ELEV. (14.00') AREA: 221 S.F. (2.95' DEPTH)
 VOLUME (AVERAGE END METHOD): [(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2] X DEPTH OF POND
 VOLUME: [(815 S.F. + 221 S.F.)/2] X 2.95' = 1,528 C.F.
 1,528 C.F. > 1,377 C.F. THEREFORE ADEQUATE STORAGE PROVIDED

TEMPORARY SEDIMENT STORAGE REQUIREMENTS - INTERMEDIATE BASIN 6
 DISTURBED AREA: 1.011 AC.
 REQUIRED STORAGE (67 C.Y. PER ACRE): 1.011 AC. X 67 C.Y./AC. = 67.7 C.Y. = 1,829 C.F.
 SEDIMENT BASIN STORAGE PROVIDED:
 TOP ELEV. (16.00') AREA: 1,483 S.F.
 BOTTOM ELEV. (16.00') AREA: 872 S.F. (2' DEPTH)
 VOLUME (AVERAGE END METHOD): [(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2] X DEPTH OF POND
 VOLUME: [(1,483 S.F. + 872 S.F.)/2] X 2' = 2,355 C.F.
 2,355 C.F. > 1,829 C.F. THEREFORE ADEQUATE STORAGE PROVIDED

PARKSIDE SUBDIVISION 28 LOTS	
SITE DATA	
PROJECT AREA:	5,044 ACRES
DISTURBED AREA:	4,700 ACRES
ADDRESS:	LAKEVIEW BLVD. PORT WENTWORTH, GA 7-0906B-14-003 NOV 88
ACCESSIBLE FROM:	
PIN:	X
DATUM:	M-P-0
FLOOD ZONE:	
SITE ZONING:	
OWNER	
NAME:	BEP RICE HOPE LLC
ADDRESS:	4800 HAMPDEN LANE, SUITE 200 BETHESDA, MD 20814 (301) 915-0460 joblo@balddeaglepartners.com
TELEPHONE NO.:	
EMAIL:	
CIVIL ENGINEER	
NAME:	COLEMAN COMPANY, INC
ADDRESS:	17 PARK OF COMMERCE BLVD. SUITE 201 SAVANNAH, GA 31405 TRAVIS BURKE
CONTACT:	
TELEPHONE NO.:	912-200-3041

- SOILS LEGEND**
- Pn - POOLER FINE SANDY LOAM
 - Cc - CAPE FEAR SOILS

SPECIAL NOTES:

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO LAND-DISTURBING ACTIVITIES.
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I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, AND PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: BY:

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 (F) 912-200-3056

REGISTERED
 No. 031215
 PROFESSIONAL
 ENGINEER
 TRAVIS G. BURKE

REVISION

NO.	DESCRIPTION

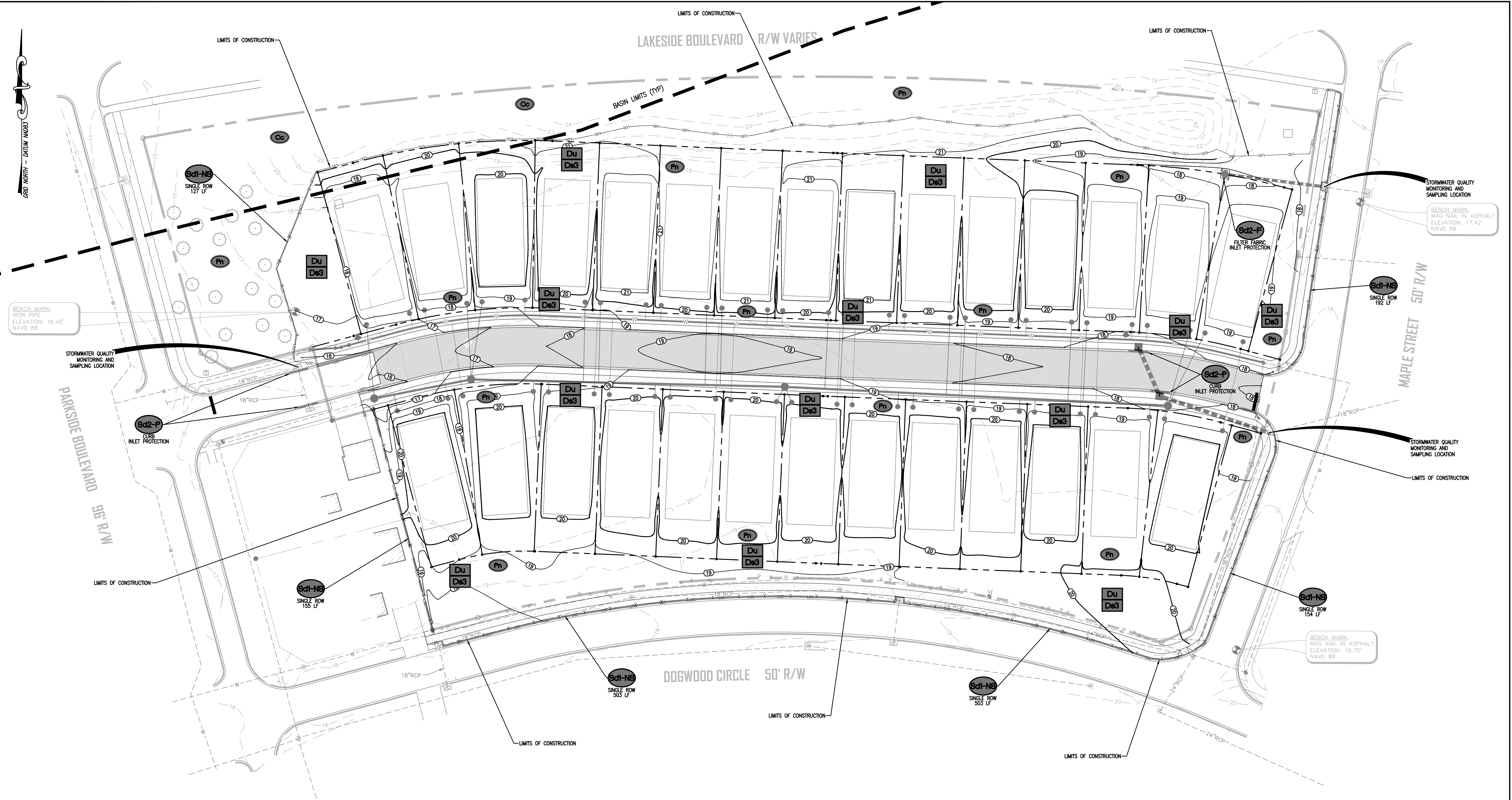
CIVIL CONSTRUCTION PLANS OF
 PARKSIDE SUBDIVISION, 28 LOTS
 LOCATED IN: PORT WENTWORTH, GA
 PREPARED FOR: BEP RICE HOPE LLC

SHEET
CG.1

DATE: 11/15/2017
 SCALE: 1" = 30'
 JOB #: 17-574
 DRAWN BY: TBM
 CHECKED BY: TGB

Packet Pg. 29

Attachment: Parkside Subdivision, 28 Lots, Civil Construction Plans (1801) : Site Plan Review Application Lakeside Boulevard-14-003 (JANUARY 2018)



ALL FINAL BMP'S AND PERIMETER SILT FENCE SHALL BE REMOVED ONLY AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED W/VEGETATION.

**PARKSIDE SUBDIVISION
28 LOTS**

SITE DATA
 PROJECT AREA: 5.044 ACRES
 DISTURBED AREA: 4.700 ACRES
 ADDRESS: LAKESIDE BLVD. PORT WENTWORTH, GA
 ACCESSIBLE FROM: PARKSIDE BLVD. AND MAPLE ST.
 PIN: 7-0906B-14-003
 DATUM: NGVD 88
 FLOOD ZONE: X
 SITE ZONING: M-P-0

OWNER
 NAME: BEP RICE HOPE LLC
 ADDRESS: 4800 HAMPDEN LANE, SUITE 200 BETHESDA, MD 20814
 TELEPHONE NO: (301) 915-0460
 EMAIL: jblo@balddeaglepartners.com

CIVIL ENGINEER
 NAME: COLEMAN COMPANY, INC
 ADDRESS: 17 PARK OF COMMERCE BLVD. SUITE 201 SAVANNAH, GA 31405
 CONTACT: TRAVIS BURKE
 TELEPHONE NO.: 912-200-3041

SOILS LEGEND

Ph - POOLER FINE SANDY LOAM
 Cc - CAPE FEAR SOILS

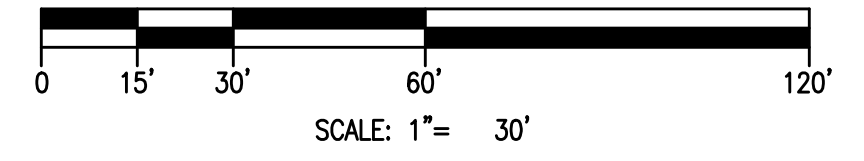
SPECIAL NOTES:

1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO LAND-DISTURBING ACTIVITIES.
2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
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4. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

TRAVIS G. BURKE, P.E. GSWCC CERTIFICATION # 8134



COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 (F) 912-200-3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. BURKE

REVISION

**CIVIL CONSTRUCTION PLANS OF
 PARKSIDE SUBDIVISION, 28 LOTS
 LOCATED IN: PORT WENTWORTH, GA
 PREPARED FOR: BEP RICE HOPE LLC**

**FINAL
 ESSGPC PLAN**

DATE: 11/15/2017
 SCALE: 1" = 30'
 JOB #: 17-574
 DRAWN BY: TBM
 CHECKED BY: TGB

SHEET
CG.2

NOT FOR CONSTRUCTION
 TRAVIS G. BURKE
 GSWCC CERTIFICATION # 8134
 RELEASED FOR CONSTRUCTION
 DATE: BY:

Attachment: Parkside Subdivision, 28 Lots, Civil Construction Plans (1801) : Site Plan Review Application Lakeside Boulevard-14-003 (JANUARY 2018)

EROSION AND SEDIMENT NARRATIVE NOTES

4 TWENTY-FOUR HOUR CONTACT RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL:
JILL ABLA (BEP RICE HOPE LLC)
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD 20814
(301) 915-0460

5 PRIMARY PERMITTEE DEVELOPER/OWNER:
BEP RICE HOPE LLC
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD 20814
(301) 915-0460

**6 TOTAL ACREAGE FOR THIS SITE IS 5.044 ACRES
DISTURBED ACREAGE FOR THIS SITE IS 4.700 ACRES**


7 THE GPS LOCATION OF THE CONSTRUCTION EXIT FOR THE SITE IS 32°21'52" LATITUDE, -81°1922" LONGITUDE AND 32°21'52" LATITUDE, -81°1903" LONGITUDE

8 DESCRIPTION AND NATURE OF THE CONSTRUCTION ACTIVITY:
BEP RICE HOPE LLC IS PROPOSING TO CONSTRUCT 28 SINGLE-FAMILY RESIDENTIAL LOTS. CONSTRUCTION WILL INCLUDE ALL PAVING, GRAVING, DRAINAGE, AND UTILITY INFRASTRUCTURE. THE PROJECT WILL CONSIST OF ONE RIGHT-OF-WAY THAT WILL BE THE LEFT AND RIGHT SIDES OF THE SITE. PROPOSED WATER MAIN WILL CONNECT AT BOTH ENDS OF THE PROPOSED ROAD IN ORDER TO CREATE A LOOP WITHIN THE EXISTING SYSTEM. PROPOSED GRAVITY SEWER MAIN WILL CONNECT AT THE WESTERN END OF THE PROPOSED ROAD. PROPOSED STORM PIPES WILL CONNECT AT THE EASTERN END OF THE PROPOSED ROAD.

9 THE EXISTING SITE IS CLEARED AND ROUGHLY GRADED WITH VEGETATION CONSISTING OF SHRUBS AND WEEDS. THE SOILS PRESENT ON THE SITE ARE: (Ph) POOLER FINE SANDY LOAM AND (Cq) CAPEER SANDS.

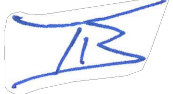
10 PROJECT RECEIVING WATERS, SENSITIVE ADJACENT AREAS WHICH MAY BE AFFECTED:
THE EXISTING RUN-OFF GENERATED FROM THIS PROPERTY DRAINS INTO TWO EXISTING DETENTION PONDS THAT EVENTUALLY DISCHARGES INTO A JURISDICTIONAL WETLAND THAT DISCHARGES INTO BLACK CREEK, WHICH ULTIMATELY DRAINS INTO THE SAVANNAH RIVER.

11 CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM OF DESIGN THAT IS QUALIFIED PERSONNEL PROPERLY GATHER AND THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPROVEMENT FOR KNOWING VIOLATIONS.



TRAVIS BURKE - DESIGN PROFESSIONAL - GSWCC CERTIFICATION #8134

12 I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.



TRAVIS BURKE - DESIGN PROFESSIONAL - GSWCC CERTIFICATION #8134

DESIGN PROFESSIONAL 7 DAY VISIT CERTIFICATION

DATE OF INSPECTION: _____

I certify the site was in compliance with the ESS&PC Plan on the date of inspection.

GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #

Inspection revealed the following discrepancies from the ESS&PC Plan.

These deficiencies must be addressed immediately and a re-inspection scheduled. Work shall not proceed on the site until design Professional Certification is obtained.

- 15 "NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 30 FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE CHASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS."**
- 17 "AMENDMENTS/REVISIONS TO THE ESS&PC PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL."**
- 18 "WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT."**
- 19 "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES."**
- 20 "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."**
- 21 "ANY DISTURBED AREA LEFT FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING."**
- 22 "WASHING DOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS, DRUMS AND THE REAR OF THE VEHICLES AT THE CONSTRUCTION SITE IS PROHIBITED."**
- 23 "SPILL CLEANUP AND CONTROL PRACTICES"**
 - Local, State and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel.
 - Material and equipment necessary for spill cleanup will be kept in the material storage areas. Typical materials and equipment includes, but is not limited to brooms, dustpans, mops, rags, gloves, goggles, cat litter, sand, sawdust and properly labeled plastic and metal waste containers.
 - Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.
 - All spills will be cleaned up immediately upon discovery. All spills will be reported as required by local, State and Federal regulations.
 - FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-6602.
 - FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-6602.
 - FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE EPD WILL BE CONTACTED WITHIN 24 HOURS AT (800) 241-4113 OR (404) 656-4883
 - FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

The contractor shall notify the licensed professional who prepared this plan if more than 1320 gallons of petroleum is stored onsite (this includes capacities of equipment) or if any one piece of equipment has a capacity greater than 660 gallons. The Contractor will need a Spill Prevention Containment and Countermeasures Plan prepared by that licensed professional.

- PRODUCT SPECIFIC PRACTICES**
- Petroleum Based Products - Containers for products such as fuels, lubricants and tars will be inspected daily for leaks and spills. This includes on-site vehicle and machinery daily inspections and regular preventative maintenance of such equipment. Equipment maintenance areas will be located away from state water, natural drains and storm water inlets. In addition, temporary fueling tanks shall have a secondary containment liner to prevent/limitimize site contamination. Discharge of oils, fuels and lubricants is prohibited. Proper disposal methods will include collection in a suitable container and disposal as required by local and State regulations.
 - **Paints/Finishes/Solvents** - All products will be stored in tightly sealed original containers when not in use. Excess product will not be discharged to the storm water collection system. Excess product, materials used with these products and product containers will be disposed of according to manufacturer's specifications and recommendations.
 - **Concrete Truck Washing** - No concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water onsite.
 - **Fertilizer/Herbicides** - These products will be applied at rates that do not exceed the manufacturer's specifications or above the guidelines set forth in the crop establishment or in the GSWCC Manual for Erosion and Sediment Control in Georgia. Any storage of these materials will be under roof or sealed containers.
 - **Building Materials** - No building or construction materials will be buried or disposed of onsite. All such material will be disposed of in proper waste disposal procedures.

27 MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED:
PERMANENT SEEDING (Ds), CURB INLET PROTECTION (S2-P), AND FILTER FABRIC INLET PROTECTION (S2-F) WILL BE INSTALLED TO CONTROL POLLUTANTS IN STORM WATER THAT WILL OCCUR AFTER CONSTRUCTION HAS BEEN COMPLETED.

28 PRACTICES THAT WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES:
DUST CONTROL (Dd), MULCHING AND TEMPORARY SEEDING (Dd AND Dd2), CONSTRUCTION EXIT (Co), CURB INLET PROTECTION (S2-P), AND FILTER FABRIC INLET PROTECTION (S2-F), DIVERSION DITCH (Dd), ROCK OUTLET TEMPORARY SEDIMENT TRAP (S4-C), 1401 LF OF NON-SENSITIVE SILT FENCE (S41-NS) WILL BE USED TO REDUCE POLLUTANTS IN STORM WATER DISCHARGES DURING CONSTRUCTION.

INSPECTION REQUIREMENTS BY THE PERMITTEE:

- INSPECTIONS**
- a. **Primary Permittee requirements**
- (1) Each day when any type of construction activity has taken place at a primary permittee's site, certified personnel provided by the primary permittee shall inspect: (a) all areas at the primary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment and (b) all locations at the primary permittee's site where vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
 - (2) Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.
 - (3) Certified personnel (provided by the primary permittee) shall inspect the following at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the primary permittee's construction site; (b) areas used by the primary permittee for the storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the primary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.(4). These inspections must be conducted until a Notice of Termination is submitted.
 - (4) Certified personnel (provided by the primary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of the site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors when they are secondary permittees performing service line installations or when conducting repairs on existing line installations.
 - (5) Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection.
 - (6) A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.C.4.(5), of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a construction project that has been phased has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2 of this permit.
- b. **Secondary Permittee**
- (1) Each day when any type of construction activity has taken place at a secondary permittee's site, certified personnel provided by the secondary permittee shall inspect: (a) all areas used by the secondary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the secondary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors when they are secondary permittees performing service line installations or when conducting repairs on existing line installations.
 - (2) Certified personnel (provided by the utility companies and utility contractors if they are secondary permittees) shall inspect the following each day any type of construction activity has taken place at the construction site: (a) areas of the construction site disturbed by the utility companies and utility contractors that have not undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region; (b) areas used by the utility companies and utility contractors for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the secondary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.
 - (3) Certified personnel (provided by the secondary permittee) shall inspect the following at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the secondary permittee's construction site; (b) areas used by the secondary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the secondary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.
 - (4) Certified personnel (provided by the secondary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.
 - (5) Based on the results of each inspection, the secondary permittee must notify the primary permittee within 24-hours of any suspected BMP design deficiencies. The primary permittee must evaluate whether these deficiencies exist within 48-hours of such notice, and if these deficiencies are found to exist must amend the Plan in accordance with Part IV.C. of this permit to address those deficient BMPs within seven (7) days of being notified by the secondary permittee. When the Plan is amended, the primary permittee must notify and provide a copy of the amendment to all affected secondary permittees within this seven (7) day period. The secondary permittees must implement any new Plan requirements affecting their site(s) within 48-hours of notification by the primary permittee.
 - (6) A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.(5) of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2 of this permit. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees performing only service line installations or when conducting repairs on existing line installations.
 - (7) Each secondary permittee shall be provided with a copy of the Erosion Control Plans or portions of the plan applicable to their site and each secondary permittee shall sign the plan or portion of the plan applicable to their site.
- Secondary permittees sign when receiving plans. All secondary permittees shall submit a secondary NOI at least 14 days prior to beginning construction activity.
- LIST SECONDARY PERMITTEES BELOW:**
- NAME: _____ PHONE: _____
COMPANY: _____ FAX: _____
ADDRESS: _____
ADDRESS: _____
GSWCC LEVEL 1A CERTIFICATION NO.: _____ SIGNATURE: _____
- NAME: _____ PHONE: _____
COMPANY: _____ FAX: _____
ADDRESS: _____
ADDRESS: _____
GSWCC LEVEL 1A CERTIFICATION NO.: _____ SIGNATURE: _____
- NAME: _____ PHONE: _____
COMPANY: _____ FAX: _____
ADDRESS: _____
ADDRESS: _____
GSWCC LEVEL 1A CERTIFICATION NO.: _____ SIGNATURE: _____
- c. **Tertiary Permittee**
- (1) Each day when any type of construction activity has taken place at a tertiary permittee's site, certified personnel provided by the tertiary permittee shall inspect: (a) all areas at the tertiary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the tertiary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
 - (2) Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.
 - (3) Certified personnel (provided by the tertiary permittee) shall inspect at least the following once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the tertiary permittee's construction site; (b) areas used by the tertiary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the tertiary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
 - (4) Certified personnel (provided by the tertiary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors when they are secondary permittees performing only service line installations or when conducting repairs on existing line installations.
 - (5) Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection.
 - (6) A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.C.4.(5), of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan.

The report shall be signed in accordance with Part V.G.2 of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

An 'Erosion & Sedimentation Inspection and Maintenance Report' sheet is attached. Should inspection reveal any deficiencies, a copy of the report shall be sent to:
ATTN:
Travis G. Burke, PE
Coleman Company, Inc.
17 Park of Commerce
Savannah, GA 31405
912-200-3041

SAMPLING FREQUENCY AND REPORTING OF SAMPLING RESULTS REQUIREMENTS:

SAMPLING REQUIREMENTS
This permit requires the monitoring of nephelometric turbidity in receiving water(s) or outfalls in accordance with this permit. This paragraph shall not apply to any land disturbance associated with the construction of single family homes which are not part of a subdivision or planned common development unless five (5) acres or more will be disturbed. The following procedures constitute EPD's guidelines for sampling turbidity.

- a. **Sampling Requirements** shall include the following:
- (1) A USGS topographic map, a topographic map or a drawing (referred to as a topographic map) that is a scale equal to or more detailed than a 1:24000 map showing the location of the site or the stand alone construction; (a) the location of all perennial and intermittent streams and other water bodies as shown on a USGS topographic map, and all other perennial and intermittent streams and other water bodies located during mandatory field verification, into which the storm water is discharged and (b) the receiving water and/or outfall sampling locations. When the permittee has chosen to use a USGS topographic map and the receiving water(s) is not shown on the USGS topographic map, the location of the receiving water(s) must be hand-drawn on the USGS topographic map to show where the storm water(s) enters the receiving water(s) to the point where the receiving water(s) combines with the first blue line stream shown on the USGS topographic map.
 - (2) A written narrative of site specific analytical methods used to collect, handle and analyze the samples including quality control/assurance procedures. This narrative must include precise sampling methodology for each sampling location and sampling frequency.
 - (3) When the permittee has determined that some or all outfalls will be sampled, a rationale must be included on the Plan for the NTU limit(s) selected from Appendix B. This rationale must include the size of the construction site, the calculation of the size of the surface water drainage area, and the type of receiving water(s) (i.e., trout stream or supporting warm water fisheries); and
 - (4) Any additional information EPD determines necessary to be part of the Plan. EPD will provide written notice to the permittee of the information necessary and the time line for submission.
- b. **Sample Type**. All sampling shall be collected by "grab samples" and the analysis of these samples must be conducted in accordance with methodology and test procedures established by 40 CFR Part 136 (unless other test procedures have been approved); the guidance document titled "NPDES Storm Water Sampling Guidance Document, EPA 833-8-92-001" and guidance documents that may be prepared by the EPD.
- (1) Sample containers should be labeled prior to collecting the samples.
 - (2) Samples should be well mixed before transferring to a secondary container.
 - (3) Large mouth, well cleaned and rinsed glass or plastic jars should be used for collecting samples. The jars should be cleaned thoroughly to avoid contamination.
 - (4) Manual, automatic sampling may be utilized. Samples required by this permit shall be analyzed immediately, but in no case later than 48 hours after collection. However, samples from automatic samplers must be collected no later than the next business day after their accumulation, unless flow through automatic analysis is utilized. If automatic sampling is utilized and the automatic sampler is not activated during the qualifying event, the permittee must utilize manual sampling or rising stage sampling during the next qualifying event. Dilution of samples is not required. Samples may be analyzed directly with a properly calibrated turbidimeter. Samples are not required to be cooled.
 - (5) Sampling and analysis of the receiving water(s) or outfalls beyond the minimum frequency stated in this permit must be reported to EPD as specified in Part IV.E.
- c. **Sampling Points**
- (1) For construction activities the primary permittee must sample all receiving water(s), or all outfall(s), or a combination of receiving water(s) and outfall(s). Samples taken for the purpose of compliance with this permit shall be representative of the monitored activity and representative of the water quality of the receiving water(s) and/or the storm water outfalls using the following minimum guidelines:
 - (a). The upstream sample for each receiving water(s) must be taken immediately upstream of the confluence of the first storm water discharge from the permitted activity (i.e., the discharge furthest upstream at the site) but downstream of any other storm water discharges not associated with the permitted activity. Where appropriate, several upstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the upstream turbidity value.
 - (b). The downstream sample for each receiving water(s) must be taken downstream of the confluence of the last storm water discharge from a storm water discharge that occurs during normal business hours as defined in this permit after all clearing and grubbing operations have been completed, but prior to completion of mass grading operations, in the drainage area of the location selected as the sampling location;
 - (c). In addition to (a) above, for each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that occurs during normal business hours as defined in this permit after all clearing and grubbing operations have been completed, but prior to completion of mass grading operations, in the drainage area of the location selected as the sampling location;
 - (d). In addition to (a) above, for each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that occurs during normal business hours as defined in this permit after all clearing and grubbing operations have been completed, but prior to completion of mass grading operations, in the drainage area of the location selected as the sampling location, whichever comes first;
 - (e). At the time of sampling performed pursuant to (a) and (b) above, if BMPs in any area of the site that discharges to a receiving water or from an outfall are not properly designed, installed and maintained, corrective action shall be defined and implemented within two (2) business days, and turbidity samples shall be taken from discharges from that area of the site for each subsequent rain event that reaches or exceeds 0.5 inch during normal business hours until the selected turbidity standard is attained, or until post-storm event inspections determine that BMPs are properly designed, installed and maintained;
 - (f). Where sampling pursuant to (a), (b) or (c) above is required but not possible (or not required because there was no discharge), the permittee, in accordance with Part IV.D.4.(8), must include a written justification in the inspection report of why sampling was not performed. Providing this justification does not relieve the permittee of any subsequent sampling obligations under (a), (b) or (c) above; and
 - (g). Existing construction activities, i.e., those that are occurring on or before the effective date of this permit, that have met the sampling required by (a) above shall sample in accordance with (b). Those existing construction activities that have met the sampling required by (b) above shall not be required to conduct additional sampling other than as required by (c) above.
 - (2) *Note that the permittee may choose to meet the requirements of (a) and (b) above by collecting turbidity samples from any rain event that reaches or exceeds 0.5 inch and allows for sampling at any time of the day or week.

REPORTING

1. The applicable permittees are required to submit the sampling results to the EPD at the address shown in Part 11.C. by the fifteenth day of the month following the reporting period. Reporting periods are months during which samples are taken in accordance with this permit. Sampling results shall be in a clearly legible format. Upon written notification, EPD may require the applicable permittee to submit the sampling results on a more frequent basis. Sampling and analysis of any storm water discharge(s) or the receiving water(s) beyond the minimum frequency stated in this permit must be reported in a similar manner to the EPD. The sampling reports must be signed in accordance with Part V.G.2. Sampling reports must be submitted to EPD until such time as a NOI is submitted in accordance with Part VI.
2. All sampling reports shall include the following information:
 - a. The rainfall amount, date, exact place and time of sampling or measurements;
 - b. The name(s) of the certified personnel who performed the sampling and measurements;
 - c. The date(s) analyses were performed;
 - d. The time(s) analyses were initiated;
 - e. The name(s) of the certified personnel who performed the analyses;
 - f. references and written procedures, when available, for the analytical techniques or methods used;
 - g. The results of such analyses, including the bench sheets, instrument readings, computer disks or tapes, etc., used to determine these results;
 - h. Results which exceed 1000 NTU shall be reported as "exceeds 1000 NTU"; and
 - i. Certification statement that sampling was conducted as per the Plan.
3. All written correspondence required by this permit shall be submitted by return receipt certified mail (or similar service) to the appropriate District Office of the EPD according to the schedule set forth in this permit. The permittee shall retain a copy of the proof of submittal at the construction site or the point of submittal shall be readily available at a designated location from commencement of construction until such time as a NOI is submitted in accordance with Part VI. If an electronic submittal is provided by EPD then the written correspondence may be submitted electronically; if required, a paper copy must also be submitted by return receipt certified mail or similar service.

RETENTION OF RECORDS

1. The primary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOI is submitted in accordance with Part VI:
 - a. A copy of all Notices of Intent submitted to EPD;
 - b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
 - c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
 - d. A copy of all sampling information, results, and reports required by this permit;
 - e. A copy of all inspection reports generated in accordance with Part IV.D.4. of this permit;
 - f. A copy of all violation summaries and violation summary reports generated in accordance with Part 111.D.2. of this permit; and
 - g. Daily rainfall information collected in accordance with Part IV.D.4.2 (2) of this permit.
2. Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports generated by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOI is submitted in accordance with Part VI of this permit. These records shall be maintained at the permittee's primary place of business or at a designated alternate location once the construction activity has ceased at the permitted site. This period may be extended by the request of the EPD at any time upon written notification to the permittee.

SAMPLE ANALYSIS

Storm water samples are to be analyzed in accordance with methodology and test procedures established by 40 CFR Part 136 and the guidance document titled "NPDES Storm Water Sampling Guidance Document, EPA 833-8-92-001."

Storm water is supposed to be sampled for nephelometric turbidity units (NTU) at the outfall location. A discharge of stormwater runoff from disturbed areas where best management practices have not been properly designed, installed, and maintained shall constitute a separate violation for each day on which such condition results in the turbidity of the discharge exceeding 75, the value that was selected from Appendix B in Permit No. GAR100003. The NTU is based upon the disturbed acreage of 4.70 AC for the project site, the surface water drainage area of 0.30 square miles, and receiving water which supports warm water fisheries.

ESTIMATED PEAK DISCHARGE AND RUNOFF CURVE NUMBER FOR PRE AND POST CONDITIONS:

RUNOFF CURVE NUMBER (SCS METHOD USED FOR LARGE SITE)
PRE-DEVELOPED: 82
POST-DEVELOPED: 89


ADDITIONAL SITE EROSION CONTROL NOTES:

- A. ZONING: THE PRESENT ZONING CLASSIFICATION FOR THIS SITE IS A PUD. PIN 7-09068-14003
- B. BUFFER REQUIREMENTS: AS REQUIRED BY ARTICLES 15 AND 16 OF SECTION 12-7-0 OF THE GEORGIA EROSION AND SEDIMENTATION ACT OF 1976 THERE IS ESTABLISHED A 25 FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, EXCEPT WHERE THE DIRECTOR DETERMINES TO ALLOW A VARIANCE THAT IS AT LEAST AS PROTECTIVE OF THE NATURAL RESOURCES AND THE ENVIRONMENT, WHERE OTHERWISE ALLOWED BY THE DIRECTOR PURSUANT TO OCSA 12-8, OR WHERE A DRAINAGE STRUCTURE OR ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED. PROVIDED THE ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED IN THE PROJECT PLANS AND SPECIFICATIONS AND ARE IMPLEMENTED, NO BUFFERS ARE REQUIRED FOR THIS PROJECT."
- C. EROSION CONTROL PROGRAM: CLEARING WILL BE KEPT TO AN ABSOLUTE MINIMUM. VEGETATION AND MULCH WILL BE APPLIED TO APPLICABLE AREAS IMMEDIATELY AFTER VEGETATION AND MULCH WILL BE APPLIED TO APPLICABLE AREAS IMMEDIATELY AFTER GRADING IS COMPLETED. GRAVEL WILL BE APPLIED TO PARKING AREAS AND ROADWAYS AS SOON AS GRADING IS COMPLETED. LAND WILL BE SCHEDULED TO LIMIT EXPOSURE OF BARE SOILS TO EROSION ELEMENTS. STORM WATER MANAGEMENT STRUCTURES WILL BE EMPLOYED TO PREVENT EROSION IN AREAS OF CONCENTRATED WATER FLOWS. EROSION AT THE EXITS OF ALL STORM WATER STRUCTURES WILL BE PREVENTED BY THE INSTALLATION OF STORM DRAIN OUTLET PROTECTION DEVICES.
- D. STANDARDS AND SPECIFICATIONS: ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED, "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA."
- E. SAFETY PROTECTION: CONSTRUCTION ACTIVITIES WILL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
- F. MAINTENANCE PROGRAM: SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED DAILY. ANY DAMAGES OBSERVED WILL BE REPAIRED BY THE END OF THAT DAY. CLEANUP OF SEDIMENT CONTROL STRUCTURES WILL BE ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND SEDIMENT DISPOSAL ACCOMPLISHED BY SPREADING ON THE SITE. BARRIERS WILL REMAIN IN PLACE UNTIL SEDIMENT CONTRIBUTING AREAS ARE STABILIZED. THE SEDIMENT FENCES, AND THE BARRIERS WILL THEN BE REMOVED AND THE AREAS COVERED BY THESE DEVICES WILL THEN BE VEGETATED. GUIDELINES FOR THE MAINTENANCE OF ESTABLISHED VEGETATION WILL BE PROVIDED TO THE OWNER WHEN ALL DISTURBED AREAS ARE STABILIZED.
- G. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- H. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER.
- I. BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBER 130510C003P. FMAP REVISION ON JULY 7, 2014.
- J. THERE ARE STATE WATERS/JURISDICTIONAL WETLANDS LOCATED ON OR WITHIN 20' OF THIS SITE.
- K. THE POINT OF CONTACT FOR CIVIL SITE WORK FOR THIS PROJECT IS:
TRAVIS G. BURKE, PE
COLEMAN COMPANY
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041

SPECIAL NOTES

1. THE PURPOSE OF THE TEMPORARY DIVERSION CHANNELS ARE TO DIVERT SITE RUNOFF INTO THE SEDIMENT BASINS. THESE CHANNELS MAY NOT BE SHOWN IN EXACTLY THE CORRECT LOCATIONS ON THE PLAN. THE ONSITE CONSTRUCTION MANAGER SHALL USE BEST MANAGEMENT PRACTICES TO LOCATE/LOCATE THESE CHANNELS AS NEEDED OR AS GRADING CHANGES TOPOGRAPHY.

12 I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY SUPERVISION.


TRAVIS G. BURKE - DESIGN PROFESSIONAL - GSWCC CERTIFICATION #8134

COLEMAN COMPANY, INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041 (F) 912-200-3056
ENGINEERS SURVEYORS

REGISTERED PROFESSIONAL ENGINEER
NO. 031215
TRAVIS G. BURKE

REVISION

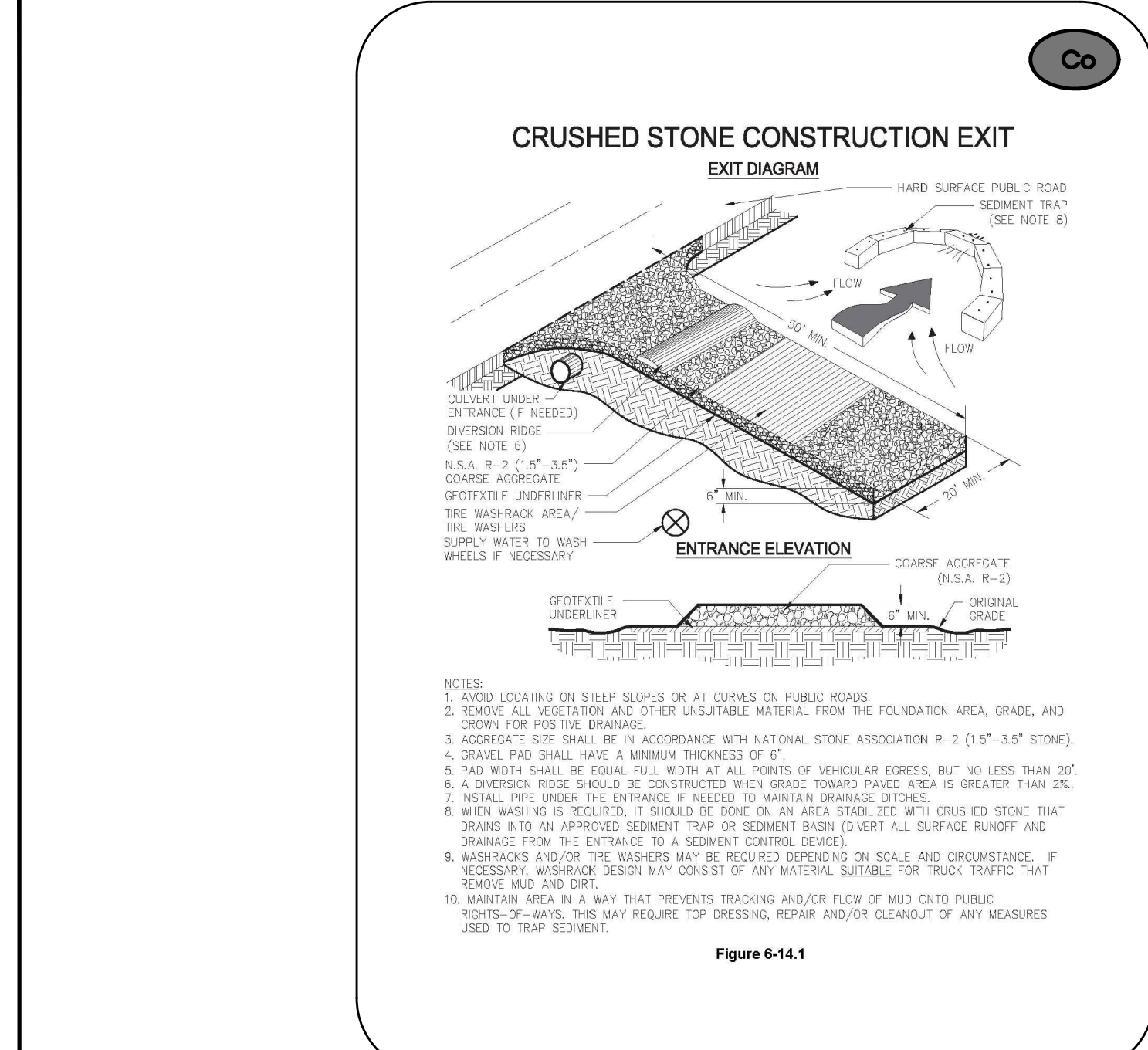
CIVIL CONSTRUCTION PLANS OF
PARKSIDE SUBDIVISION, 28 LOTS
LOCATED IN: PORT WENTWORTH, GA
PREPARED FOR: BEP RICE HOPE LLC

NPDES PERMIT NOTES

DATE: 11/15/2017
SCALE: N.T.S.
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

SHEET 66.3

REFER TO GA DEPARTMENT OF NATURAL RESOURCES ENVIRONMENTAL PROTECTION DIVISION GENERAL PERMIT NO. GAR100003 FOR COMMON DEVELOPMENT FOR DEFINITIONS AND DETAILS.



GEORGIA UNIFORM CODING SYSTEM

FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

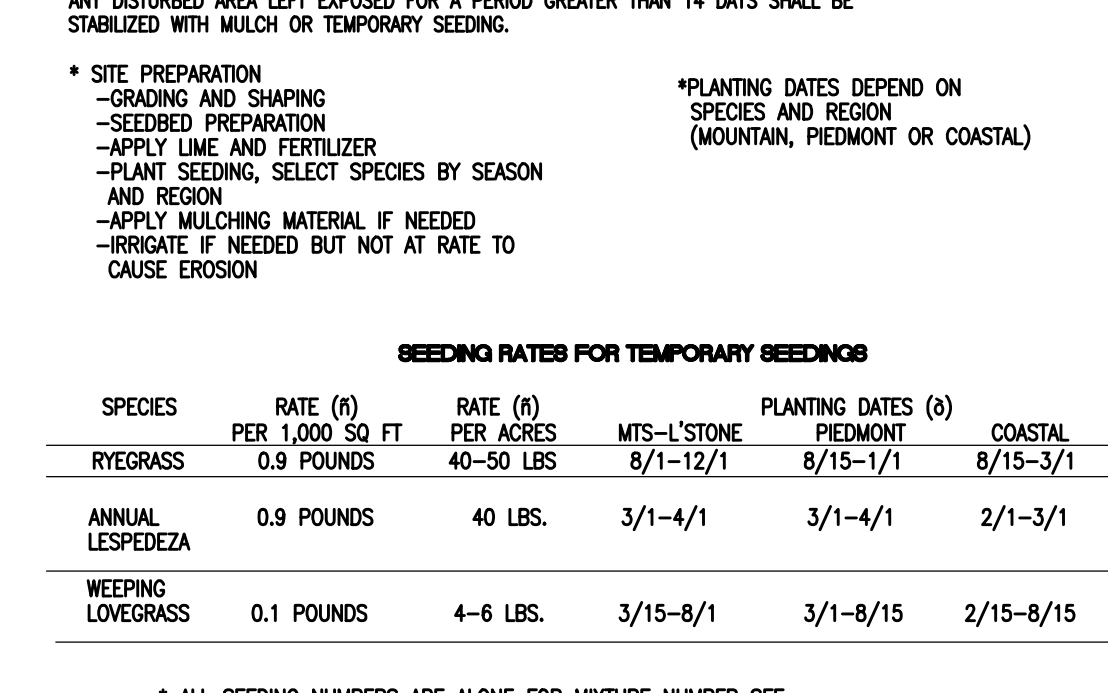
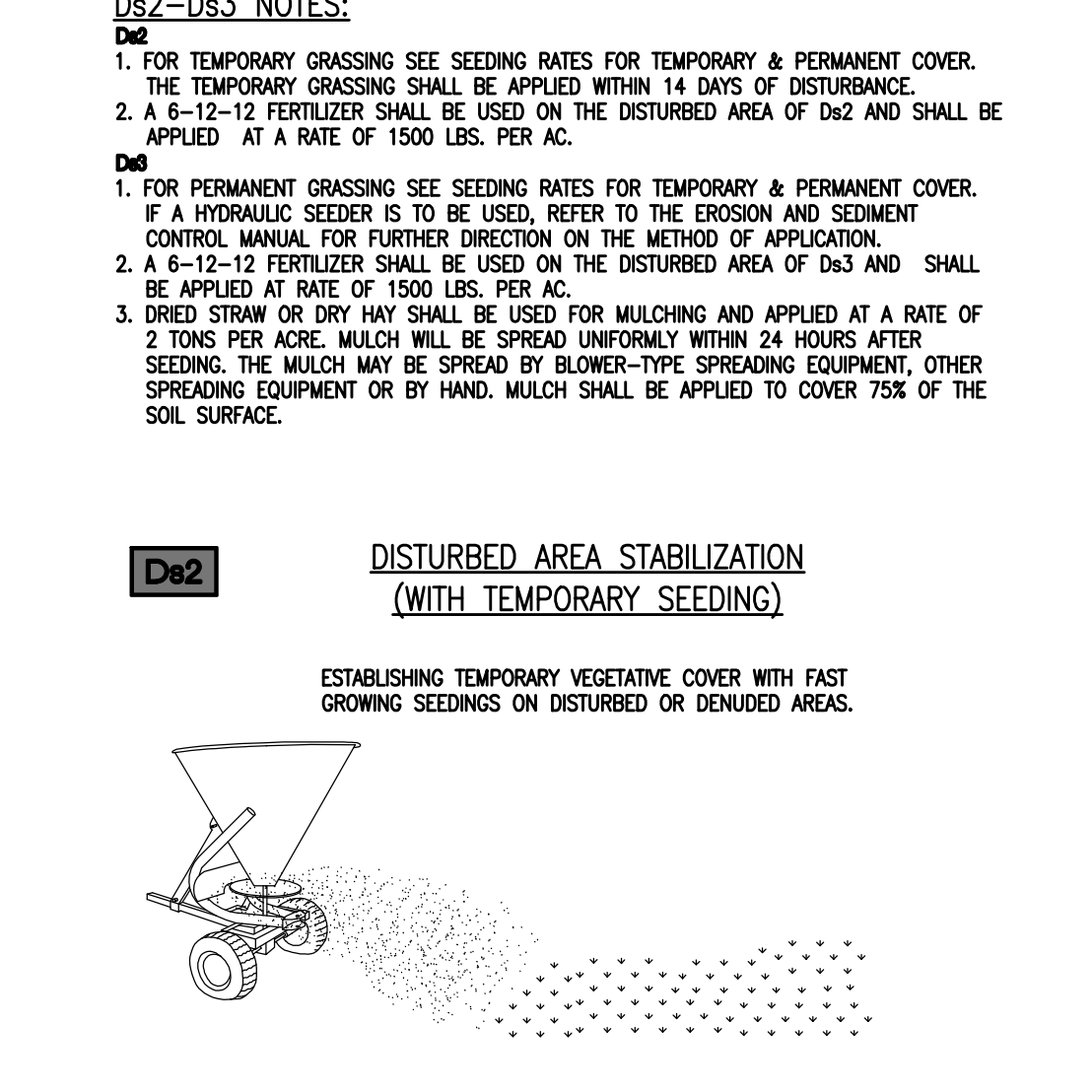
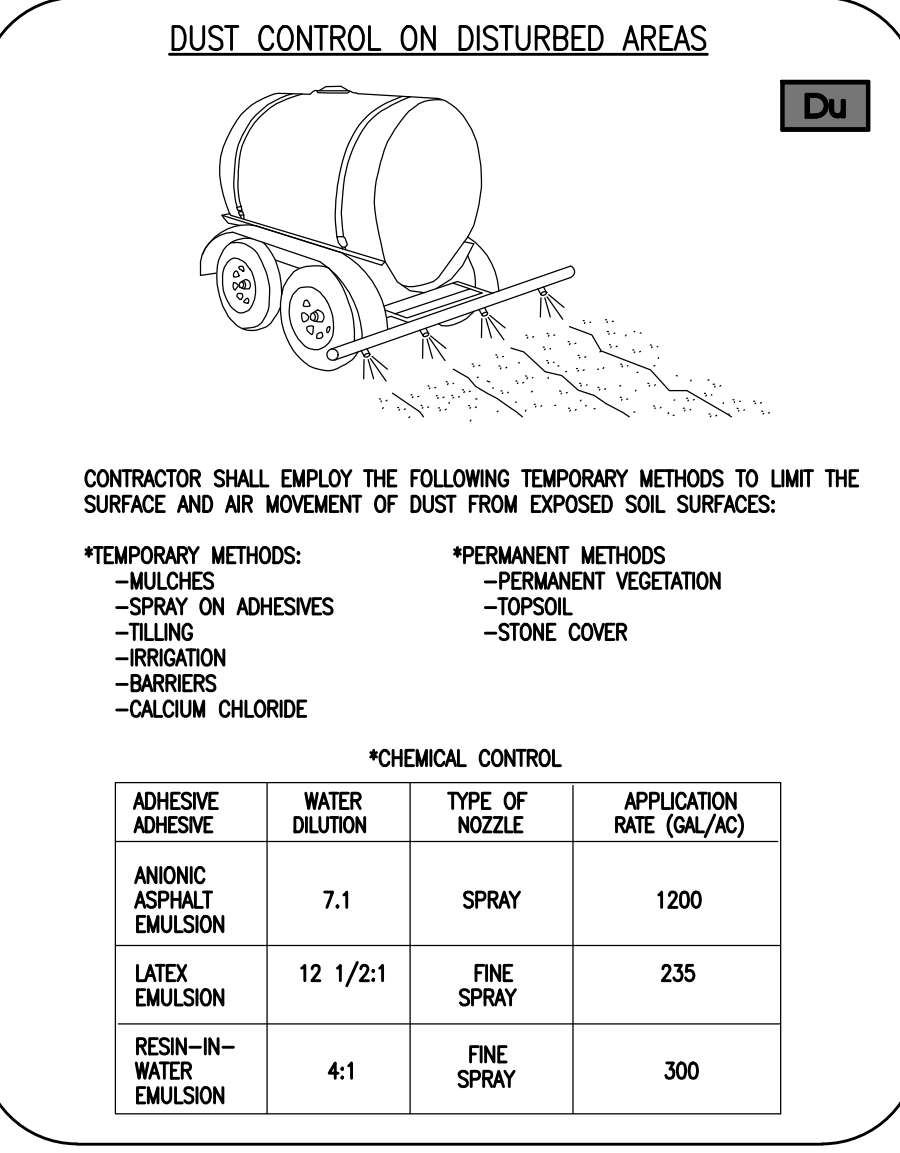
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
	CHORDAM			A small temporary barrier or dam constructed across a creek, drainage ditch, or area of concentrated flow.
Ch	CHANNEL STABILIZATION			Improving, constructing or stabilizing an open channel, existing stream, or ditch.
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Cr	CONSTRUCTION ROAD STABILIZATION			A driveway constructed as part of a construction project including access roads, subdivision roads, parking areas and other on-site vehicle transportation routes.
Dc	STREAM DIVERSION CHANNEL			A temporary channel constructed to convey flow around a construction site while a permanent structure is being constructed.
Di	DIVERSION			An earth channel or dike located above, below, or across a slope to divert runoff. This may be a temporary or permanent structure.
Dn1	TEMPORARY DRAINAGE STRUCTURE			A flexible conduit of heavy-duty fabric or other material designed to safely conduct surface runoff down a slope. This is temporary and inexpensive.
Dn2	PERMANENT DRAINAGE STRUCTURE			A paved chute, pipe, sectioned conduit or similar material designed to safely conduct surface runoff down a slope.
Fr	FILTER RIG			A temporary stone barrier constructed of storm drain risers and post-outlet structures.
Ga	GABION			Rock filter baskets which are hand-placed into position forming soil stabilizing structures.
Gr	GRADE STABILIZATION STRUCTURE			Permanent structures installed to protect channels or waterways where otherwise the slope would be sufficient for the runoff water to form gullies.
Lv	LEVEL SPREADER			A structure to convert concentrated flow of water into less erosive sheet flow. This should be constructed only on undisturbed areas.
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainages.
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes on steeply sloping terrain where the soil is not adequate. Each situation will require special design.
Ri	RETRO FITTING			A dike or structure placed in front of a permanent stormwater detention pond outlet structure to serve as a temporary sediment filter.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a similar material.
Sd2	INLET SEDIMENT TRAP			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Sd3	TEMPORARY SEDIMENT BASIN			A basin created by excavation or a dam across a waterway. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out.
Sd4	TEMPORARY SEDIMENT TRAP			A small temporary pond that drains a disturbed area to that undisturbed area. The principal feature distinguishing a temporary sediment trap from a temporary sediment basin is the lack of a pipe or riser.
Sk	FLOATING SURFACE DIVERSION			A buoyant device that releases/draws water from the surface of upstream ponds, traps, or basins at a controlled rate of flow.
Sph	SEEP BERM			A linear control device constructed as a diversion perpendicular to the direction of the runoff to reduce infiltration and seepage of water, while creating multiple sedimentation chambers with the component of intermediate dikes.

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sr	TEMPORARY STRUCTURE CROSSING			A temporary bridge or culvert-type structure used for crossing construction equipment.
St	STEMPANK RIGID PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Su	SURFACE ROUGHENING			A rough soil surface with horizontal depression or a contour or slope left in a roughened condition after grading.
Tc	THERMOSTAT CURTAIN			A floating or stacked barrier installed within the water (it may also be referred to as a floating boom, air barrier, or air curtain).
Tp	TOPSOILING			The practice of stripping off the more fertile soil, placing it, then spreading it over the disturbed area after completion of construction activities.
Tr	TREE PROTECTION			To protect desirable trees from injury during construction activity.
Vw	VEGETATED WATERWAY OR STREAMFLOW CONVEYANCE CHANNEL			Paved or vegetative water outlets for diversions, tentons, berms, dikes or similar structures.

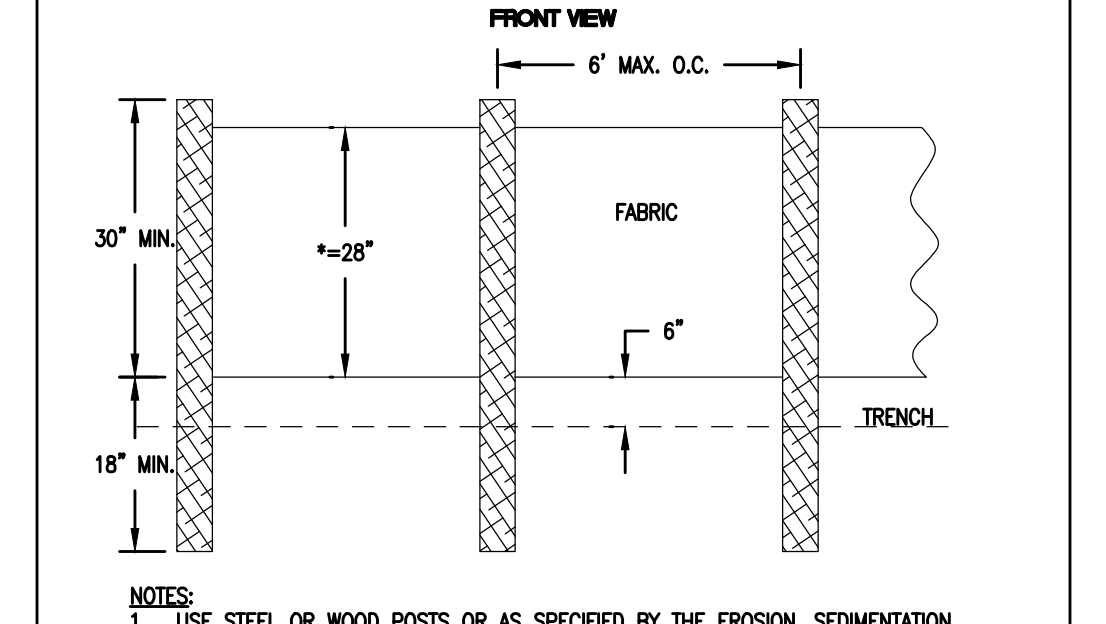
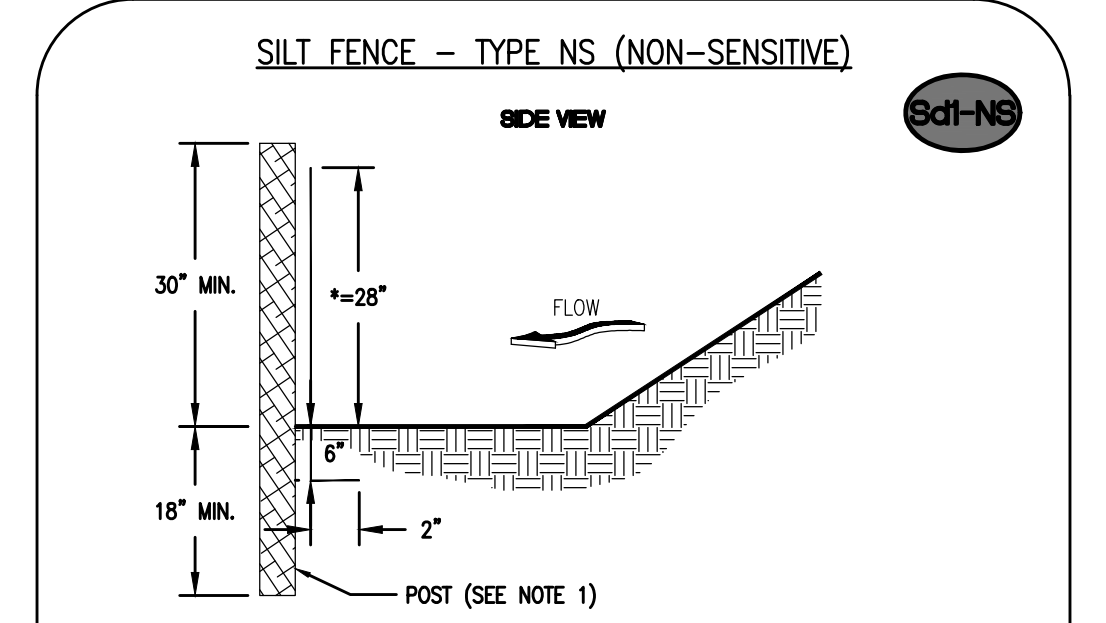
VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or land clearing.
Cs	CENTRIFUGAL FORCE			Planting vegetation on dunes that are denuded, artificially constructed, or re-nourished.
Ds1	DISTURBED AREA STABILIZATION WITH MULCHING ONLY			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION WITH PERMANENT SEEDING			Establishing a permanent vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION WITH PERMANENT VEGETATION			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION WITH PERMANENT VEGETATION AND MULCH			A permanent vegetative cover using sods on highly erodible or sensitive areas.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface air movement of dust on construction site, roadways and similar sites.
Fi-Co	FLOCCULANTS AND COAGULANTS			Substance formulated to assist in the solid/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION			The use of readily available native plant materials to stabilize and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION			A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, short fills, or channels.
Tac	TACKERS AND BONDERS			Substance used to anchor straw or hay mulch by coating the organic material with bit together.



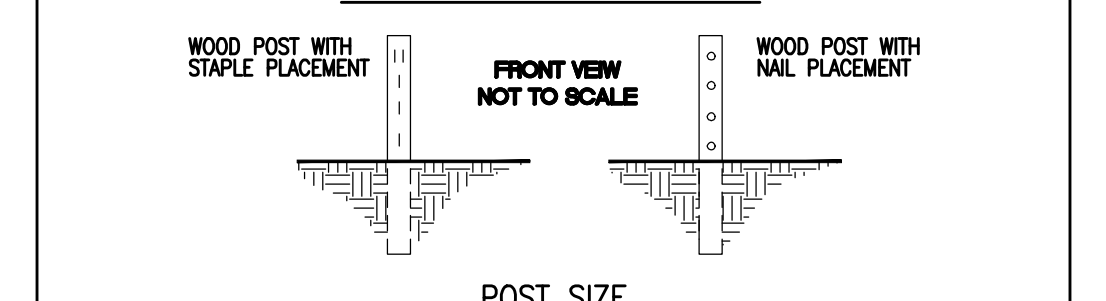
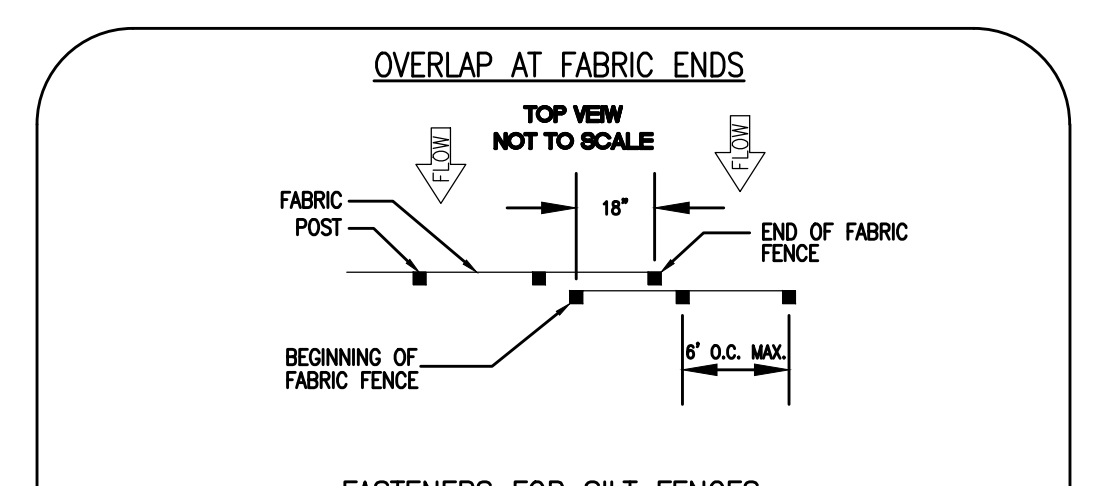
TENTATIVE ACTIVITY SCHEDULE

	MONTH 1	MONTH 2	MONTH 3	MONTH 4	MONTH 5	MONTH 6	MONTH 7	MONTH 8
CLEARING AND GRUBBING								
SILT FENCE								
CONSTRUCTION EXIT								
INLET PROTECTION								
DISTURBED AREA STABILIZATION (WITH MULCHING)								
DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)								
TEMPORARY SEDIMENT TRAP								
TEMPORARY DIVERSION DITCH								
GRAVING								
PAVING								
DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING)								
BUILDING CONSTRUCTION								
MAINTENANCE OF ES&PC BMPs								



NOTES:

1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.



POST SIZE

TYPE	MIN. LENGTH	TYPE OF POST	SIZE OF POST
NS	4'	STEEL	1.5" x 1.5"
		WOOD	1.5" x 1.5" x 2'
S	4'	STEEL	3" DIA. OR 2"x4"
		WOOD	1.5" x 1.5" x 4" MIN.

FASTENERS FOR WOOD POST (WIRE STAPLES)

GAUGE	CROWN	LESS	STAPLES/POST
17 MIN.	3/4" WIDE	1/2" LONG	5 MIN.

FASTENERS FOR WOOD POST (NAILS)

GAUGE	LENGTH	BUTTON HEADS	NAIL/POST
14 MIN.	3/4"	3/4"	4 MIN.

NOTE: FILTER FABRIC MAY ALSO BE ATTACHED TO THE POST BY WIRE, CORD, OR POCKETS OR ANY METHOD PROVIDED MINIMUM P-Factor, AS REQUIRED BY GC&C, IS MET.

***THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.**

COLEMAN COMPANY, INC.

17 PARK OF COMMERCE SUITE 201
 SHANNING, GA 31405
 (770) 912.200.3041 (F) 912.200.3056

ENGINEERS SURVEYORS

REGISTERED PROFESSIONAL ENGINEER

No. 031215

TRAVIS G. BURKE

REVISION	DATE	DESCRIPTION

CIVIL CONSTRUCTION PLANS OF PARKSIDE SUBDIVISION, 28 LOTS LOCATED IN: PORT WENTWORTH, GA PREPARED FOR: BEP RICE HOPE LLC

EROSION DETAILS

DATE: 11/15/2017

SCALE: N.T.S.

JOB #: 17-574

DRAWN BY: TBM

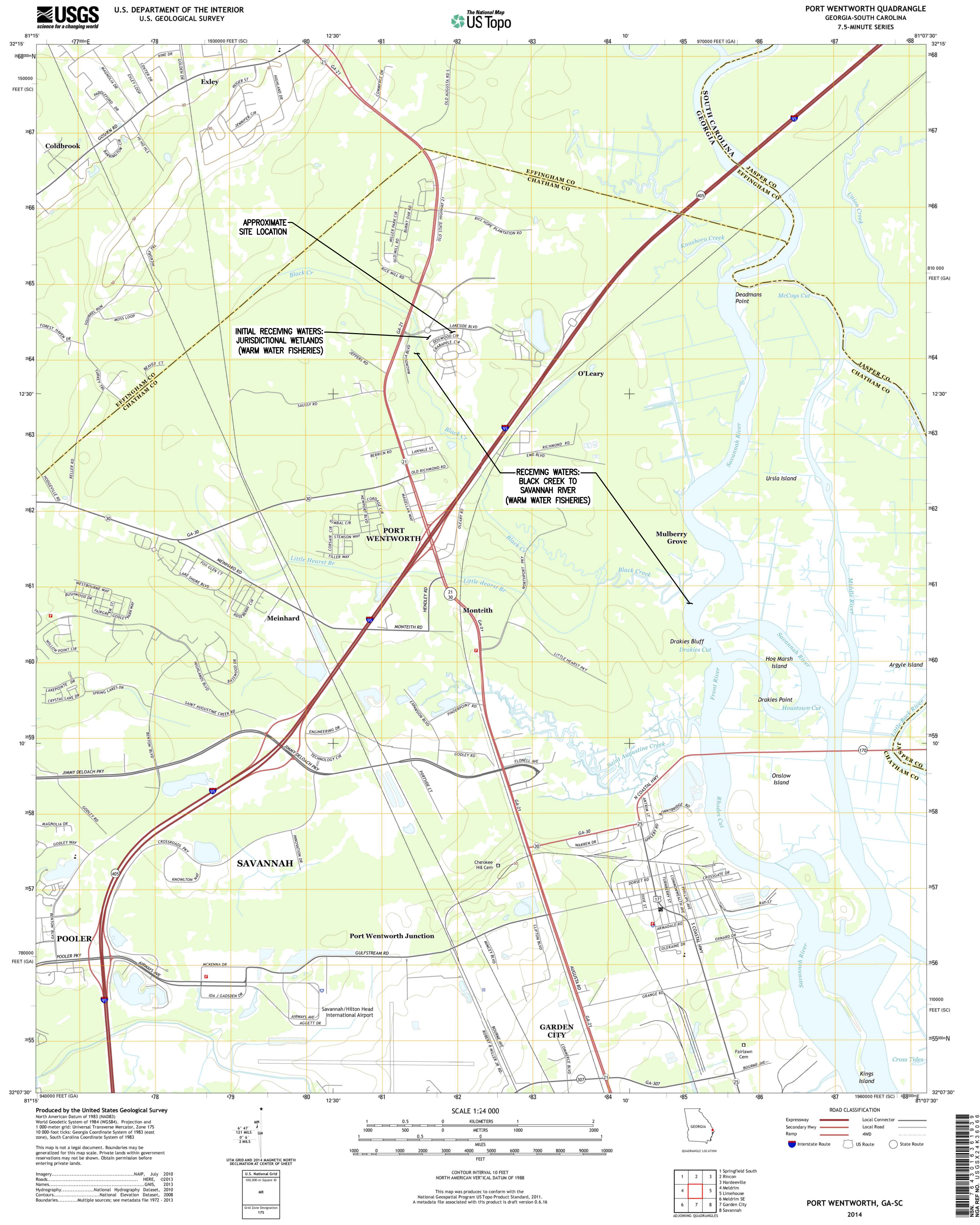
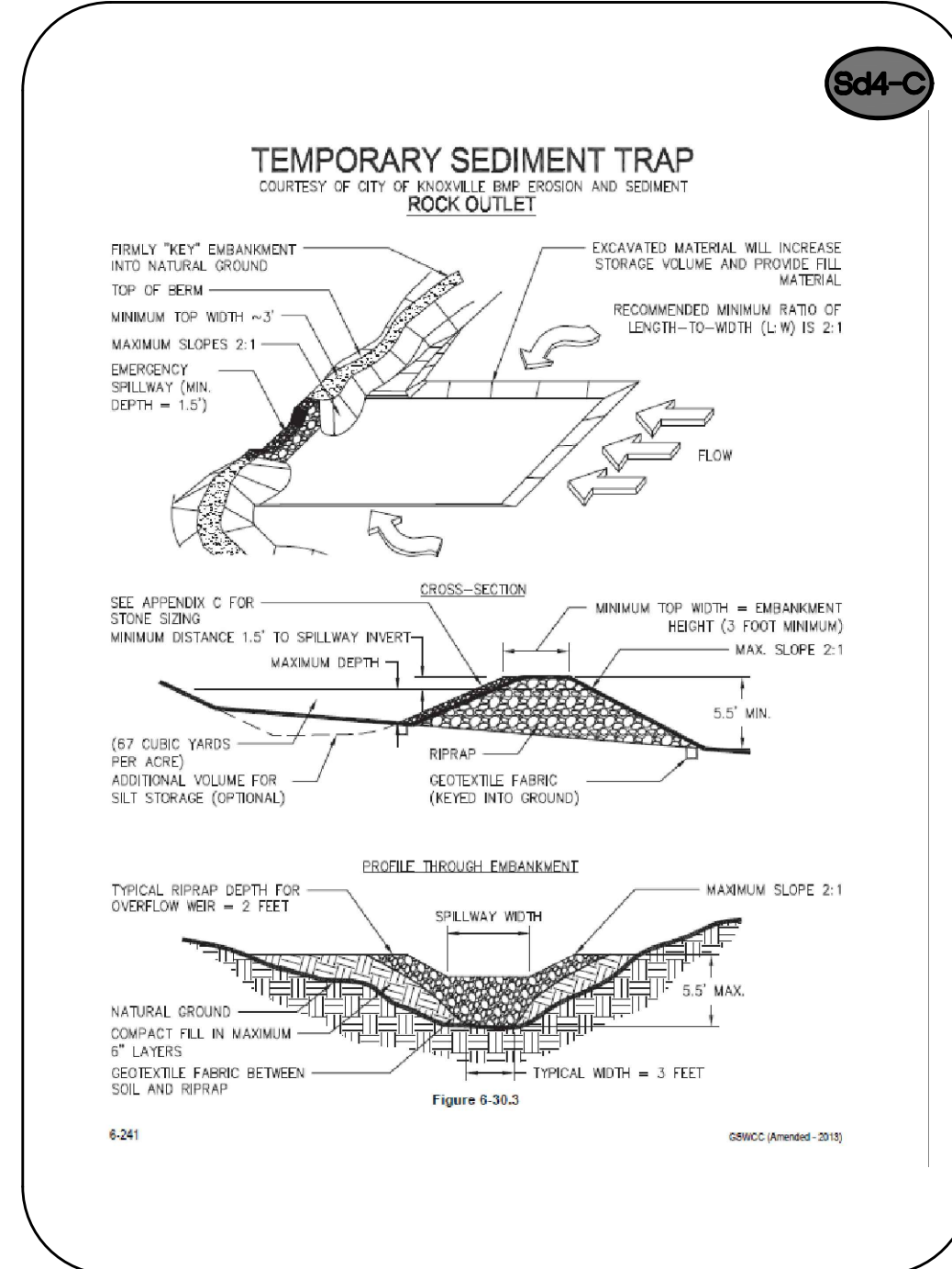
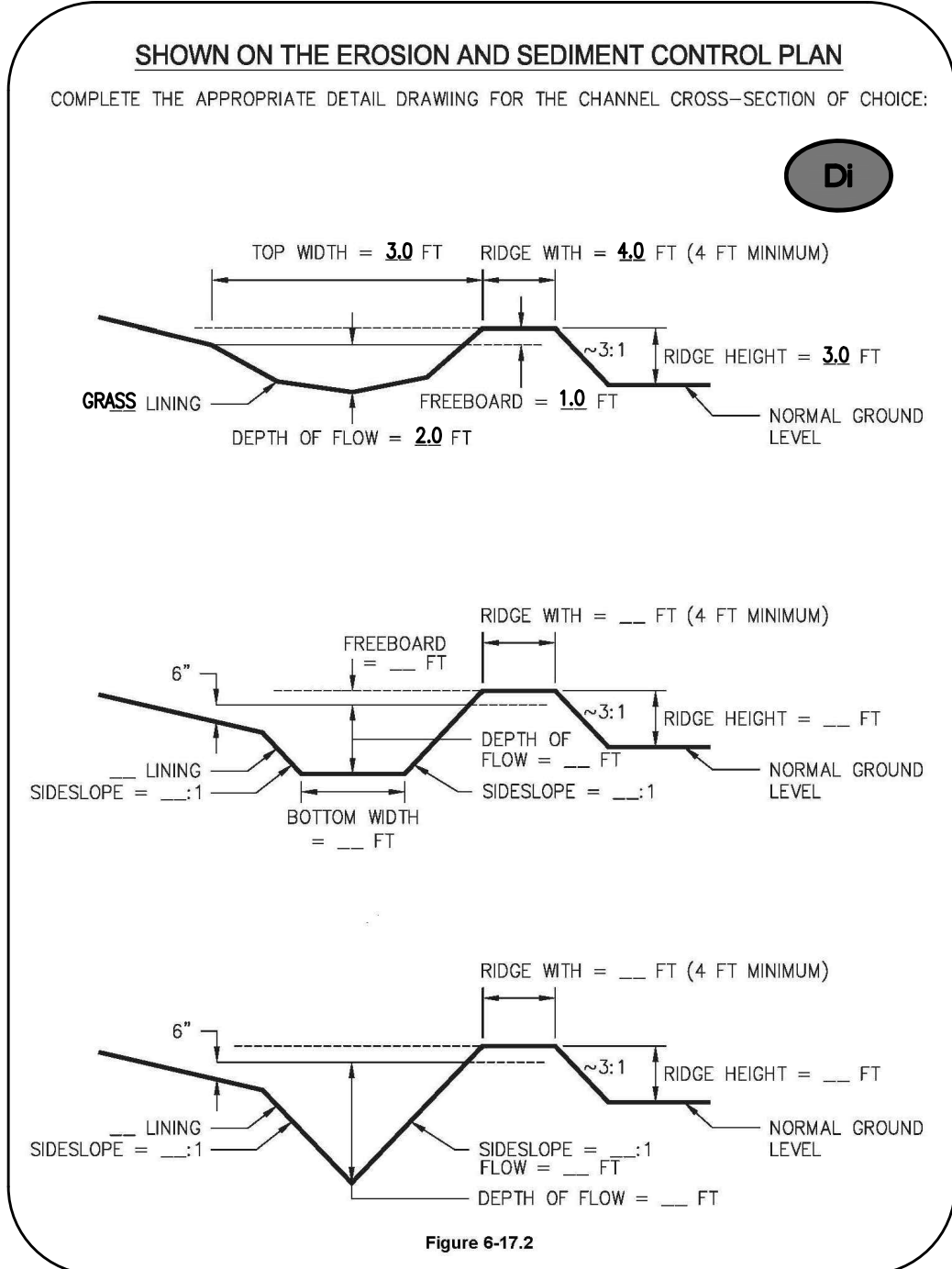
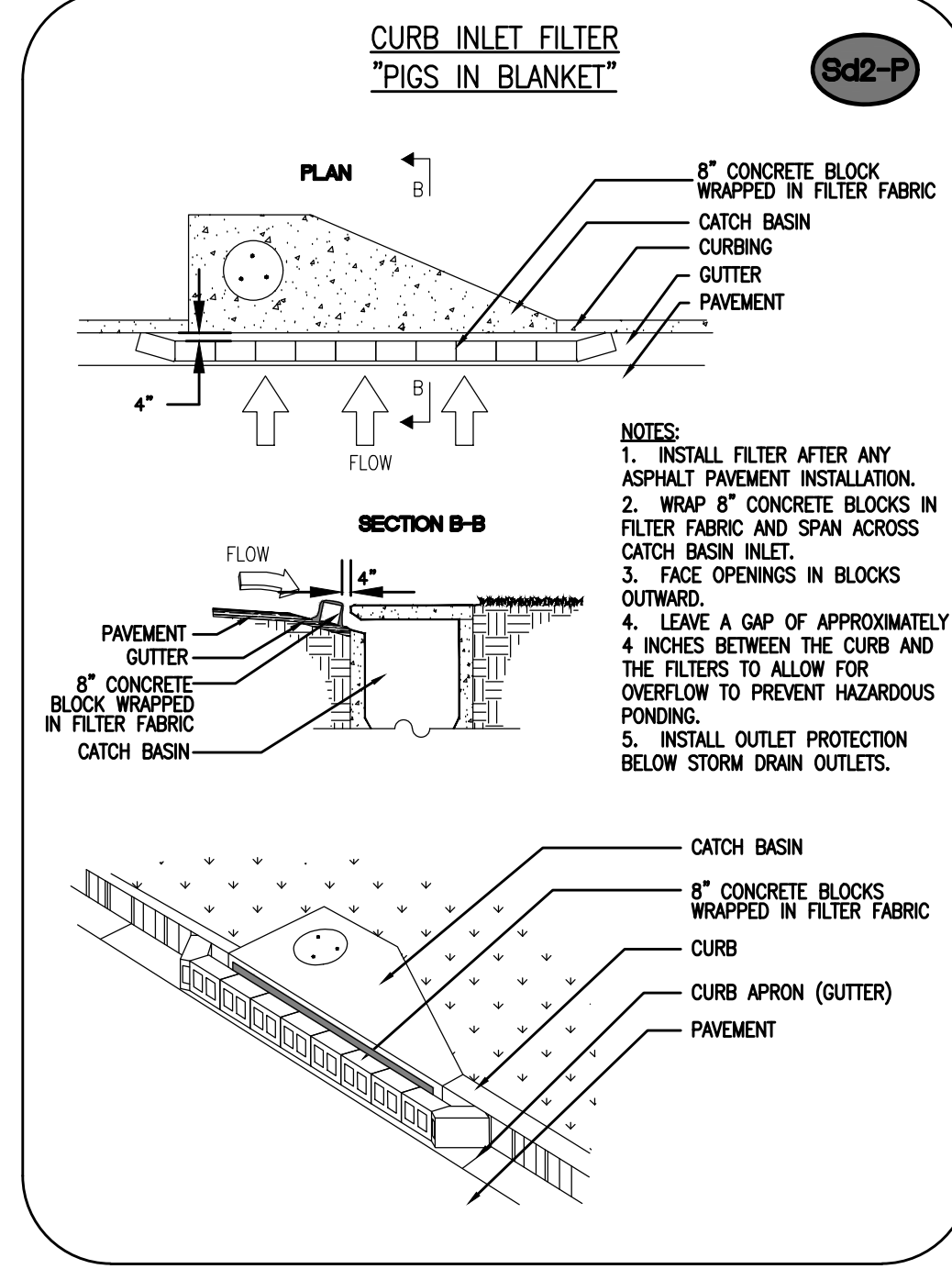
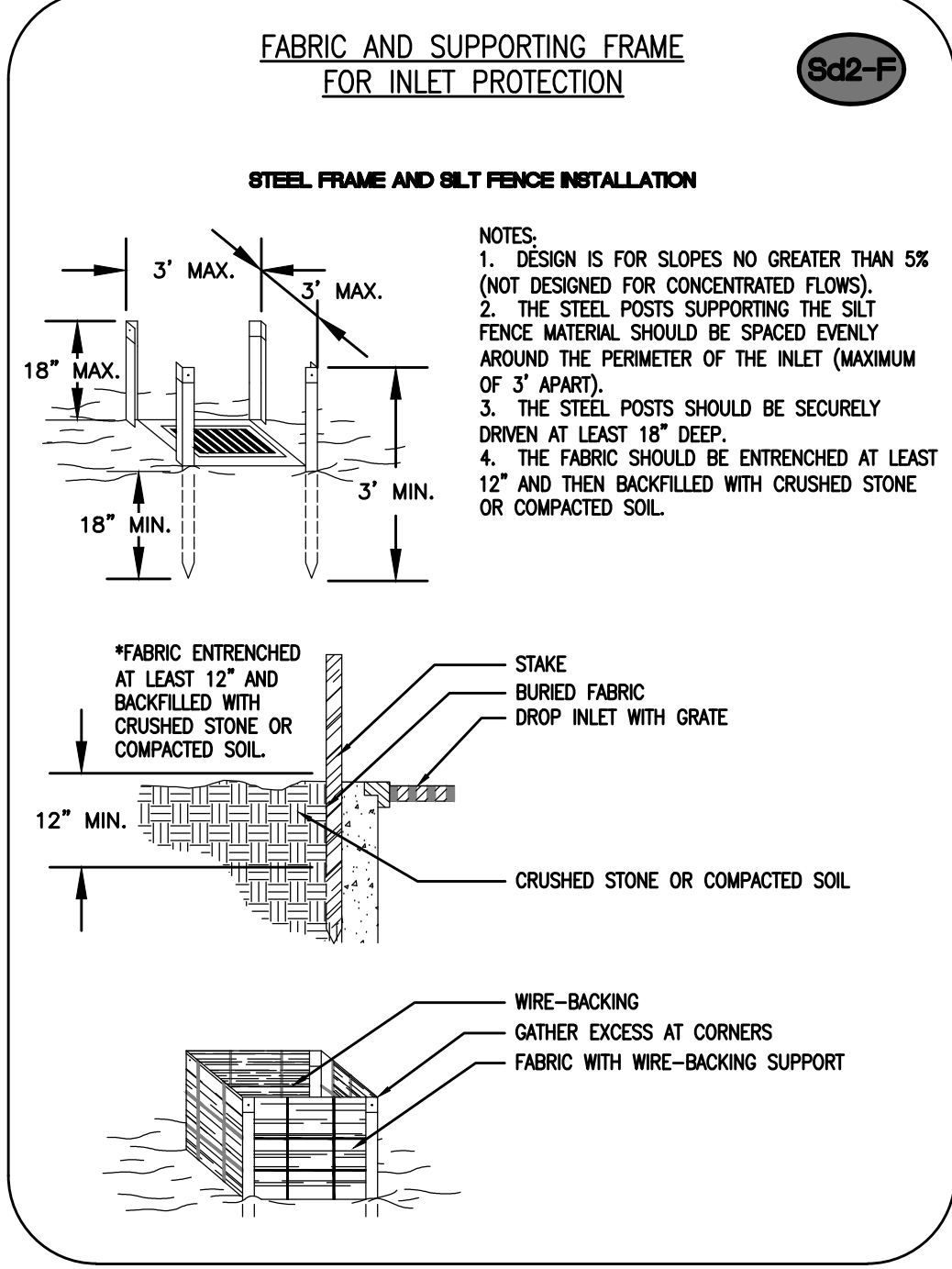
CHECKED BY: TGB

SHEET

CG.4

Packet Pg. 32

Attachment: Parkside Subdivision, 28 Lots, Civil Construction Plans (1801 - Site Plan Review Application Lakeside Boulevard 7-0906B-14-003 JANUARY 2018)



COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (D) 912.200.3041 (F) 912.200.3056



REVISION

CIVIL CONSTRUCTION PLANS OF PARKSIDE SUBDIVISION, 28 LOTS LOCATED IN: PORT WENTWORTH, GA PREPARED FOR: BEP RICE HOPE LLC

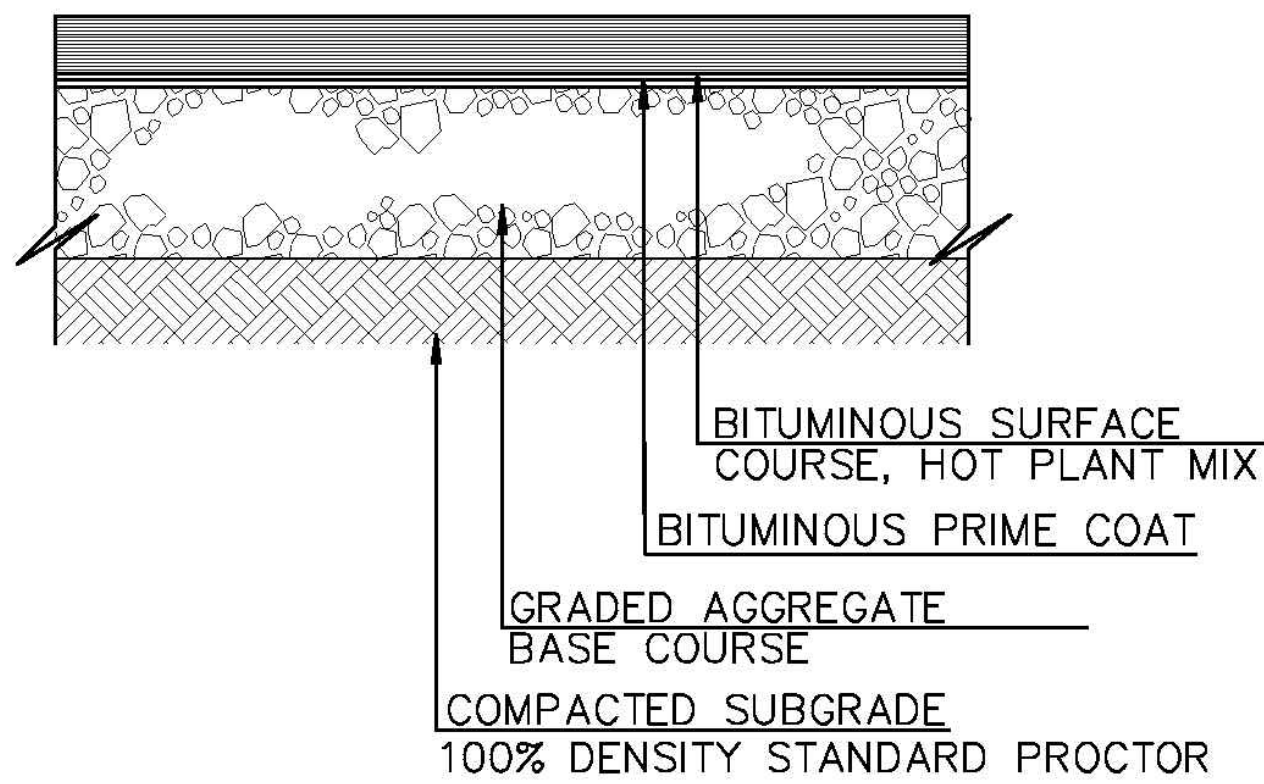
EROSION DETAILS

DATE: 11/15/2017
SCALE: N.T.S.
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

SHEET 06.5

NOT FOR CONSTRUCTION
RELEASED FOR CONSTRUCTION
 DATE: BY:

TRAVIS G. BURKE
GSWCC CERTIFICATION # 8134



TYPICAL BITUMINOUS PAVING SECTION

City of Port Wentworth
TECHNICAL DETAILS

P-1

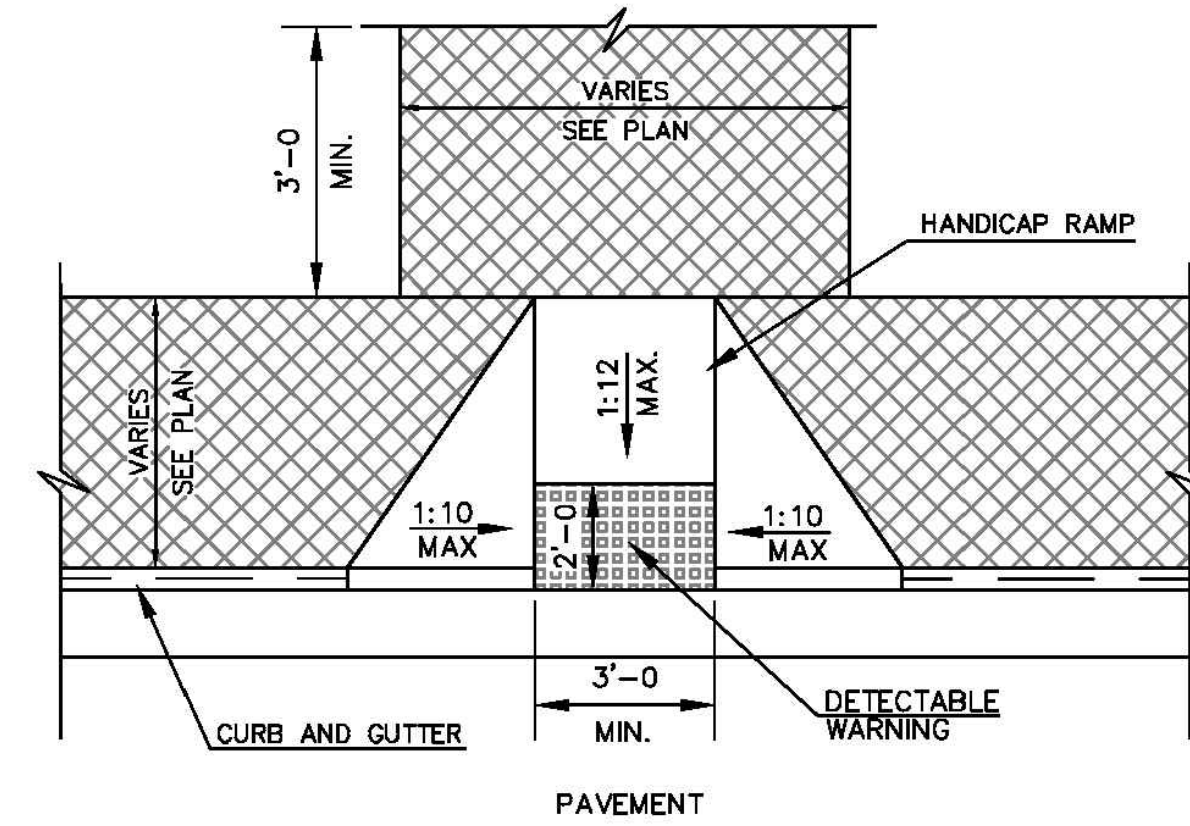
PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

DETECTABLE WARNINGS ON WALKING SURFACE OF HANDICAP RAMP

DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23mm). A HEIGHT OF NOMINAL 0.2 IN (5mm) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60mm) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE SURFACES SHALL MEET THE ADA ACCESSIBILITY GUIDELINES SECTION 4.29.2.



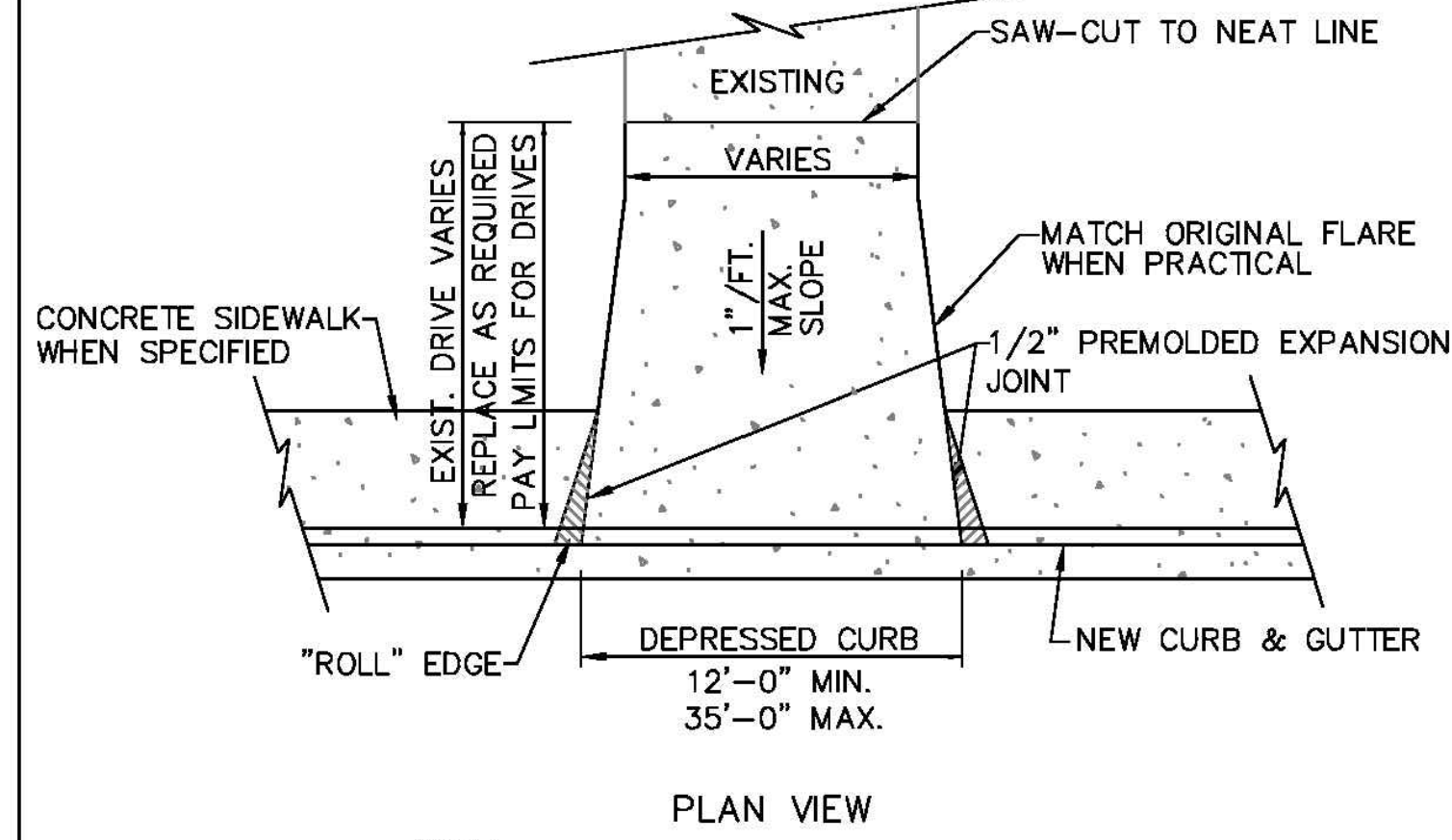
HANDICAP RAMP TYPE "A"

City of Port Wentworth
TECHNICAL DETAILS

P-4

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



- NOTE:
1. % OF THE SLOPE FROM DRIVE TO STREET
 2. DRIVEWAY THICKNESS SHALL BE 6" FIBER REINFORCED CONCRETE.

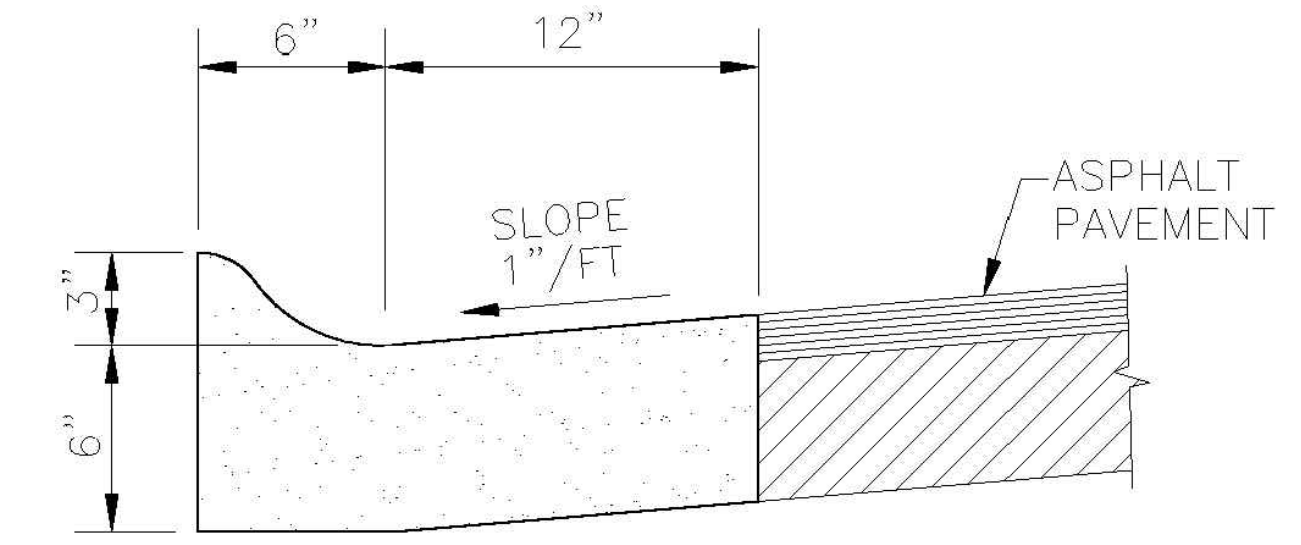
DRIVEWAY

City of Port Wentworth
TECHNICAL DETAILS

P-8

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NOTE: FOR RESIDENTIAL USE ONLY

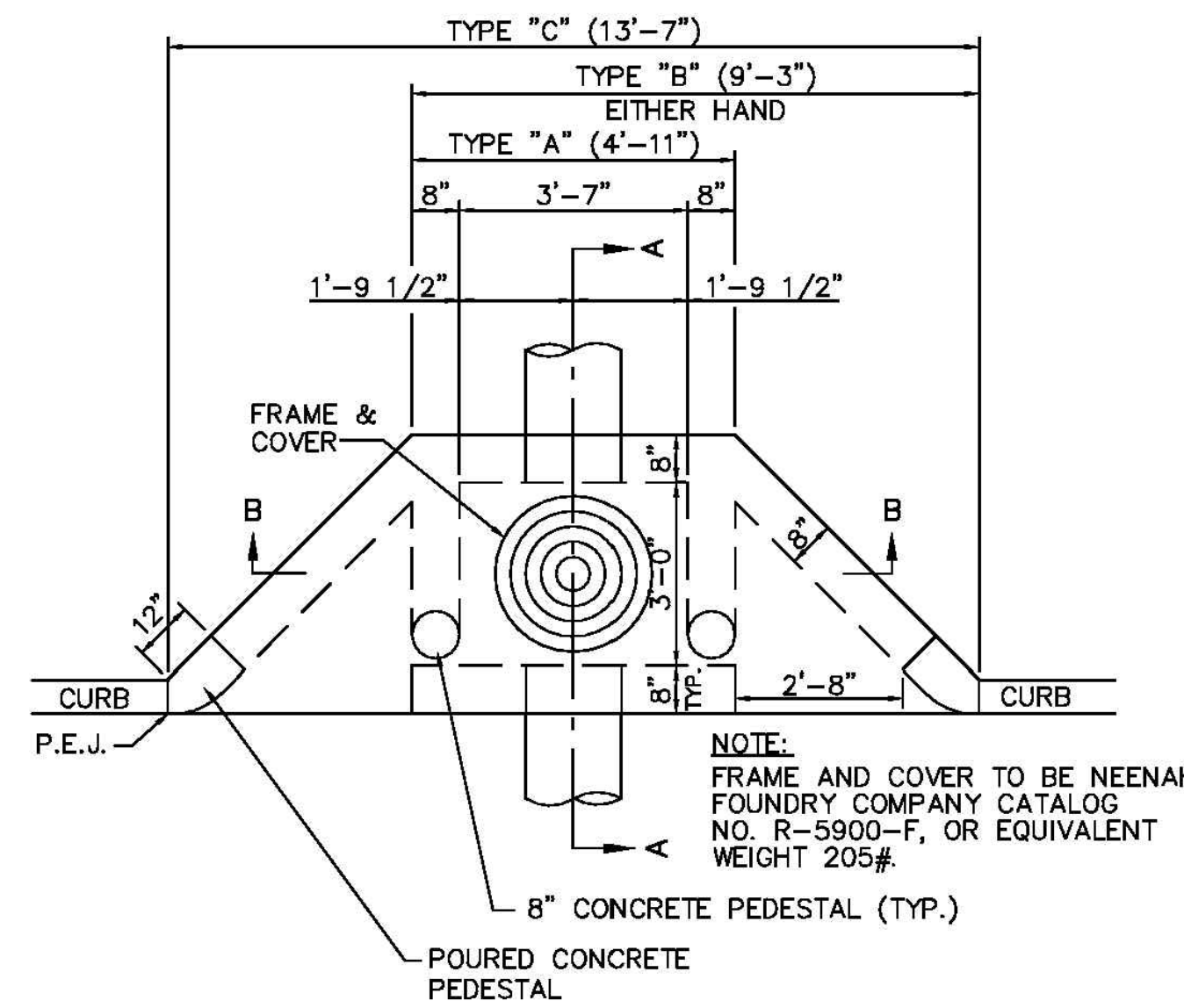
ROLL-OVER CURB

City of Port Wentworth
TECHNICAL DETAILS

P-11

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



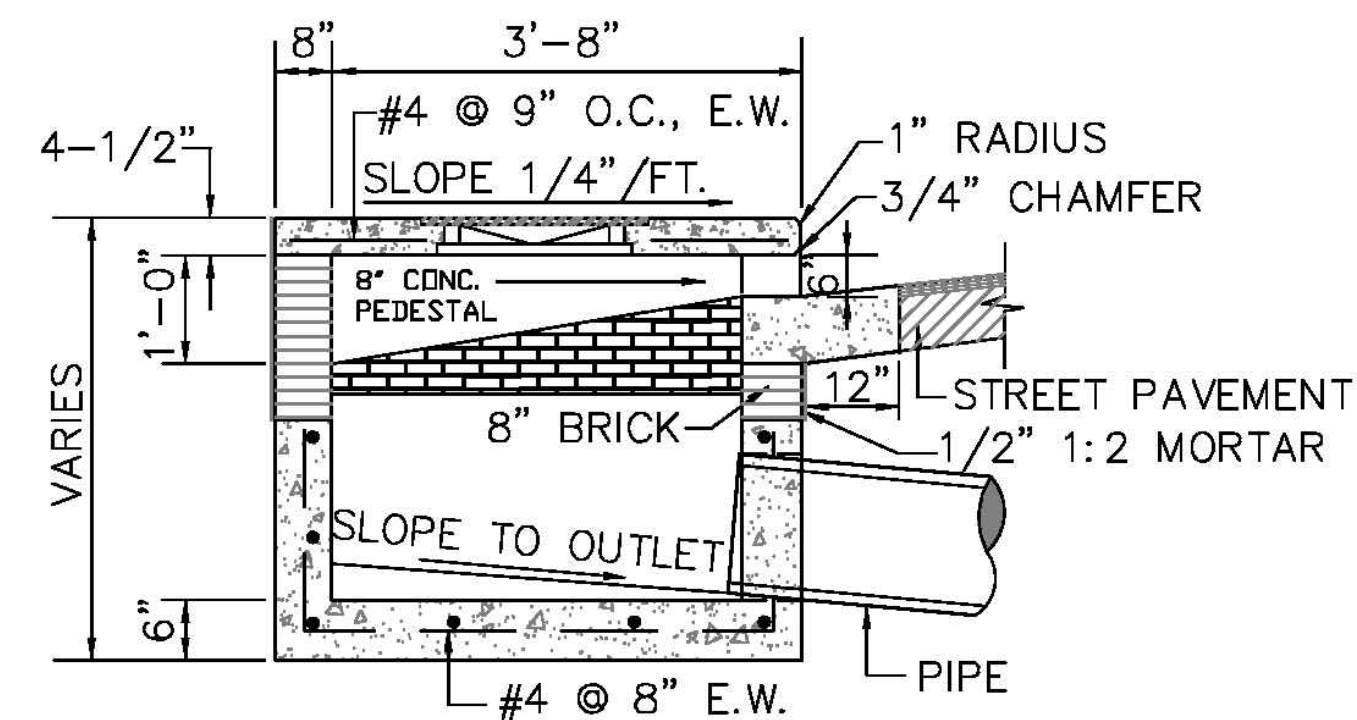
PLAN OF CURB INLET

City of Port Wentworth
TECHNICAL DETAILS

SD-1

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



- NOTES:
1. CHAMFER ALL EXPOSED CONCRETE EDGES 3/4"
 2. PIPE TIEING TO CURB INLET MUST BE SEALED INSIDE AND OUTSIDE OF STRUCTURE WITH BRICK AND MORTAR

CURB INLET SECTION A - A

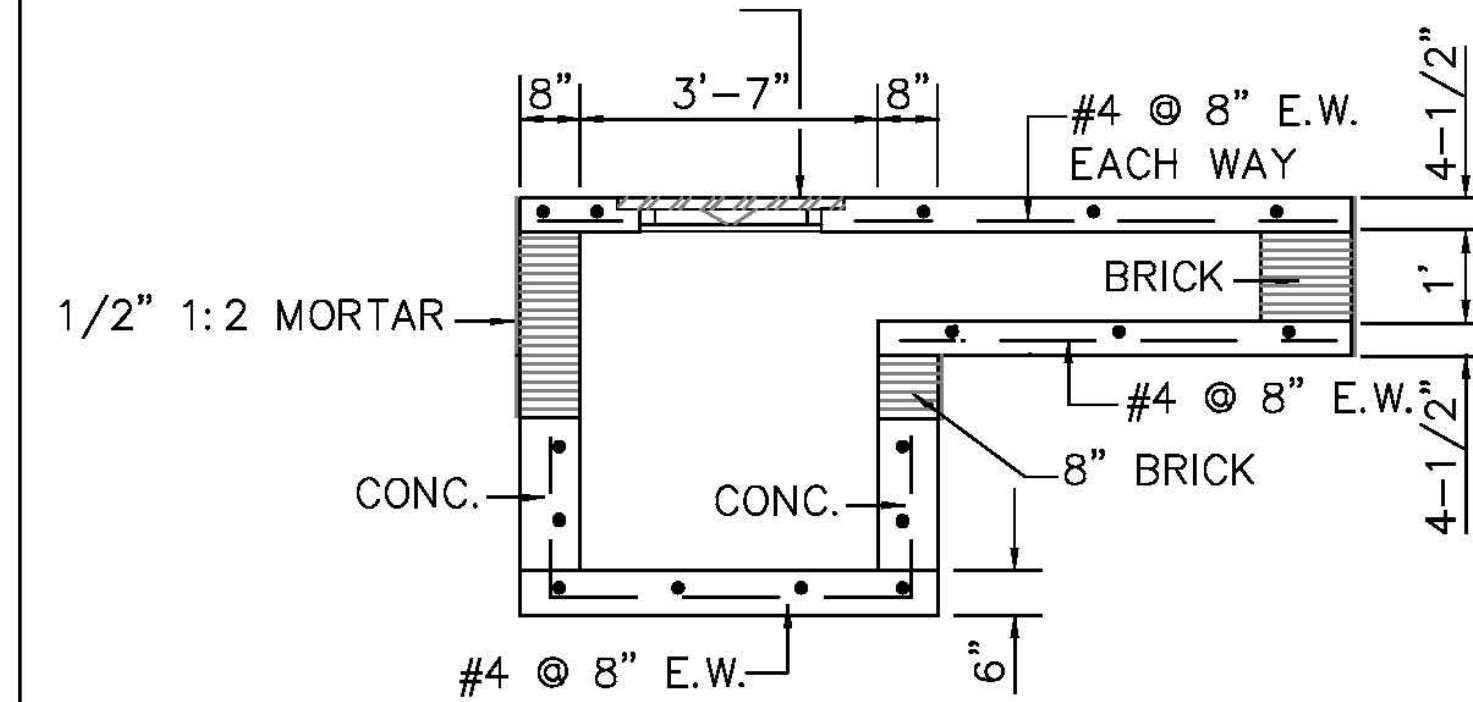
City of Port Wentworth
TECHNICAL DETAILS

SD-3

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

NOTE:
C.I. MANHOLE FRAME AND COVER EQUIVALENT TO NEENAH R-5900-F. FRAME AND COVER TO BE MACHINE FITTED PRIOR TO LEAVING SHOP. WEIGHT - 205 LBS.



- NOTES:
1. MATCH TOP OF PIPE ELEVATIONS WHEN DIFFERENT SIZE PIPES ARE CONSTRUCTED IN CURB INLET.
 2. TYPE "B" INLET SHOWN

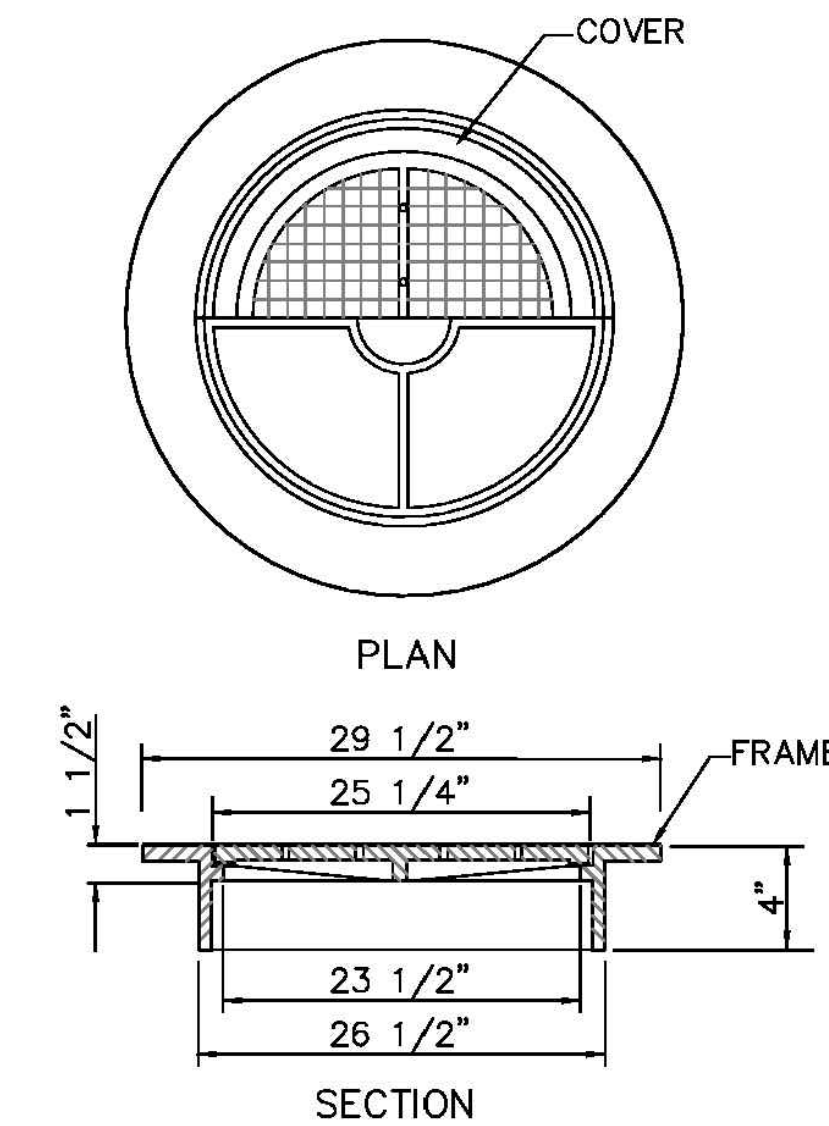
CURB INLET SECTION B - B

City of Port Wentworth
TECHNICAL DETAILS

SD-4

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



- NOTES:
1. FRAME AND COVER TO BE NEENAH FOUNDRY COMPANY CATALOG NO. R-5900-F OR EQUIVALENT WEIGHT 205#.
 2. COVER MUST HAVE FOUNDRY STAMP SHOWING THE UTILITY (DRAINAGE).

INLET FRAME & COVER

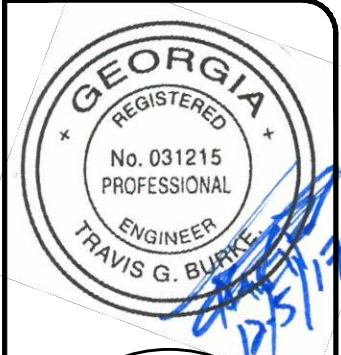
City of Port Wentworth
TECHNICAL DETAILS

SD-5

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

COLEMAN COMPANY, INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(404) 912.200.3041 (F) 912.200.3056



REVISION

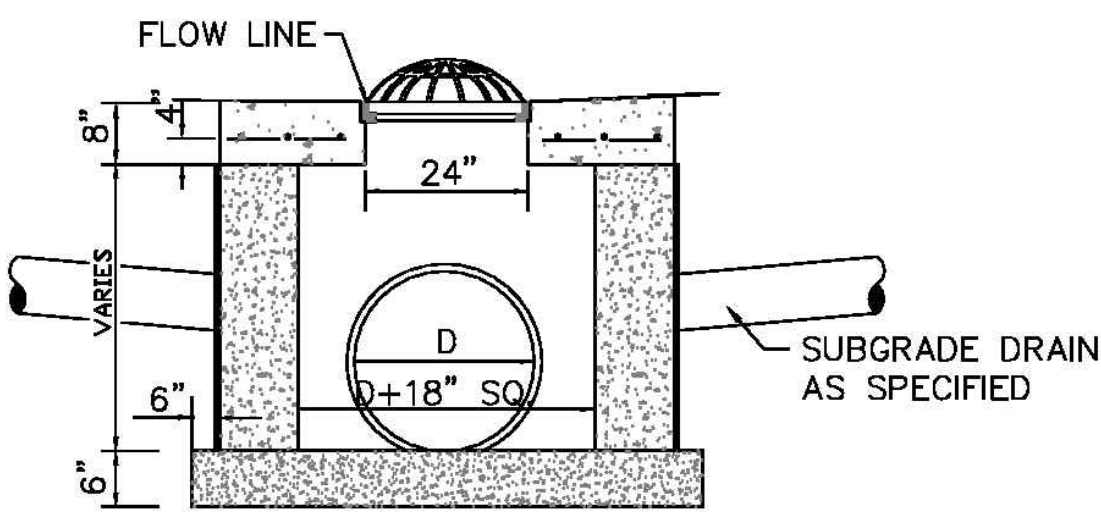
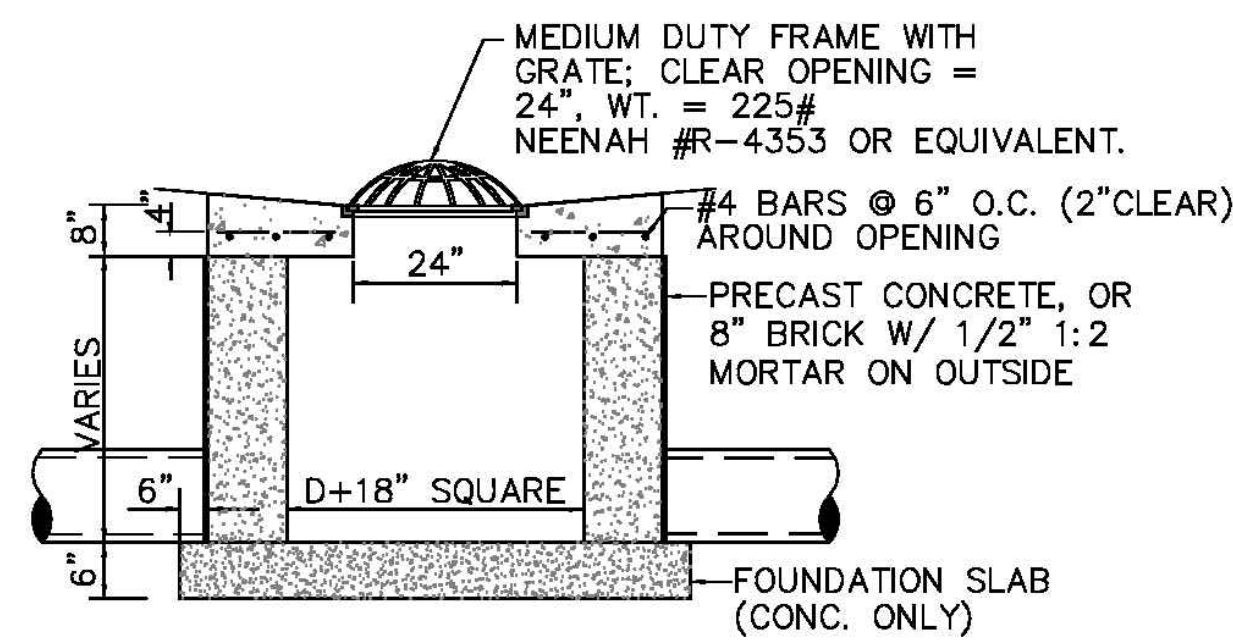
CIVIL CONSTRUCTION PLANS OF
PARKSIDE SUBDIVISION, 28 LOTS
LOCATED IN: PORT WENTWORTH, GA
PREPARED FOR: BEP RICE HOPE LLC

SITE
DETAILS

DATE: 11/15/2017
SCALE: N.T.S.
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

SHEET
C7.0

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
DATE: BY:



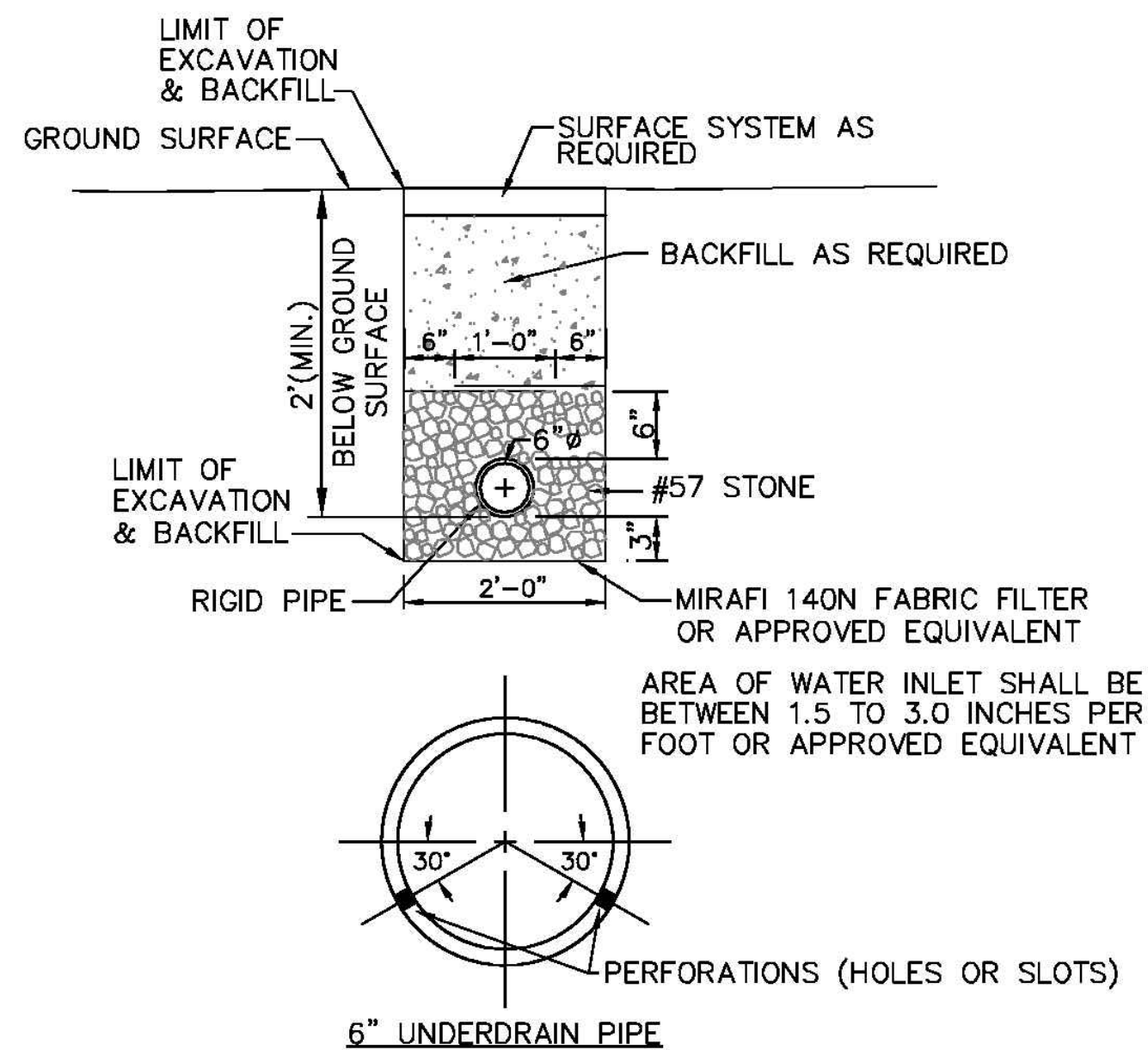
DITCH INLET

City of Port Wentworth
TECHNICAL DETAILS

SD-7

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



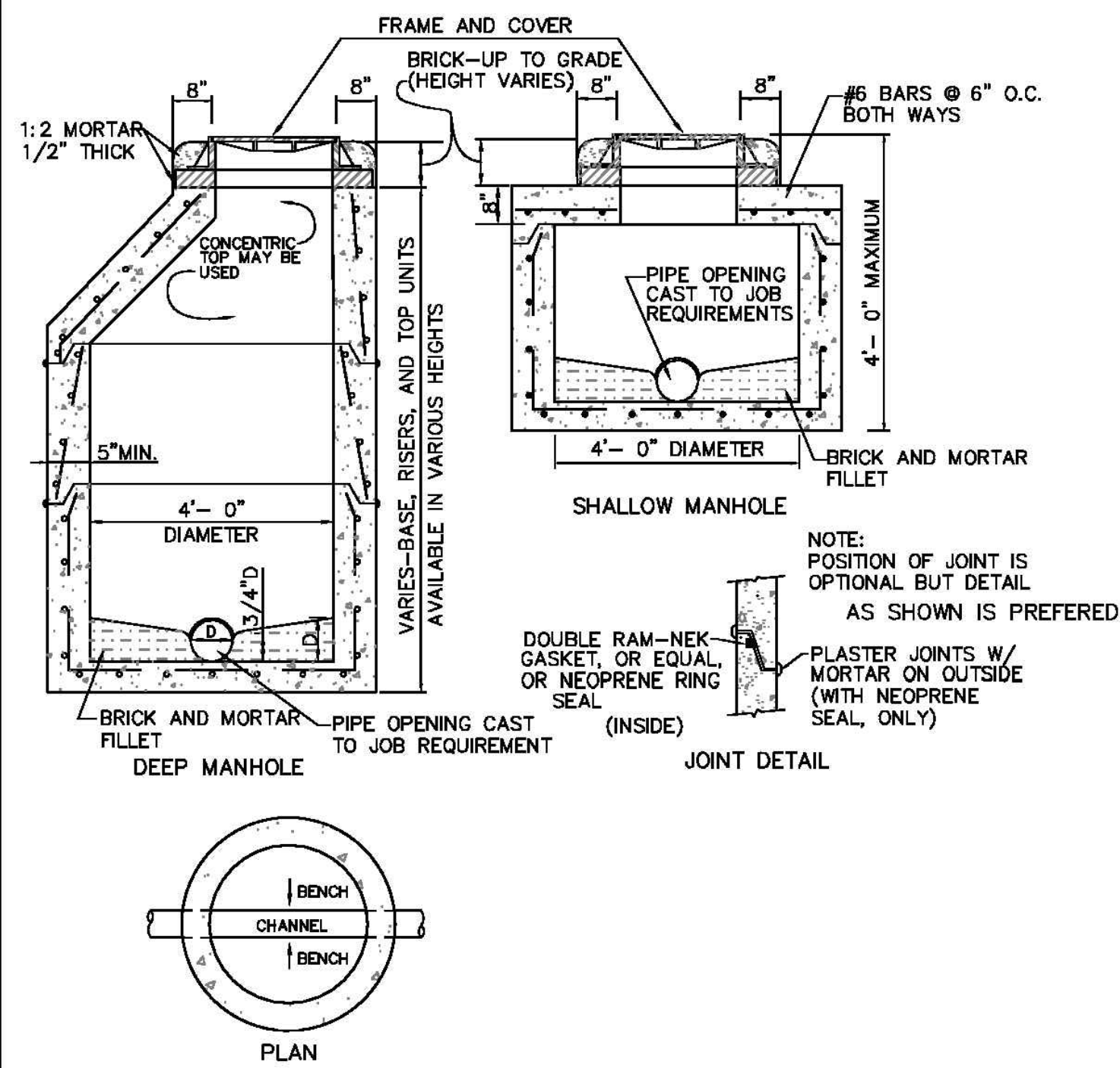
6" UNDERDRAIN PIPE

City of Port Wentworth
TECHNICAL DETAILS

SD-10

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



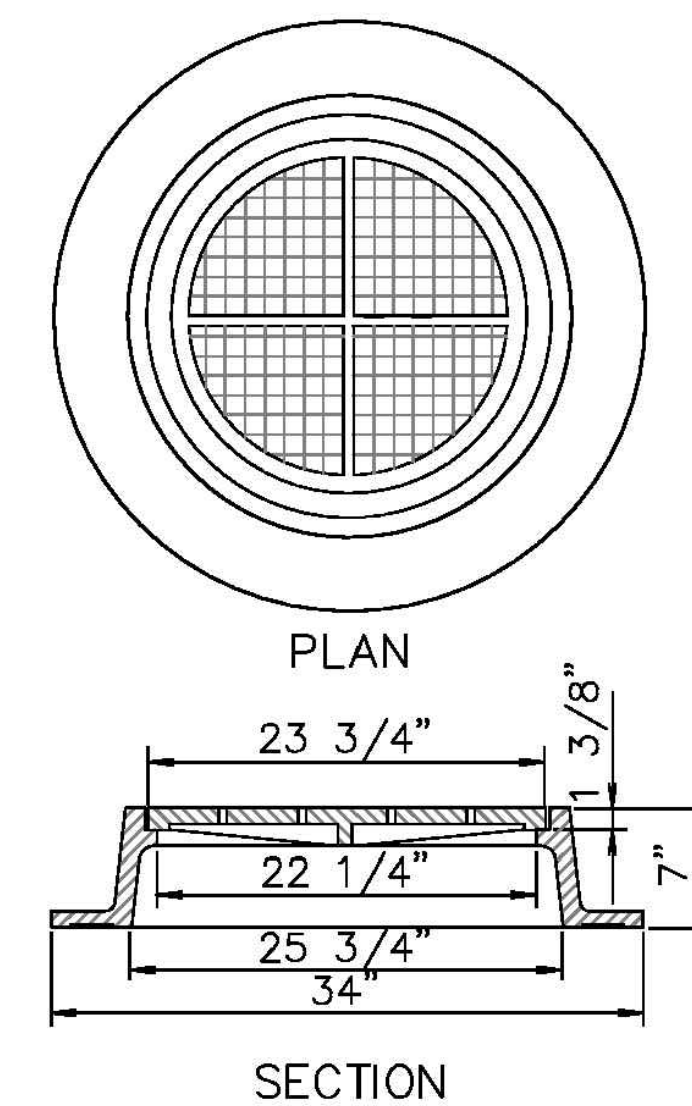
PRECAST STORM MANHOLE

City of Port Wentworth
TECHNICAL DETAILS

SD-12

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NOTE:

MANHOLE RIM & COVER SIMILAR TO NEENAH FOUNDRY CO. R-1412-A4. TOTAL WEIGHT 310#. TYPE "C" LID TO HAVE MACHINED BEARING SURFACES. LID TO BE LETTERED "STORM".

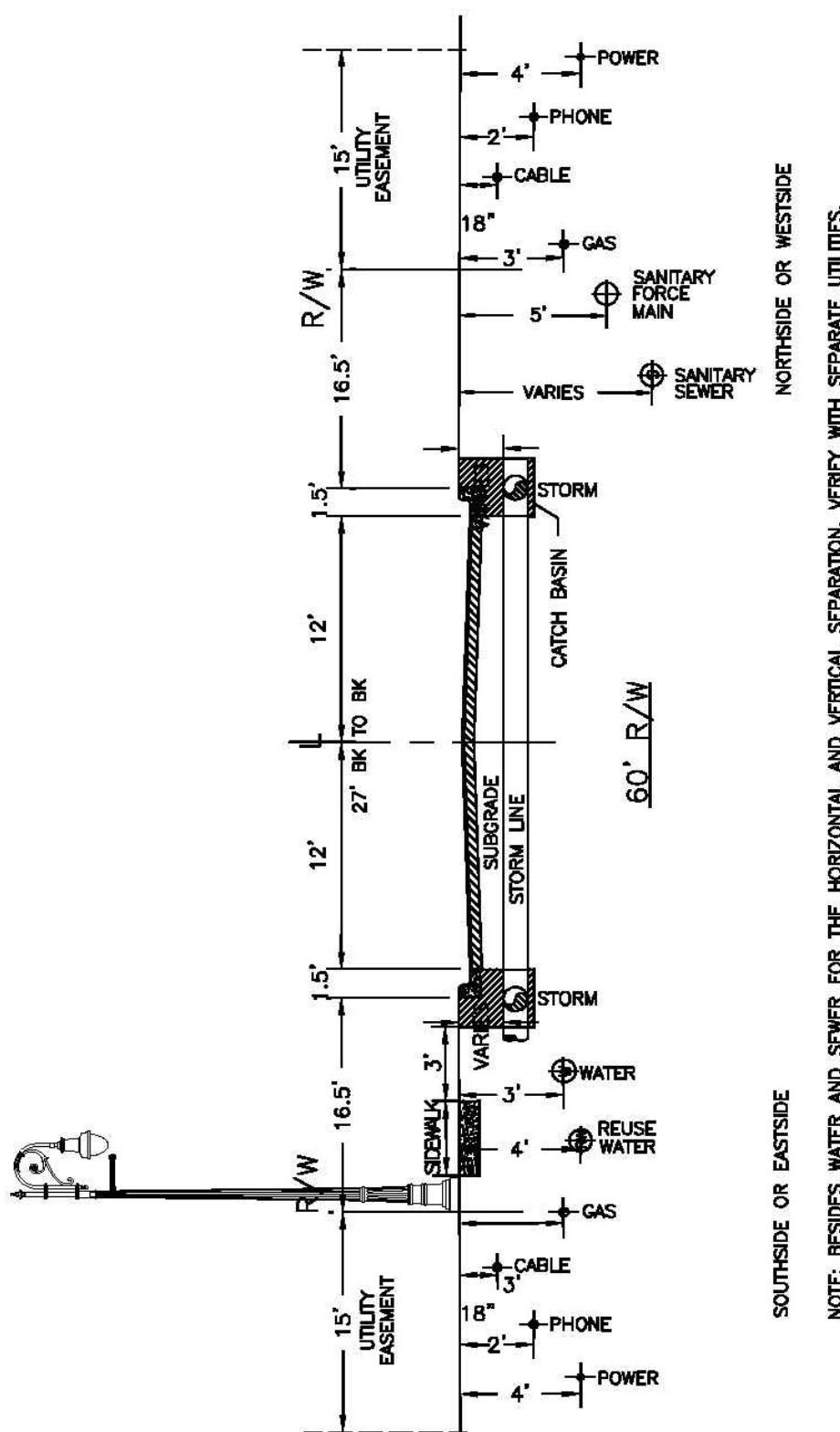
STORM MANHOLE RING & COVER

City of Port Wentworth
TECHNICAL DETAILS

SD-14

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



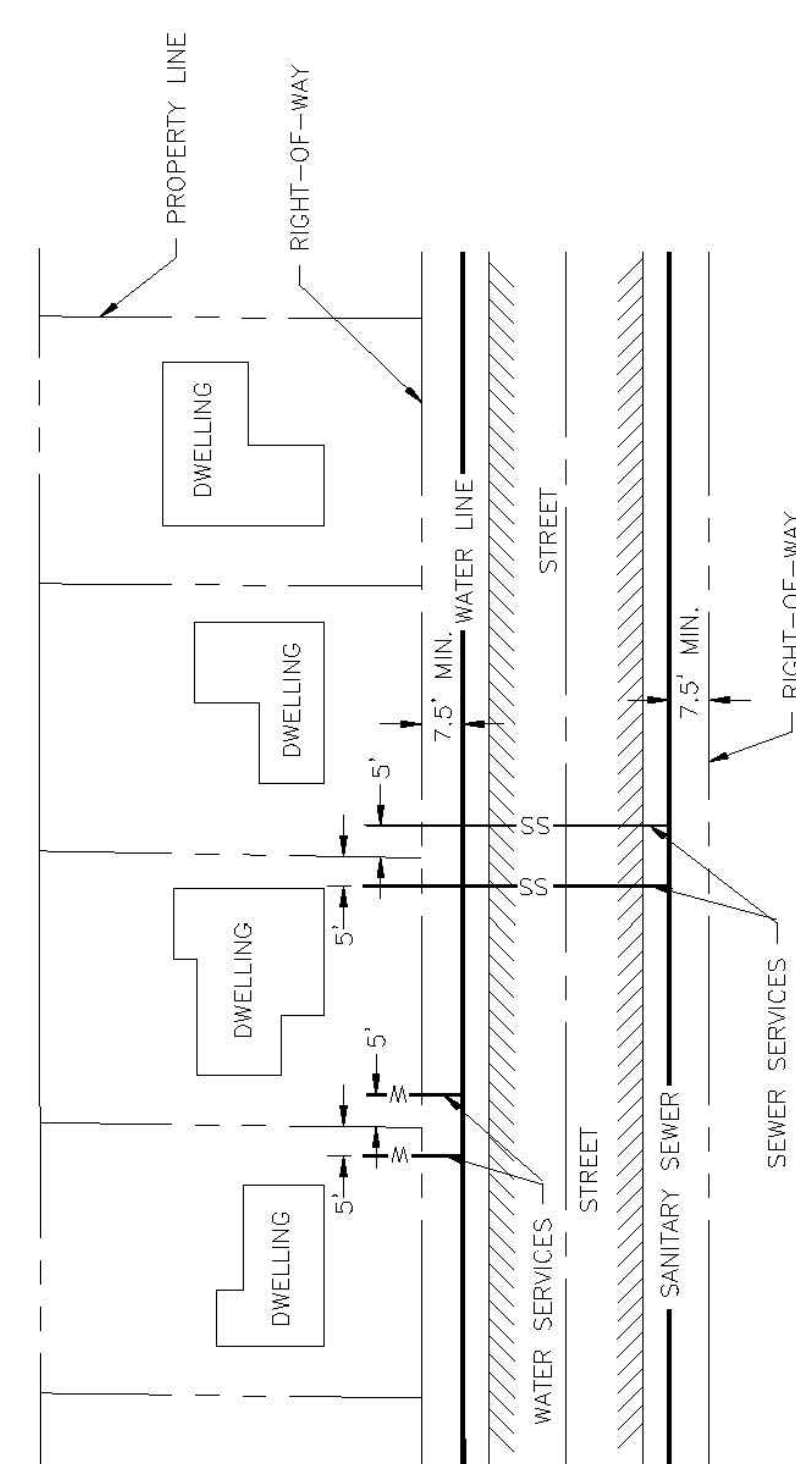
TYP. SECTION UNDERGROUND UTILITY INSTALLATION

City of Port Wentworth
TECHNICAL DETAILS

U-1

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



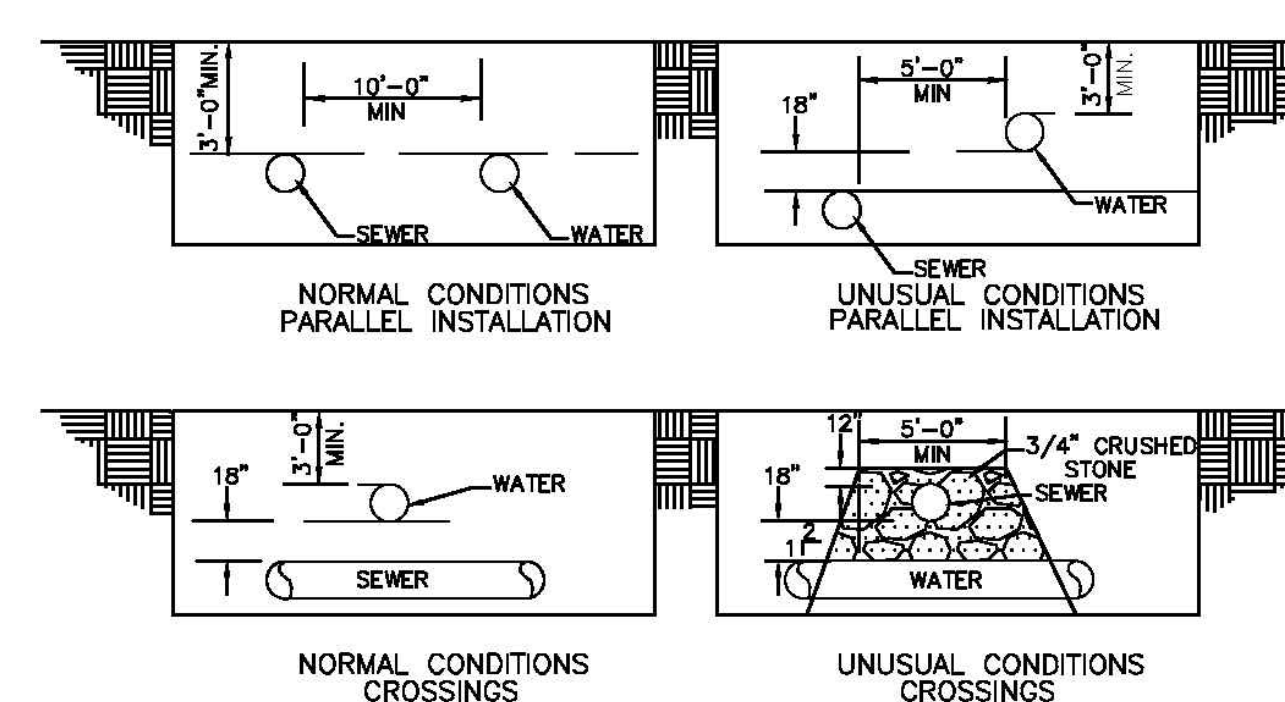
TYP. WATER & SEWER PLANNING

City of Port Wentworth
TECHNICAL DETAILS

U-2

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NOTES:

THE SEPARATION OF WATER MAINS AND SEWERS SHALL COMPLY WITH THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION MINIMUM STANDARDS FOR PUBLIC WATER SYSTEMS, WHICH ARE GENERALLY AS FOLLOWS:

- PARALLEL INSTALLATION:
 - NORMAL CONDITIONS: THE INSIDE EDGE OF A WATER LINE SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM THE INSIDE EDGE OF ANY SANITARY SEWER, STORM SEWER OR SEWER MANHOLE.
 - UNUSUAL CONDITIONS: WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, AND WHEN APPROVED BY THE ENGINEER, THE INSIDE EDGE OF A WATER MAIN MAY BE LAID A MINIMUM OF 5 FEET FROM THE INSIDE EDGE OF A SEWER PROVIDED THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER (SEE DETAIL), AND THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF.
- CROSSINGS:
 - NORMAL CONDITIONS: WHENEVER POSSIBLE, THE BOTTOM OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER.
 - UNUSUAL CONDITIONS: IF A WATER MAIN MUST CROSS UNDER A SEWER, THE TOP OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES LOWER THAN THE BOTTOM OF THE SEWER. THE WATER MAIN PIPE SHALL BE CENTERED AT THE CROSSING SO THAT THE JOINTS ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER, AND ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF THE SEWER AT THE CROSSING. ADEQUATE STRUCTURAL SUPPORT SHALL INCLUDE BACKFILLING THE ENTIRE UTILITY CROSSING AREA WITH 3/4" CRUSHED STONE AS SHOWN IN THE DETAIL.

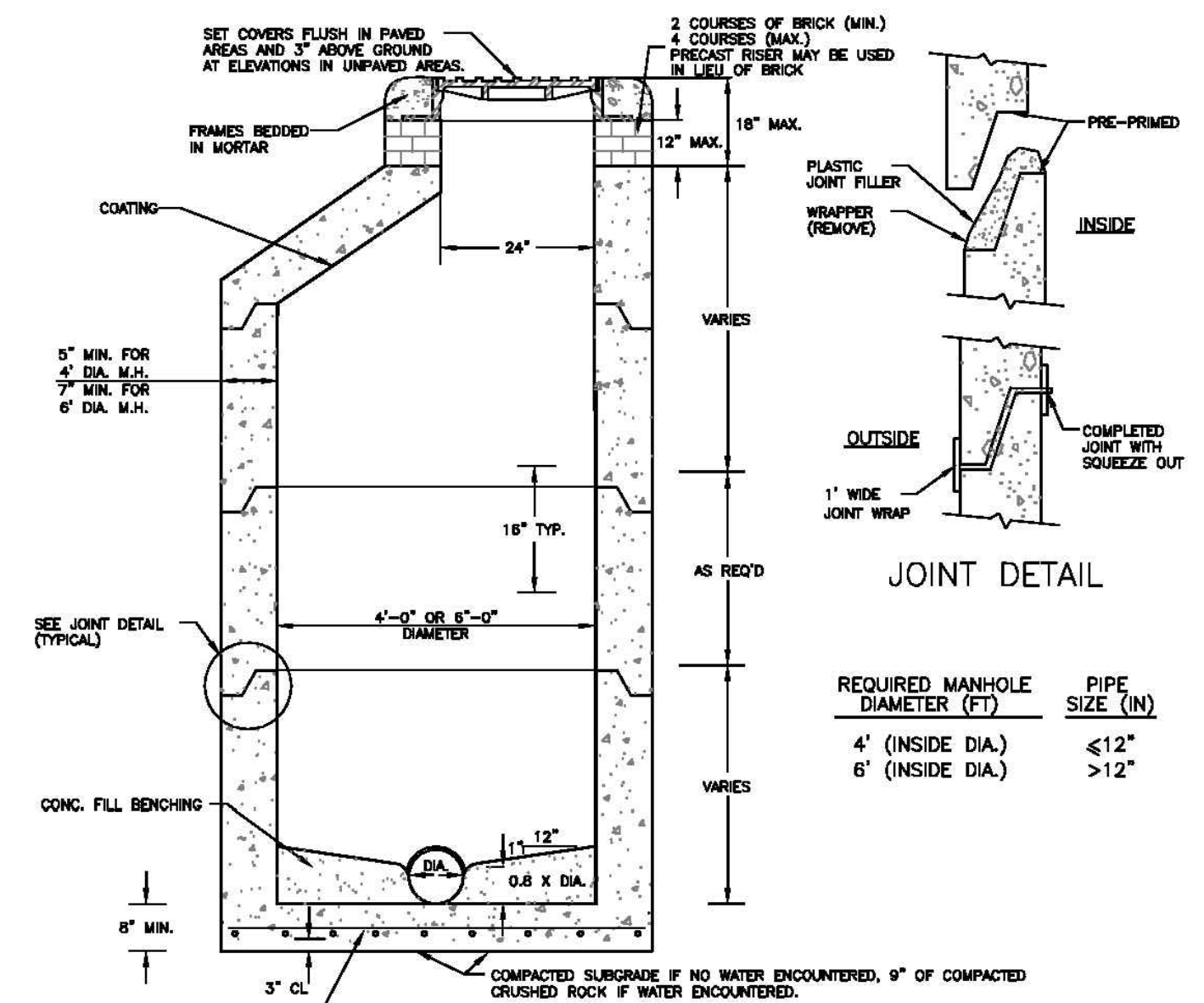
MINIMUM WATER & SEWER PIPE SEPARATION

City of Port Wentworth
TECHNICAL DETAILS

U-3

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NOTES:

- PRECAST REINFORCED CONCRETE TOPS, RISERS, BASES AND REBARS SHALL CONFORM TO LATEST ASTM C-478 STD. SPECIFICATIONS.
- INTERIOR OF MANHOLE SHALL BE COATED IN ACCORDANCE WITH CITY OF PORT WENTWORTH STD. SPECIFICATIONS. THE EXTERIOR OF MANHOLE SHALL BE COATED WITH CONSAL CS-55 DAMP-PROOF COATING OR EQUAL.
- MANUFACTURER CERTIFICATION THAT MANHOLE MEETS ASTM SPECIFICATION SHALL BE SUBMITTED TO CITY OF PORT WENTWORTH.
- SEE DETAIL SHEET FOR MANHOLE COVER & FRAME.
- BUOYANCY MAY NEED TO BE CHECKED IF NECESSARY.
- ALL PIPE PENETRATIONS SHALL HAVE A BOOT CONNECTION. SEE DETAIL S-6.

PRECAST CONCRETE MANHOLE

City of Port Wentworth
TECHNICAL DETAILS

S-1

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

COLEMAN COMPANY, INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041 (F) 912-200-3056

REGISTERED PROFESSIONAL ENGINEER
No. 031215
TRAVIS G. BURTON

REVISION

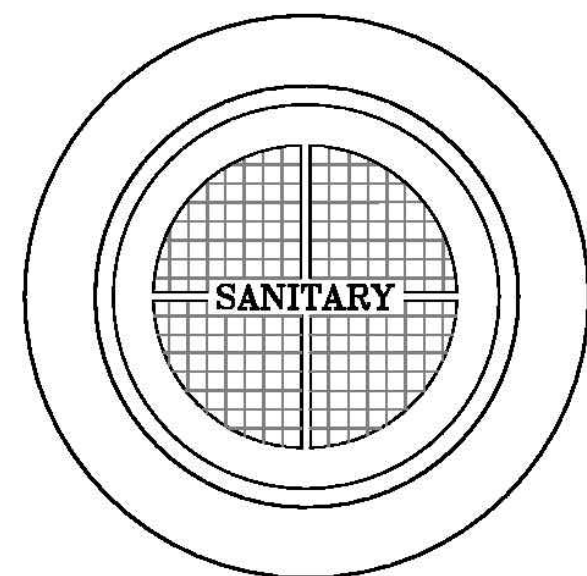
CIVIL CONSTRUCTION PLANS OF
PARKSIDE SUBDIVISION, 28 LOTS
LOCATED IN: PORT WENTWORTH, GA
PREPARED FOR: BEP RICE HOPE LLC

SITE
DETAILS

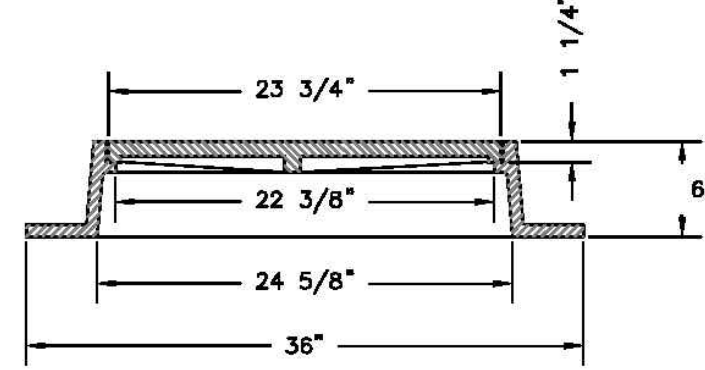
DATE: 11/15/2017
SCALE: N.T.S.
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

SHEET
C7.1

NOT FOR CONSTRUCTION
RELEASED FOR CONSTRUCTION
DATE: BY:



PLAN



SECTION

NOTE:
MANHOLE RING & COVER SHALL BE HEAVY DUTY RATED EQUAL TO U. S. FOUNDRY CO. USF 195-ORS. TOTAL WEIGHT 325# TYPE "C" LID TO HAVE MACHINED BEARING SURFACES. LID TO BE LETTERED 2 1/2" - 3" LETTER HEIGHT "SANITARY" (NON VENTED). MANHOLE RING SHALL INCLUDE A WATERTIGHT GASKET. STACKING CLEATS ON THE BOTTOM OF THE COVER SHALL NOT BE ALLOWED.

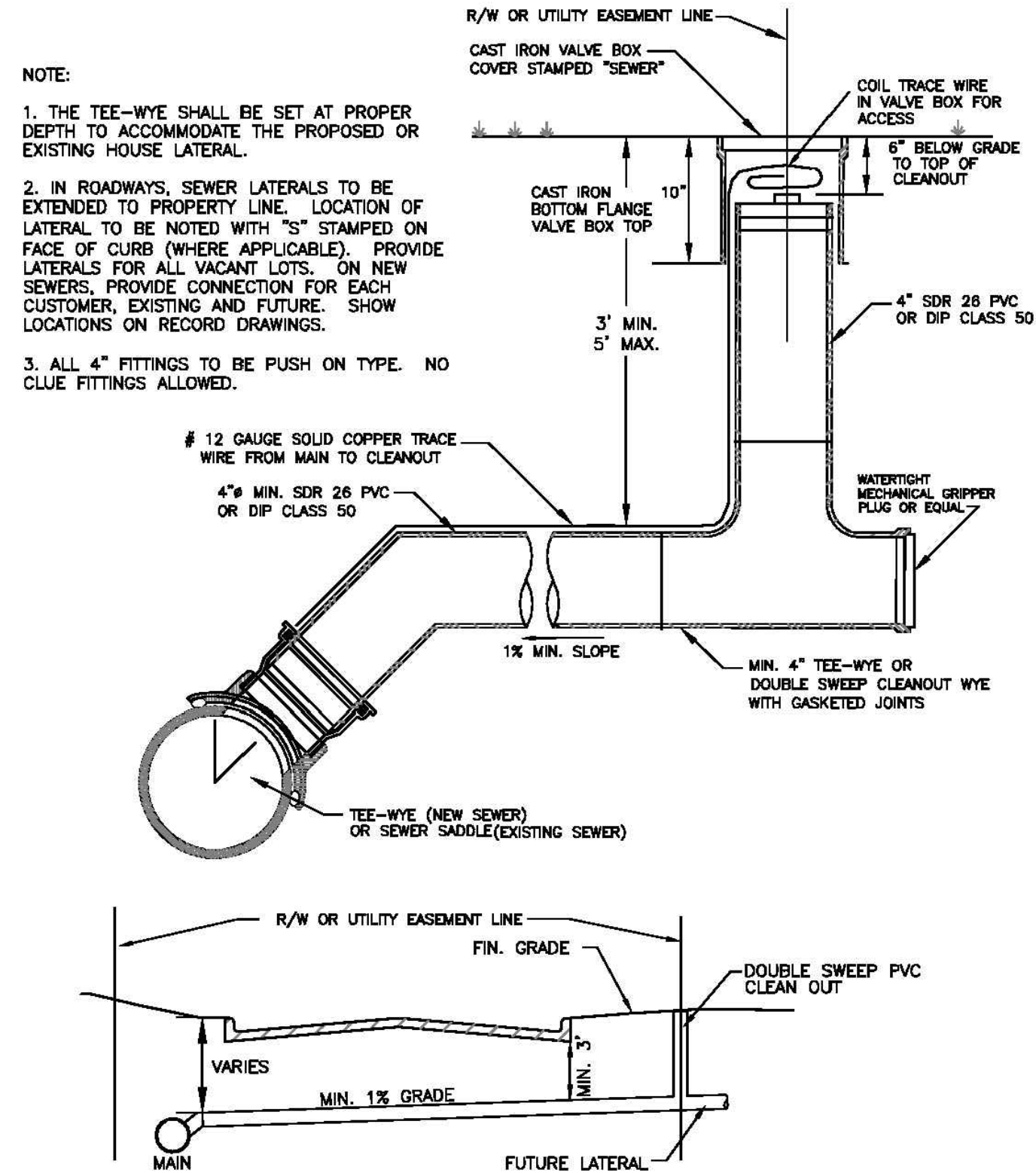
MANHOLE RING & COVER

City of Port Wentworth
TECHNICAL DETAILS

S-2

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



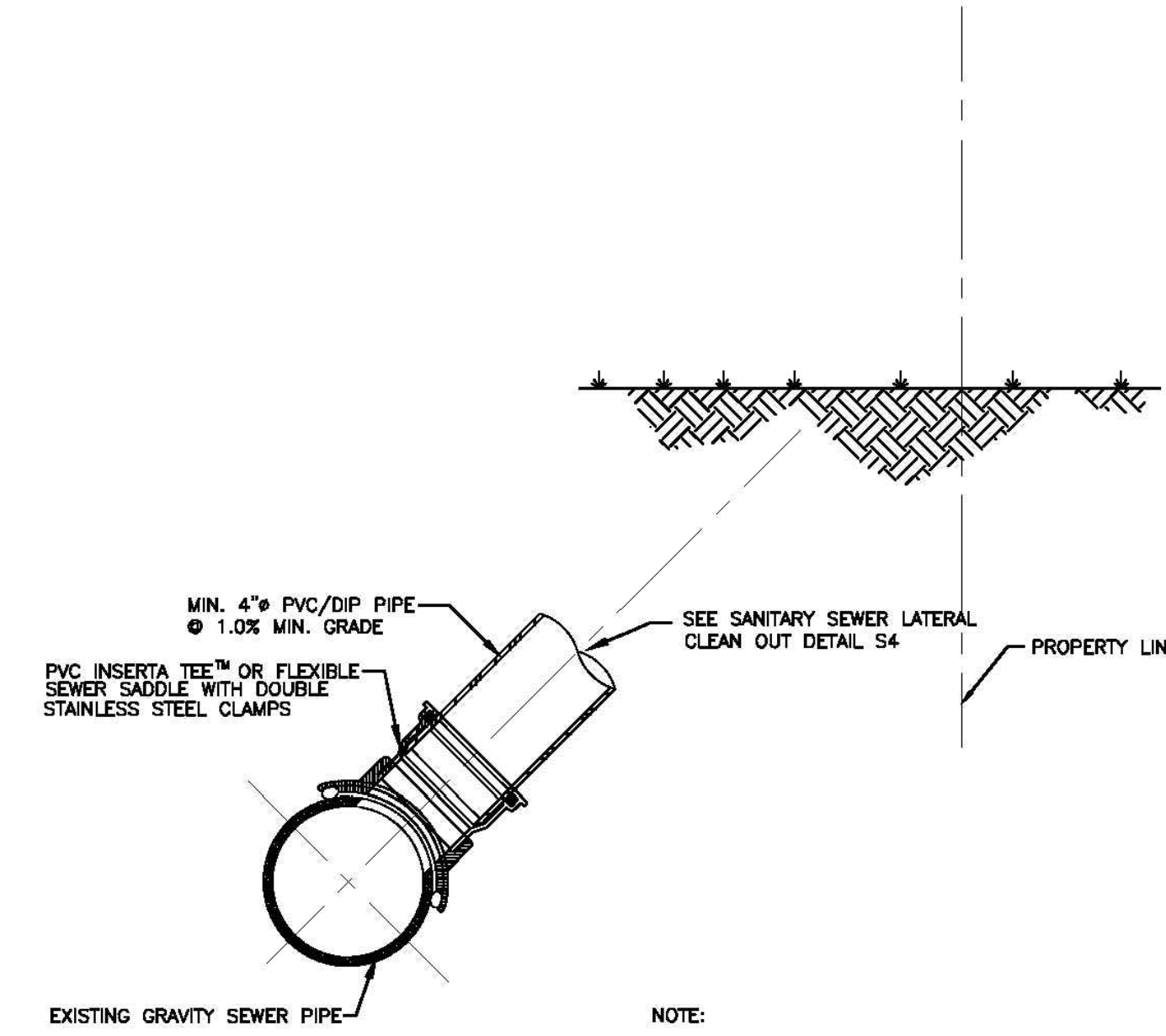
SANITARY SEWER SERVICE CONNECTION

City of Port Wentworth
TECHNICAL DETAILS

S-4

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



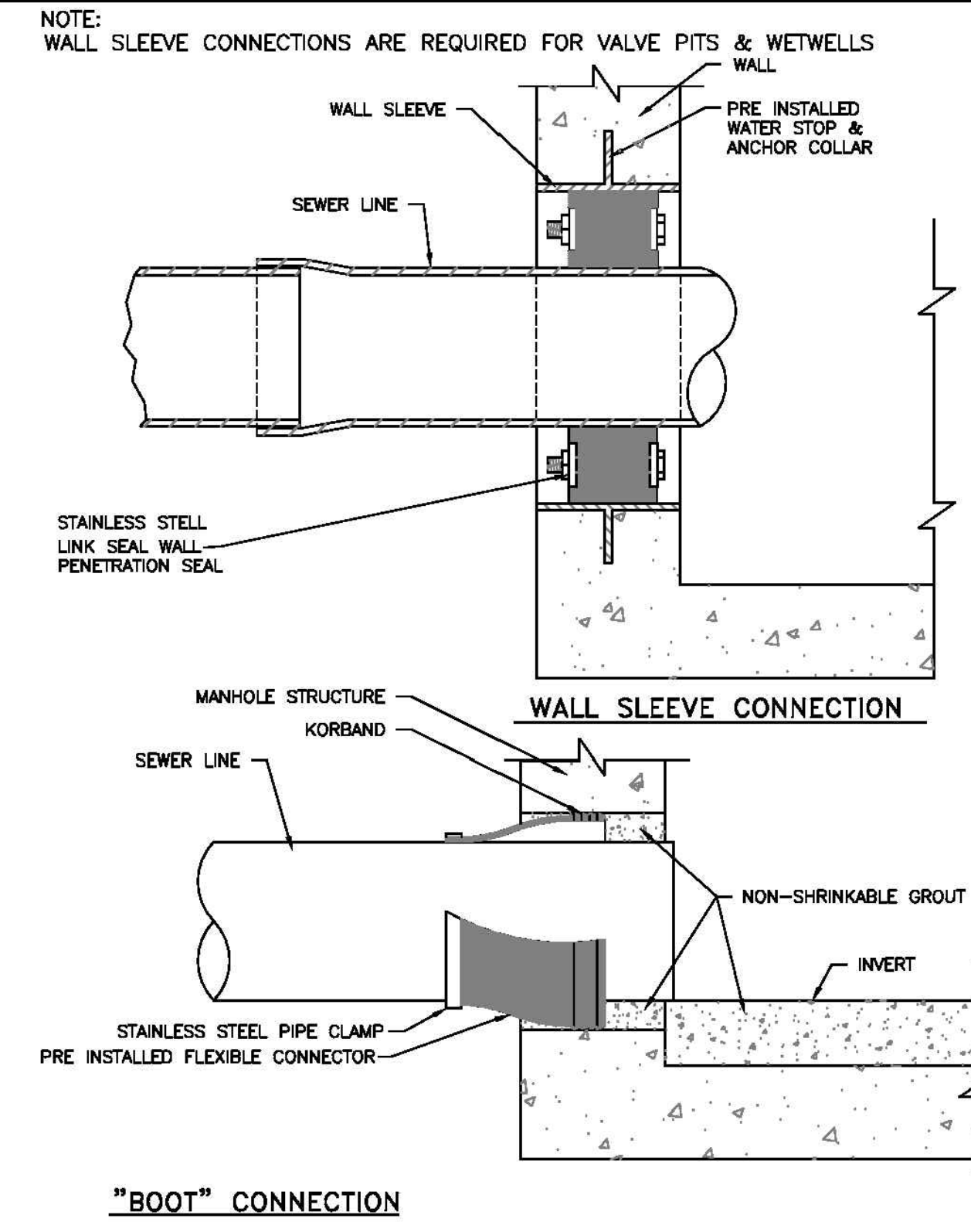
SEWER SERVICE CONNECT TO EXT. PIPE

City of Port Wentworth
TECHNICAL DETAILS

S-5

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



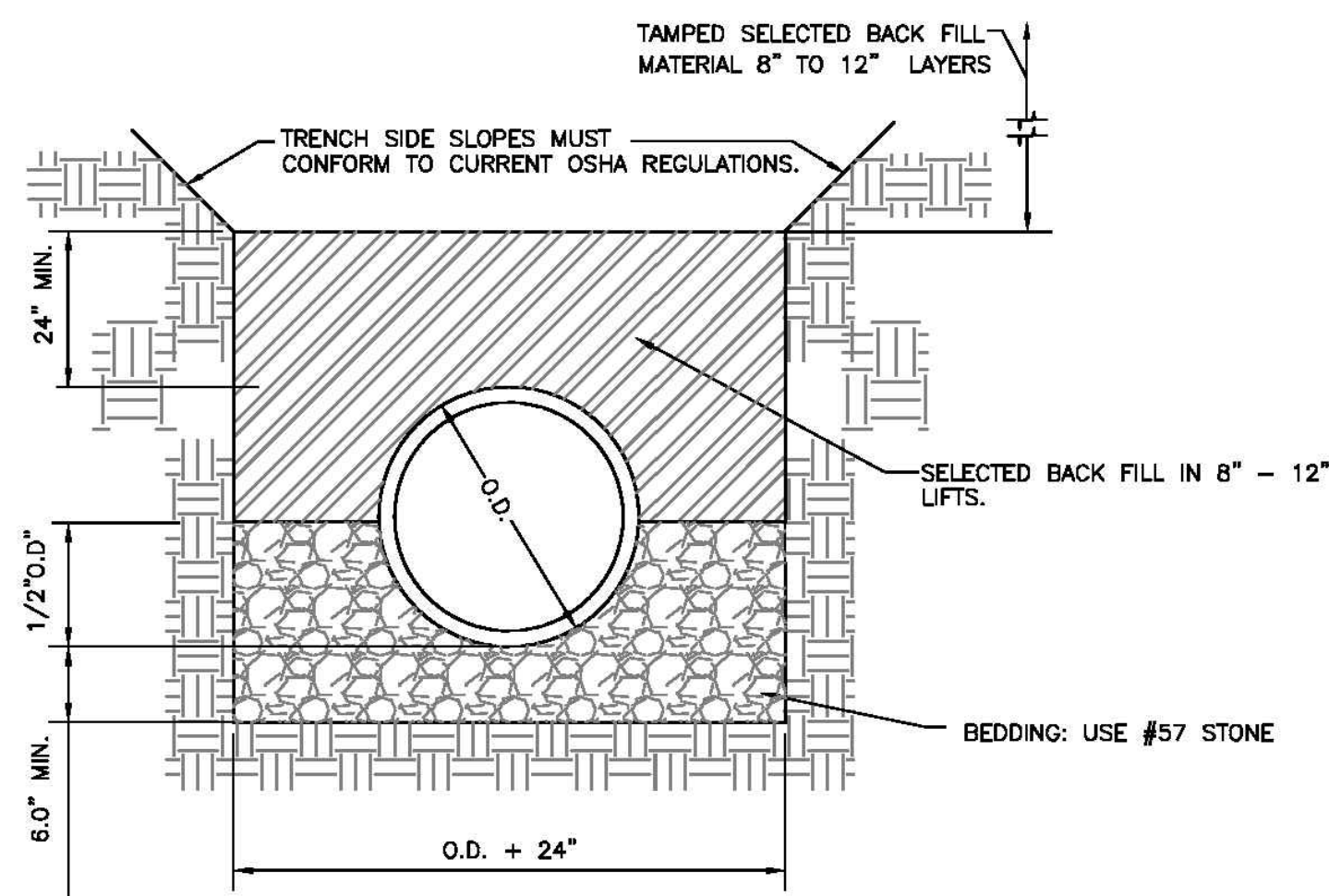
PRECAST STRUCTURE PIPE CONNECTION

City of Port Wentworth
TECHNICAL DETAILS

S-6

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



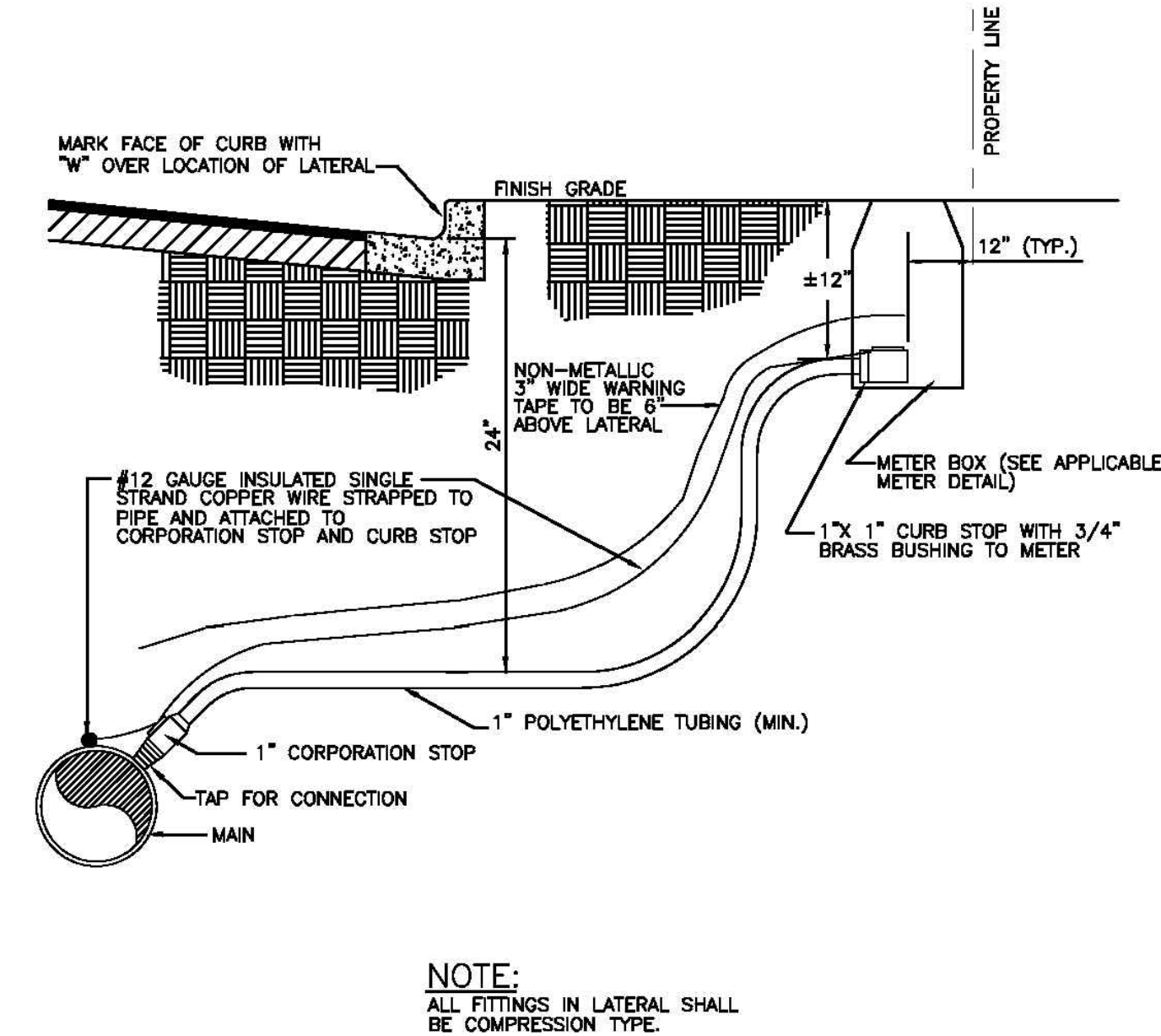
PIPE BEDDING

City of Port Wentworth
TECHNICAL DETAILS

S-8

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



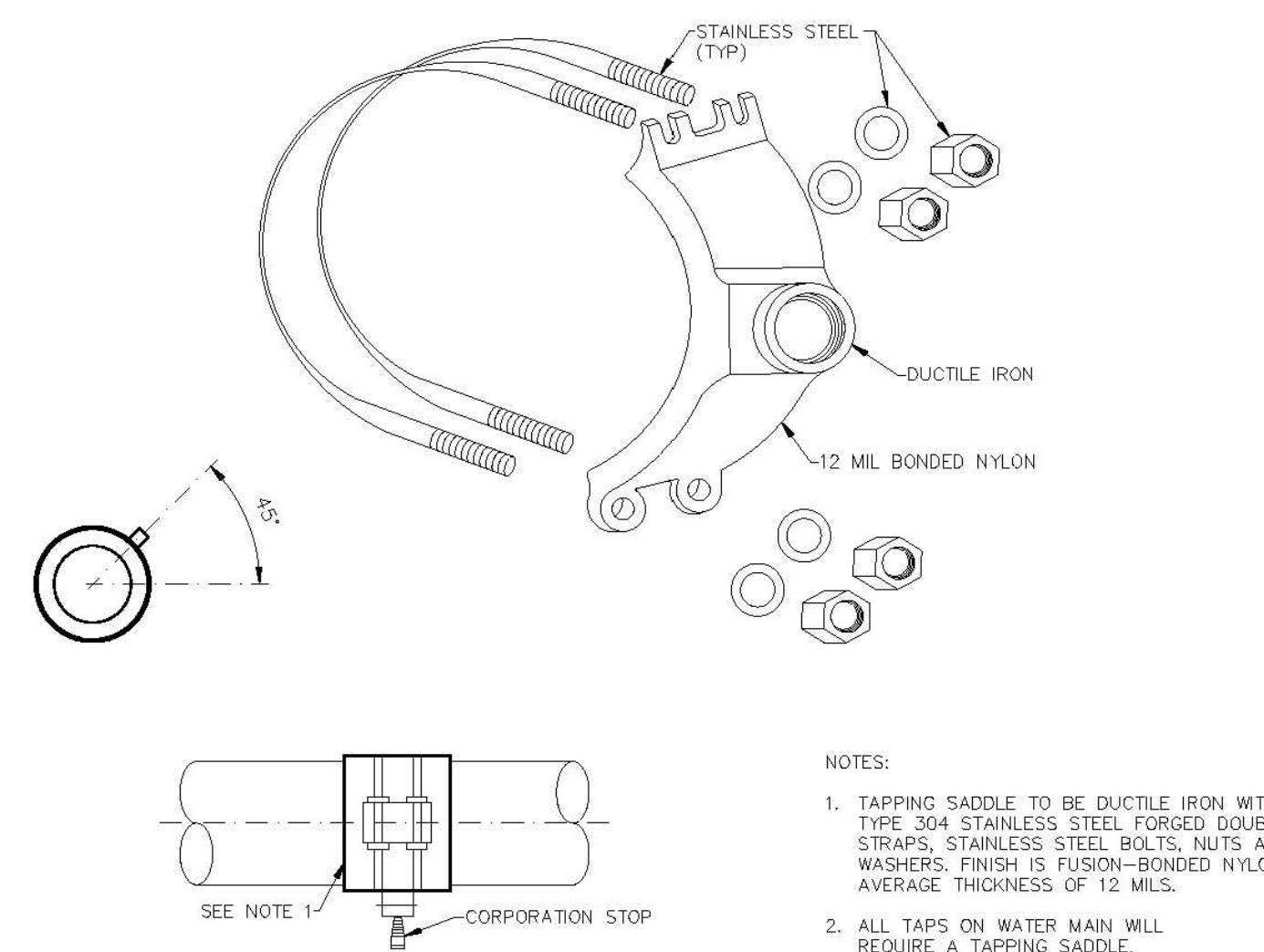
WATER SERVICE LATERAL

City of Port Wentworth
TECHNICAL DETAILS

W-1

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



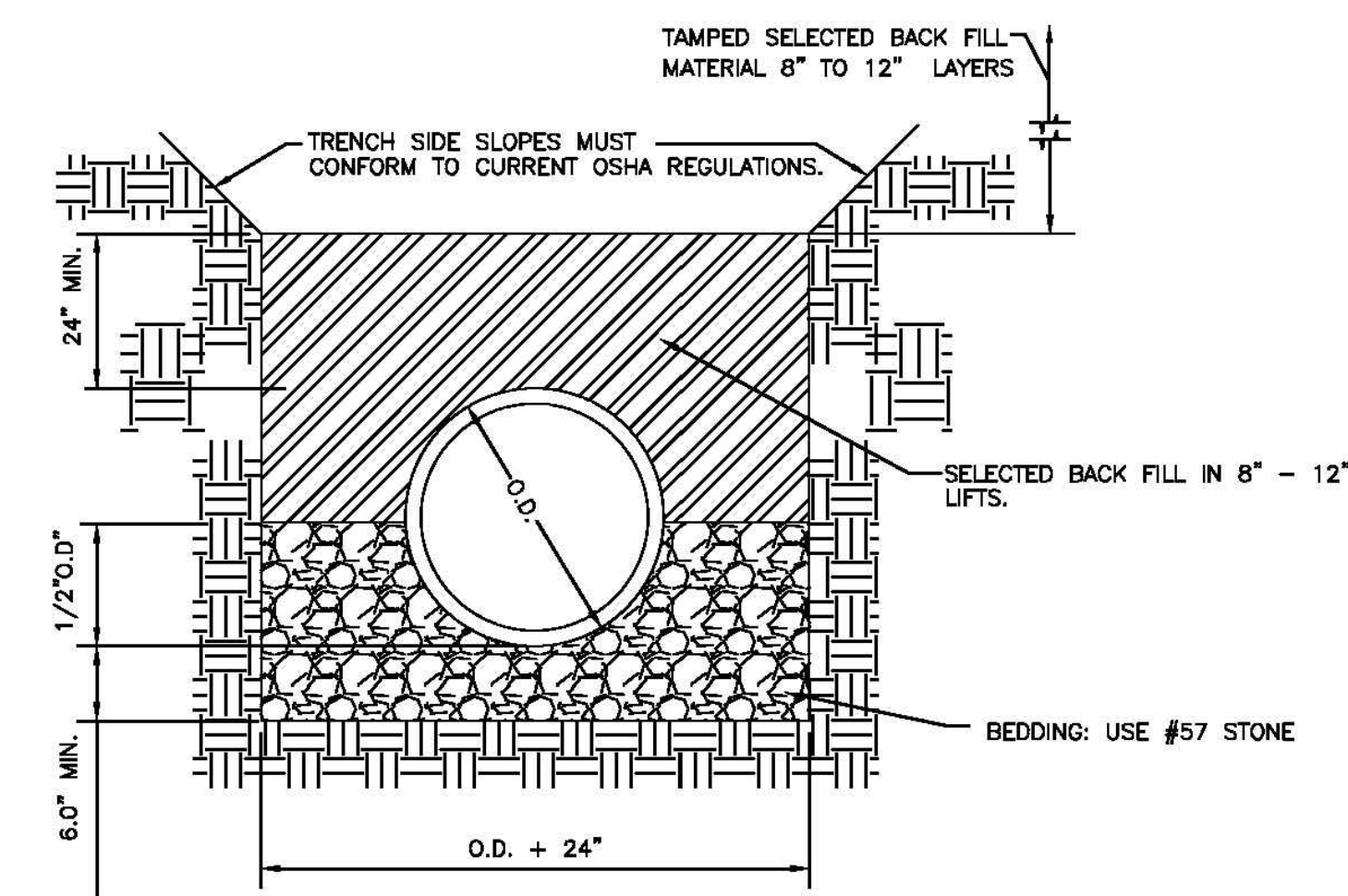
1" AND 2" TAPPING SADDLE

City of Port Wentworth
TECHNICAL DETAILS

W-2

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



PIPE BEDDING

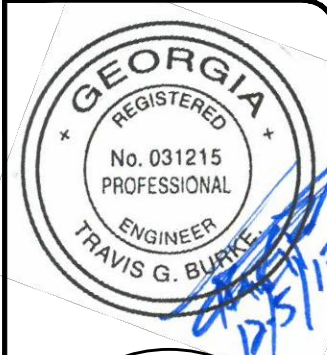
City of Port Wentworth
TECHNICAL DETAILS

W-8

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

COLEMAN COMPANY, INC.
17 PARK OF COMMERCE, SUITE 201
SAVANNAH, GA 31405
(912) 200-3041 (F) 912-200-3056



REVISION table with columns for revision number and description.

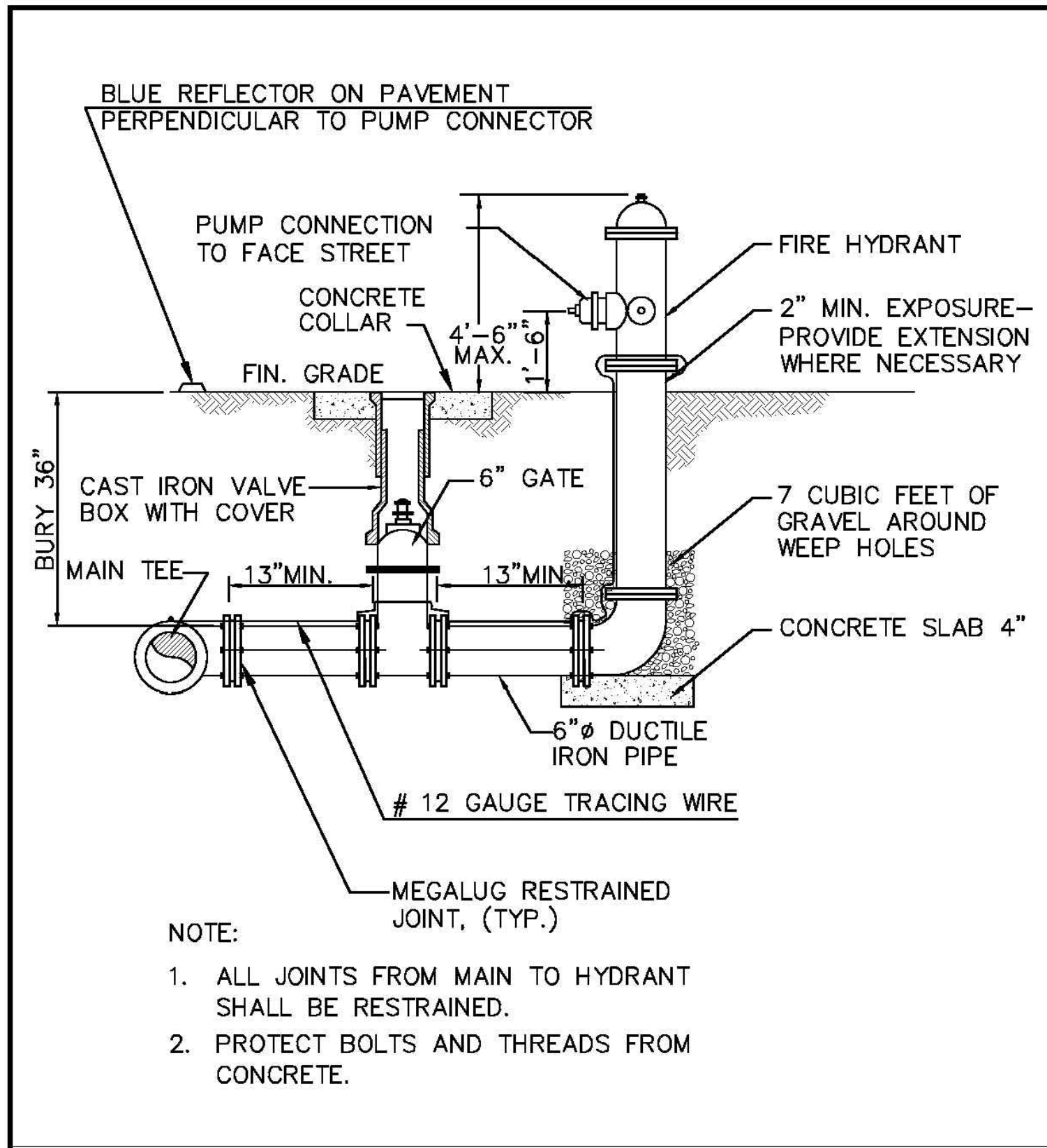
CIVIL CONSTRUCTION PLANS OF
PARKSIDE SUBDIVISION, 28 LOTS
LOCATED IN: PORT WENTWORTH, GA
PREPARED FOR: BEP RICE HOPE LLC

SITE
DETAILS

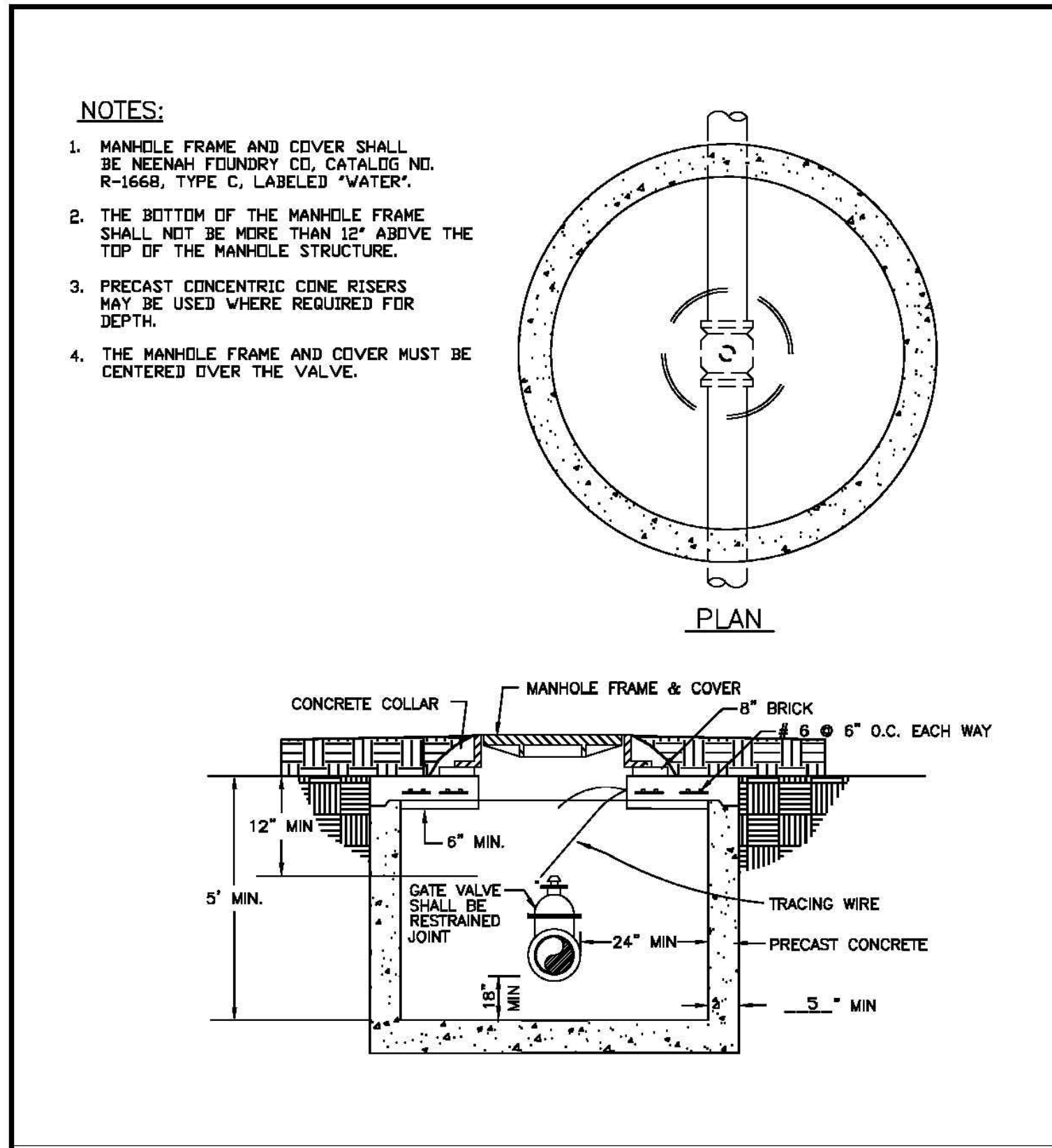
DATE: 11/15/2017
SCALE: N.T.S.
JOB #: 17-574
DRAWN BY: TBM
CHECKED BY: TGB

SHEET
C7.2

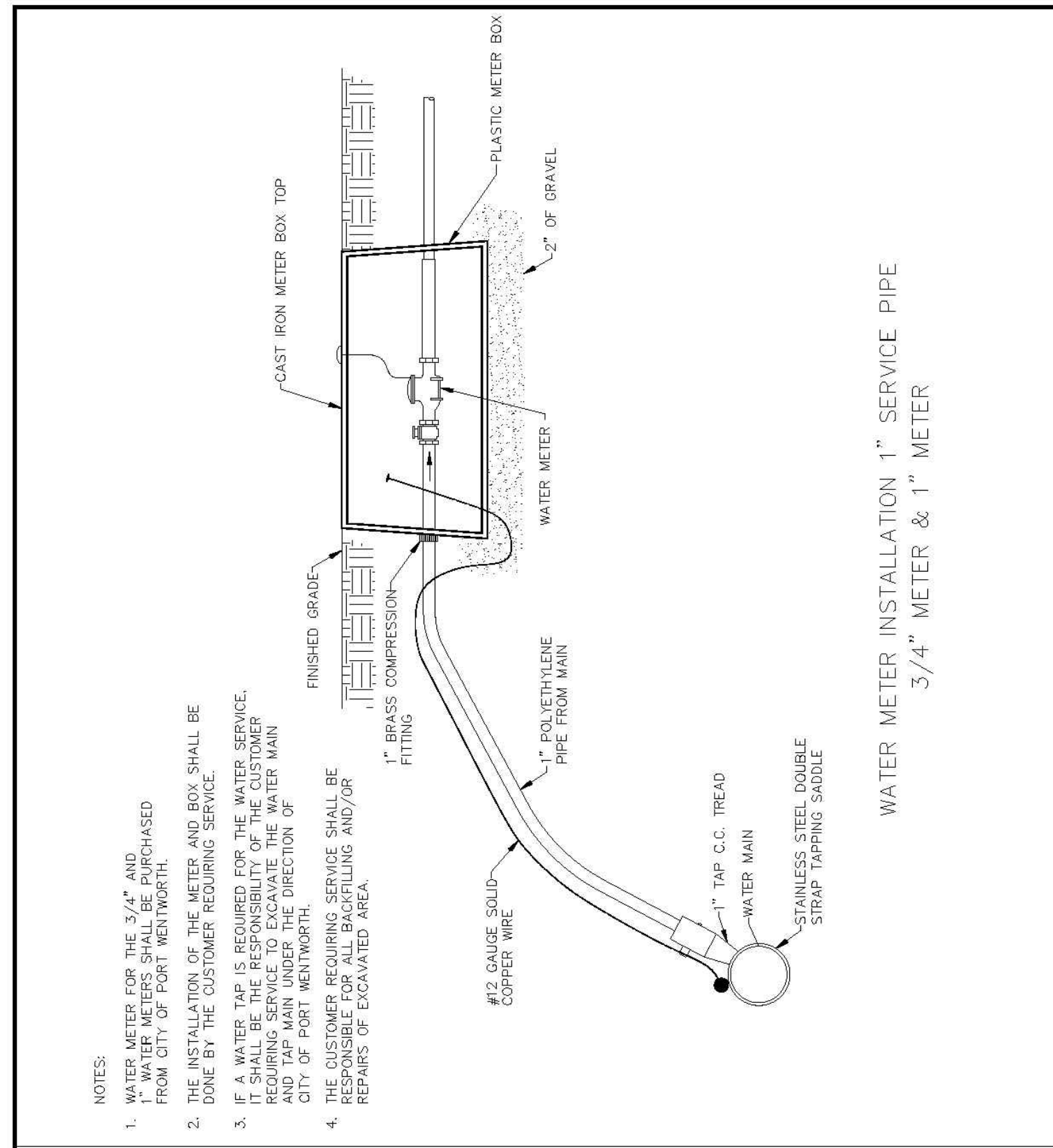
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DATE: BY:



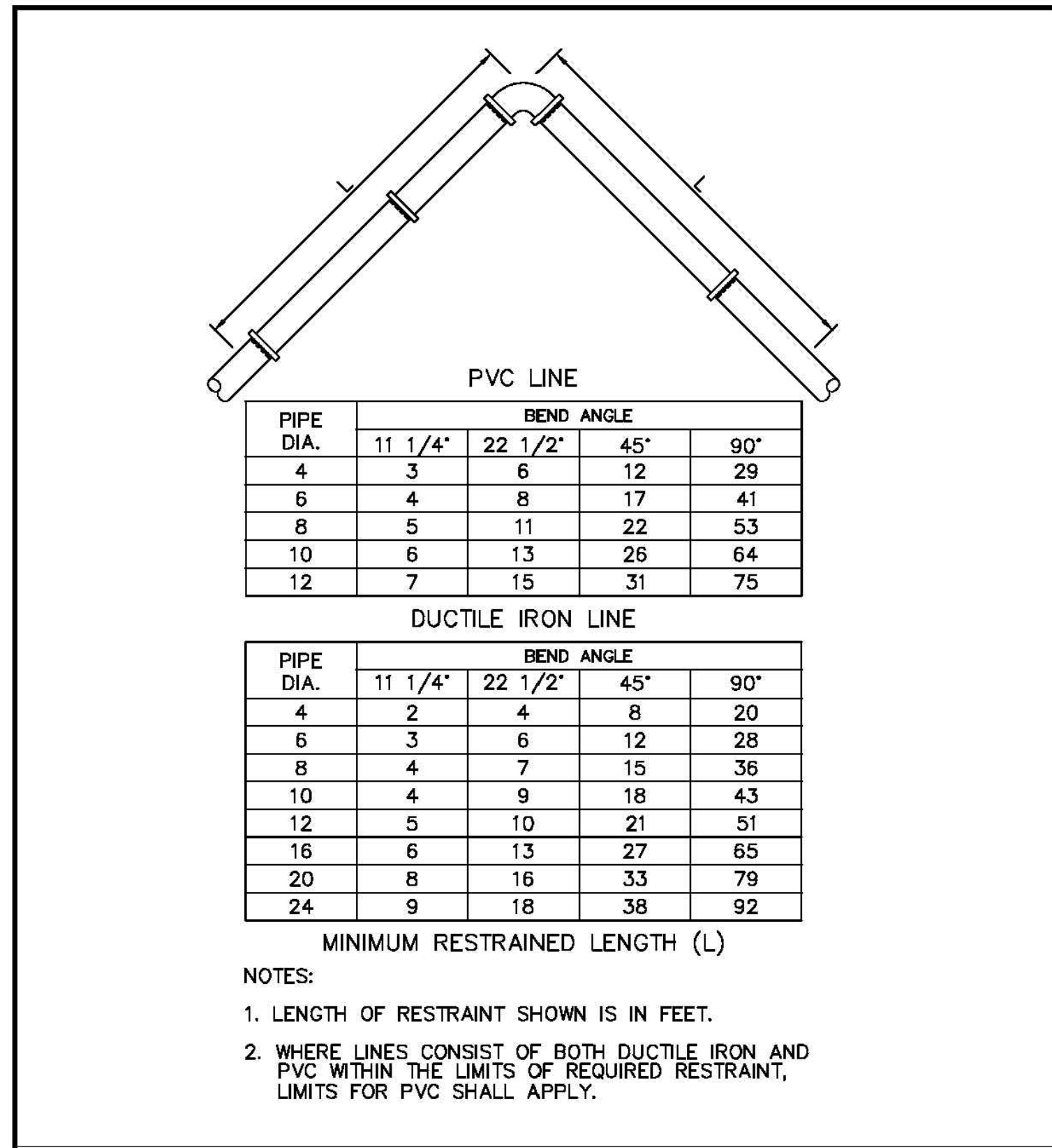
STANDARD FIRE HYDRANT
 City of Port Wentworth
 TECHNICAL DETAILS
 W-9
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC.
 SCALE: N.T.S.
 DATED: FEBRUARY 2007



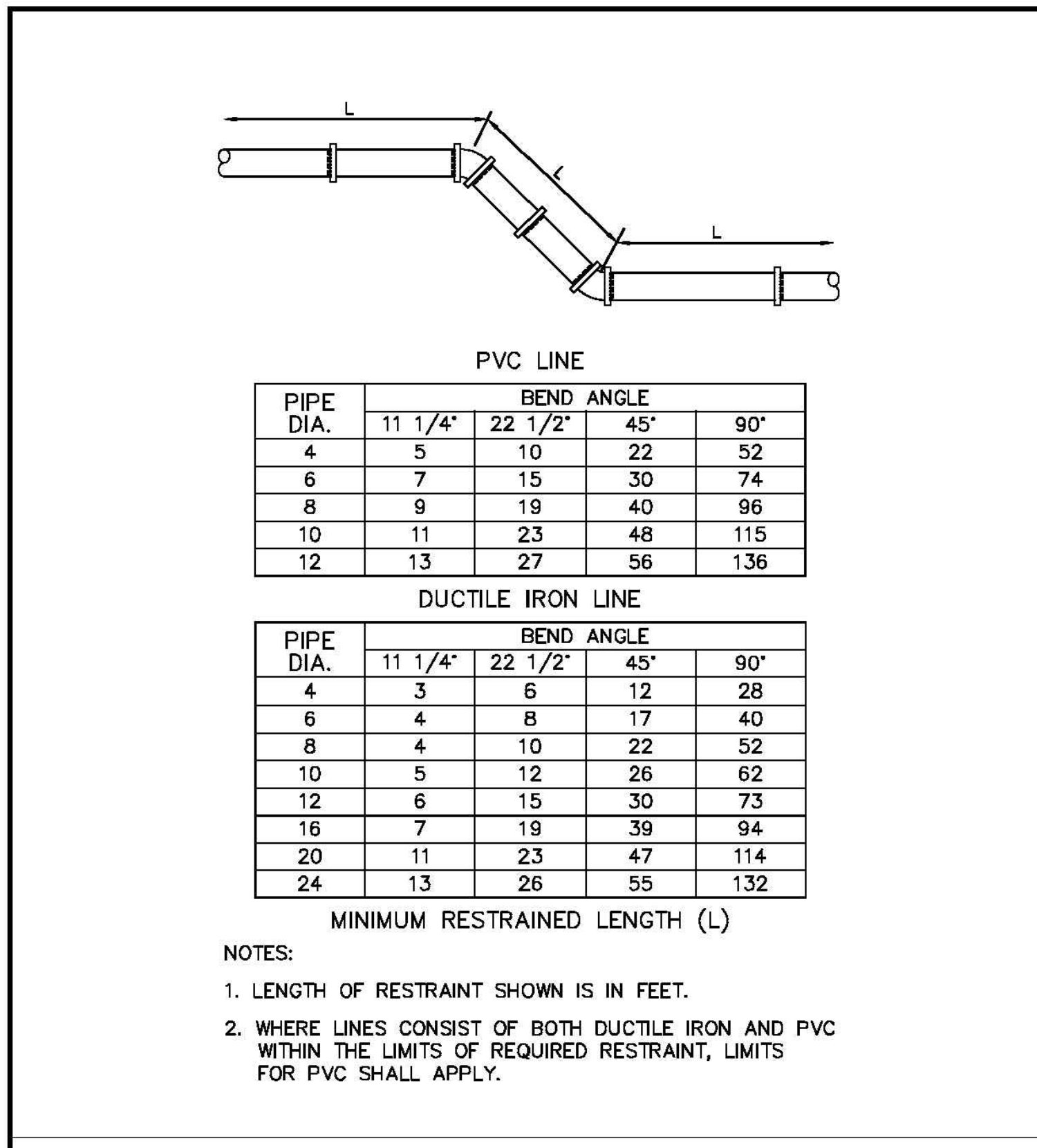
VALVE MANHOLE FOR 8" & GREATER GATE VALVE
 City of Port Wentworth
 TECHNICAL DETAILS
 W-14
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC.
 SCALE: N.T.S.
 DATED: FEBRUARY 2007



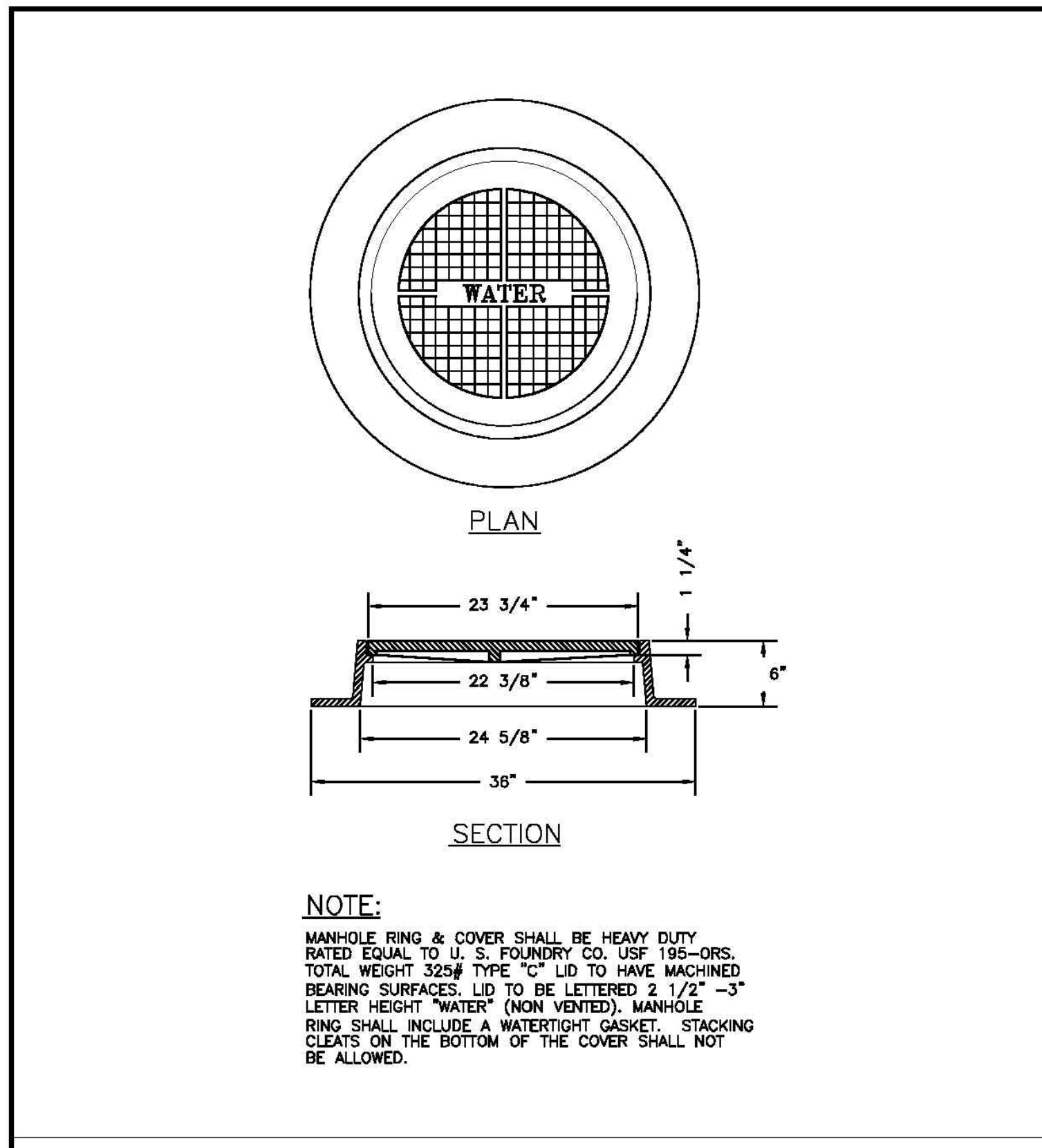
RESIDENTIAL WATER METER W/BACKFLOW PREVENTER
 City of Port Wentworth
 TECHNICAL DETAILS
 W-17
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC.
 SCALE: N.T.S.
 DATED: FEBRUARY 2007



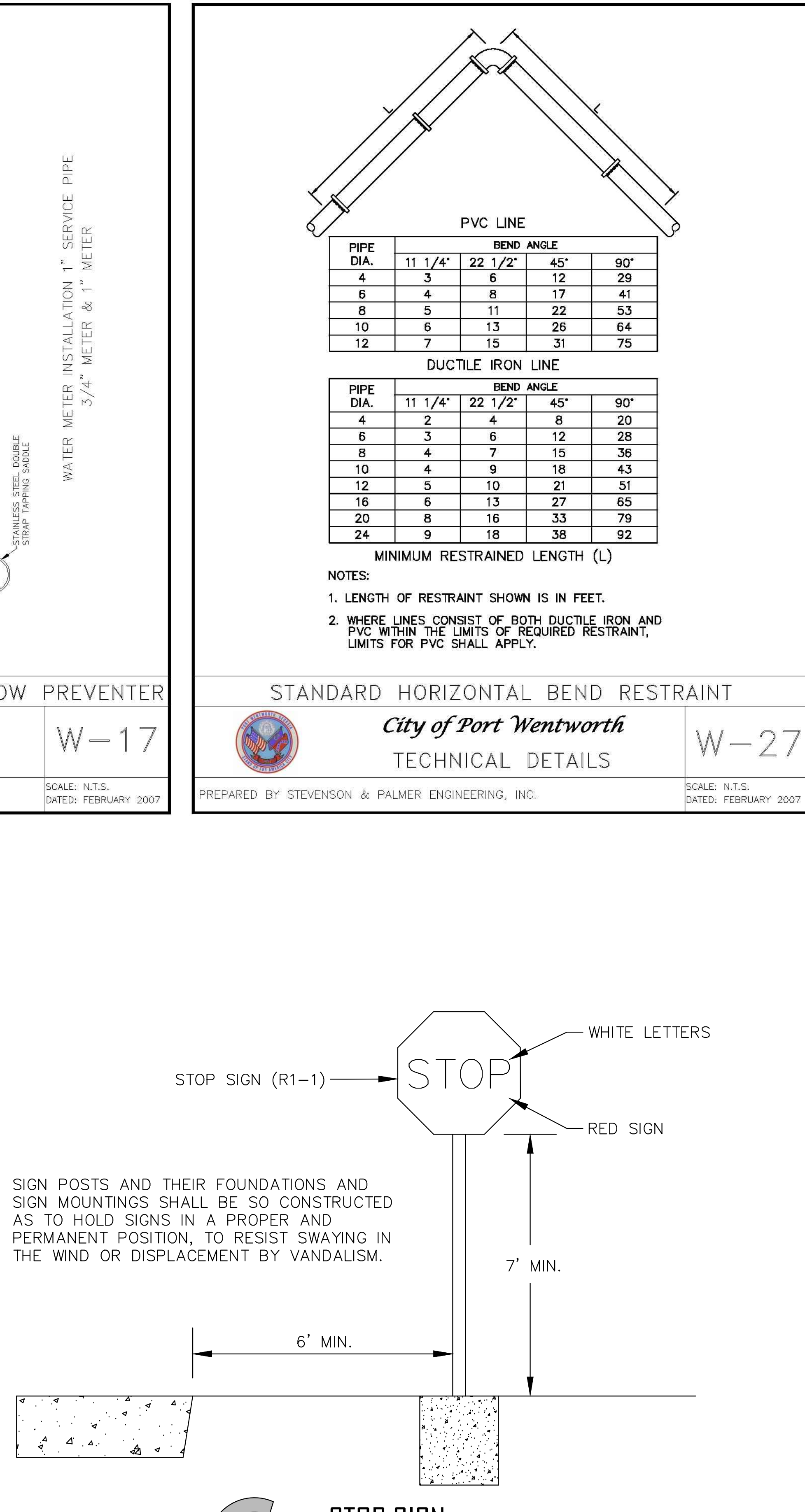
STANDARD HORIZONTAL BEND RESTRAINT
 City of Port Wentworth
 TECHNICAL DETAILS
 W-27
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC.
 SCALE: N.T.S.
 DATED: FEBRUARY 2007



STANDARD VERTICAL BEND RESTRAINT
 City of Port Wentworth
 TECHNICAL DETAILS
 W-28
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC.
 SCALE: N.T.S.
 DATED: FEBRUARY 2007



MANHOLE RING & COVER
 City of Port Wentworth
 TECHNICAL DETAILS
 W-34
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC.
 SCALE: N.T.S.
 DATED: FEBRUARY 2007



STOP SIGN
 P-26 N.T.S. Coleman Company, Inc.

COLEMAN COMPANY, INC.
 17 PARK OF COMMERCE, SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 (F) 912-200-3056

REGISTERED PROFESSIONAL ENGINEER
 No. 031215
 TRAVIS G. BURKE

REVISION

CIVIL CONSTRUCTION PLANS OF
 PARKSIDE SUBDIVISION, 28 LOTS
 LOCATED IN: PORT WENTWORTH, GA
 PREPARED FOR: BEP RICE HOPE LLC

SITE DETAILS

DATE: 11/15/2017
 SCALE: N.T.S.
 JOB #: 17-574
 DRAWN BY: TBM
 CHECKED BY: TGB

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: BY:

SHEET
 C7.3

Packet Pg. 37



January 10, 2017

Mr. Brian Harvey
Director of Development Services
City of Port Wentworth
305 South Coastal Highway
Port Wentworth, GA 31407

RE: Parkside S/D Birch Circle (2nd Submittal)

Dear Mr. Harvey:

We have reviewed the 2nd submittal for the referenced project. The following comments need to be addressed.

- 1) Provide GAEPD water & sewer approval.
- 2) Provide NRCS approval.
- 3) The plans show a 4" water reuse line. Per our meeting last week with Murray and Joe Marshall, we understand that another reuse alternative may be proposed.

Let us know if there are questions.

Sincerely,

GOODWYN MILLS CAWOOD, INC.

A handwritten signature in black ink, appearing to read 'JCV', written over a thin horizontal line.

James C. Vaughn, Jr, P.E.
Project Manager

Cc: Coleman Company (via email)

Goodwyn Mills Cawood

424 East Oglethorpe Avenue
Savannah, GA 31401

T (912) 655-6790
F (770) 955-1064

www.gmcnetwork.com



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 01/16/18 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SCHEDULED

AGENDA ITEM (ID # 1803)

DOC ID: 1803

Subdivision Application submitted by Michael Hussey, Sundial Land Surveying, PC., on behalf of Fox Haven Properties, LLC, for PIN #: 7-0978-01-025 (Roseberry Circle) located in a P-RIP (Planned Residential Institutional) Zoning District for a Final Plat of a Major Subdivision (St. Augustine Town Homes) for the purpose of Townhomes

Issue/Item: Subdivision Application submitted by Michael Hussey, Sundial Land Surveying, PC., on behalf of Fox Haven Properties, LLC, for PIN #: 7-0978-01-025 (Roseberry Circle) located in a P-RIP (Planned Residential Institutional) Zoning District for a Final Plat of a Major Subdivision (St. Augustine Town Homes) for the purpose of Town Homes

Background: This is the Final Plat submittal for St. Augustine Town Homes (formerly Lakeshore Phase IV Town Homes). St. Augustine Town Homes includes thirty (30) town home lots on approximately 4.48 Acres.

Facts and Findings: The application appears to be complete.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Tuesday, January 16, at 6:30PM.

ATTACHMENTS:

- SUBDIVISION APPLICATION St Augustine Town Homes FINAL PLAT January 2018 (PDF)
- St. Augustine Townhomes FINAL PLAT January 2018 (PDF)
- St. Augustine Townhomes Warranty DEED Roads JANUARY 2018 (PDF)

SUBDIVISION APPLICATION FORM FOR THE CITY OF PORT WENTWORTH

Date Submitted: _____

Application Form Required

This application form is to accompany **all** subdivisions submitted for Port Wentworth Planning Commission review and is to be filled out in its **entirety**. Plats/subdivisions not accompanied by this application will not be accepted for processing. All subdivisions with their completed applications must be received by the Port Wentworth Planning Commission at least 20 days prior to the Planning Commission meeting at which they are to be considered. A mylar and 20 copies of the plat/subdivision must accompany application.

Subdivision Name: ST AUGUSTINE TOWN HOMES (Formerly Lakeshore Phase 4 Town Homes)

Location: ROSEBERRY CIRCLE

Number of Lots: 30 Number of Acres: 4.48

PIN #: 7-0978-01-025 Current Zoning: P-RIP

Type of Subdivision: (Check applicable blanks from each column)

- | | |
|--|--|
| A. <input type="checkbox"/> Sketch Plan
<input type="checkbox"/> Master Plan
<input type="checkbox"/> Preliminary Plat
<input checked="" type="checkbox"/> Final Plat
<input type="checkbox"/> Revision to a Recorded Plat | B. <input checked="" type="checkbox"/> Major Subdivision
(4 or more lots or a new road)

<input type="checkbox"/> Minor Subdivision
(3 or less lots & no new road) |
|--|--|

Purpose of Subdivision:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Single-Family
<input type="checkbox"/> Multi-Family
<input type="checkbox"/> Retail
<input type="checkbox"/> Other Business | <input type="checkbox"/> Industrial
<input type="checkbox"/> Institutional
<input type="checkbox"/> Other
<input type="checkbox"/> Sign |
|--|--|

Variances: (List all variances being requested)

Attachment: SUBDIVISION APPLICATION St Augustine Town Homes FINAL PLAT January 2018 (1803 : Subdivision Application FINAL PLAT ST

Georgia DOT Review

In all applications in which property being subdivided lies along a State Highway or access is needed from a State Highway, all applicants are required to submit a plat to the Georgia Department of Transportation for review. The subdivision application will not be considered by the Port Wentworth Planning Commission until the Georgia Department of Transportation has commented on the subdivision. The comments must accompany the application.

Previous Submittal:

Has this tract of land being proposed for subdividing been submitted to the Port Wentworth Planning Commission under a different subdivision name.

Yes _____ No X _____

If yes, what name: _____

Date Submitted: _____

Number of Required Prints

All submittals, regardless of type, shall include 20 prints, one of which must be on Mylar.

Statement as to Covenants/Deed Restrictions: (Check One)

_____ A copy of all existing deed restrictions or subdivision covenants applicable to the property are attached.

X There are no added restrictions or subdivision covenants on this property.

Contact Person (s): (Type or Print)

Engineer/Surveyor: Michael Hussey/ Sundial Land Surveying, PC _____

Address: 120 Commerce Court, Pooler, GA , 31322 _____

Phone: 912-235-2477 _____ Fax: 912-748-2122 _____

Owner: Fox Haven Properties LLC _____

Address: 120 Commerce Court Pooler, GA 31322 _____

Phone: 912-748-2100 _____ Fax: 912-748-2125 _____

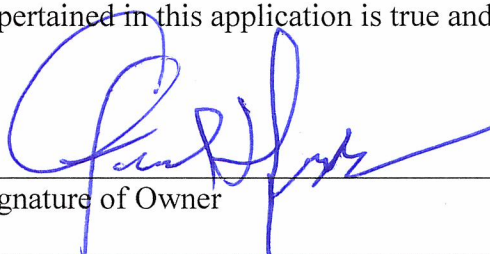
Attachment: SUBDIVISION APPLICATION St Augustine Town Homes FINAL PLAT January 2018 (1803 : Subdivision Application FINAL PLAT ST

Please list all property owners that are adjacent to the parcel to be subdivided including those across the public right-of-way:

- 2-1016-02-052 City of Savannah P.O. Box 1027, Savannah, GA 31412
- 7-0978B -16-0046 Safe Haven Land Group LLC 120 Commerce Court, Pooler, GA 31322
- 7-0978B -16-0037 Greystone Pointe LLC 120 Commerce Court, Pooler, GA 31322
- 7-0978B -16-0038 Carter Ridge LLC LLC 120 Commerce Court, Pooler, GA 31322
- 7-0978B -16-0039 Campbell Springs LLC 120 Commerce Court, Pooler, GA 31322
- 7-0978B -16-0040 Bishop Square LLC 120 Commerce Court, Pooler, GA 31322
- 7-0978B -16-0041 Monroe Heights LLC 120 Commerce Court, Pooler, GA 31322
- 7-0978B -16-0042 Newton Heights LLC 120 Commerce Court, Pooler, GA 31322
- 7-0978B -16-0043 Hawthorne Landing LLC 120 Commerce Court, Pooler, GA 31322
- 7-0978B -16-0044 Parkwood Grove LLC 120 Commerce Court, Pooler, GA 31322
- 7-0978B -16-0045 Bishop Square LLC 120 Commerce Court, Pooler, GA 31322

Certifications:

1. I hereby certify that this proposed subdivision/plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided.
2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding.
3. I hereby certify that I am the owner of the property being proposed for subdivision.
4. I hereby certify that all the information pertained in this application is true and correct.



Signature of Owner

Comments: Place any pertinent comments you wish to make in the following space:

Submit this form along with the proposed subdivision and any accompanying information to:

**CITY OF PORT WENTWORTH
305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GEORGIA 31407**

Attachment: SUBDIVISION APPLICATION St Augustine Town Homes FINAL PLAT January 2018 (1803 : Subdivision Application FINAL PLAT ST

City of Port Wentworth**INVOICE #146**

305 South Coastal Highway, Port Wentworth, Georgia 31407
 Phone 912-966-7427 Fax 912-966-3699 mellis@cityofportwentworth.com

Customer

Fox Haven Properties, LLC
 120 Commerce Court
 Pooler, GA 31322

Invoice Date 1/5/2018
 Sales Person Melanie Ellis
 Permit # 140988

Phone 912-748-2100

Fax 912-748-2125

Job	Payment Due	Payment Terms
ST AUGUSTINE TOWN HOMES FINAL PLAT APPLICATION	1/5/2018	Due on Receipt

Product	Quantity	Unit Price	Line Total
ADMINISTRATIVE FEE	1	\$50.000	\$50.00
FINAL PLAT BASE RATE (MAJOR & MINOR SUBDIVISION)	1	\$311.000	\$311.00
FINAL PLAT (MAJOR & MINOR SUBDIVISION) PER LOT	30	\$50.000	\$1,500.00
FINAL PLAT (MAJOR & MINOR SUBDIVISION) PER PAGE	1	\$10.000	\$10.00

Final Plat Application for PIN # 7-0978-01-025

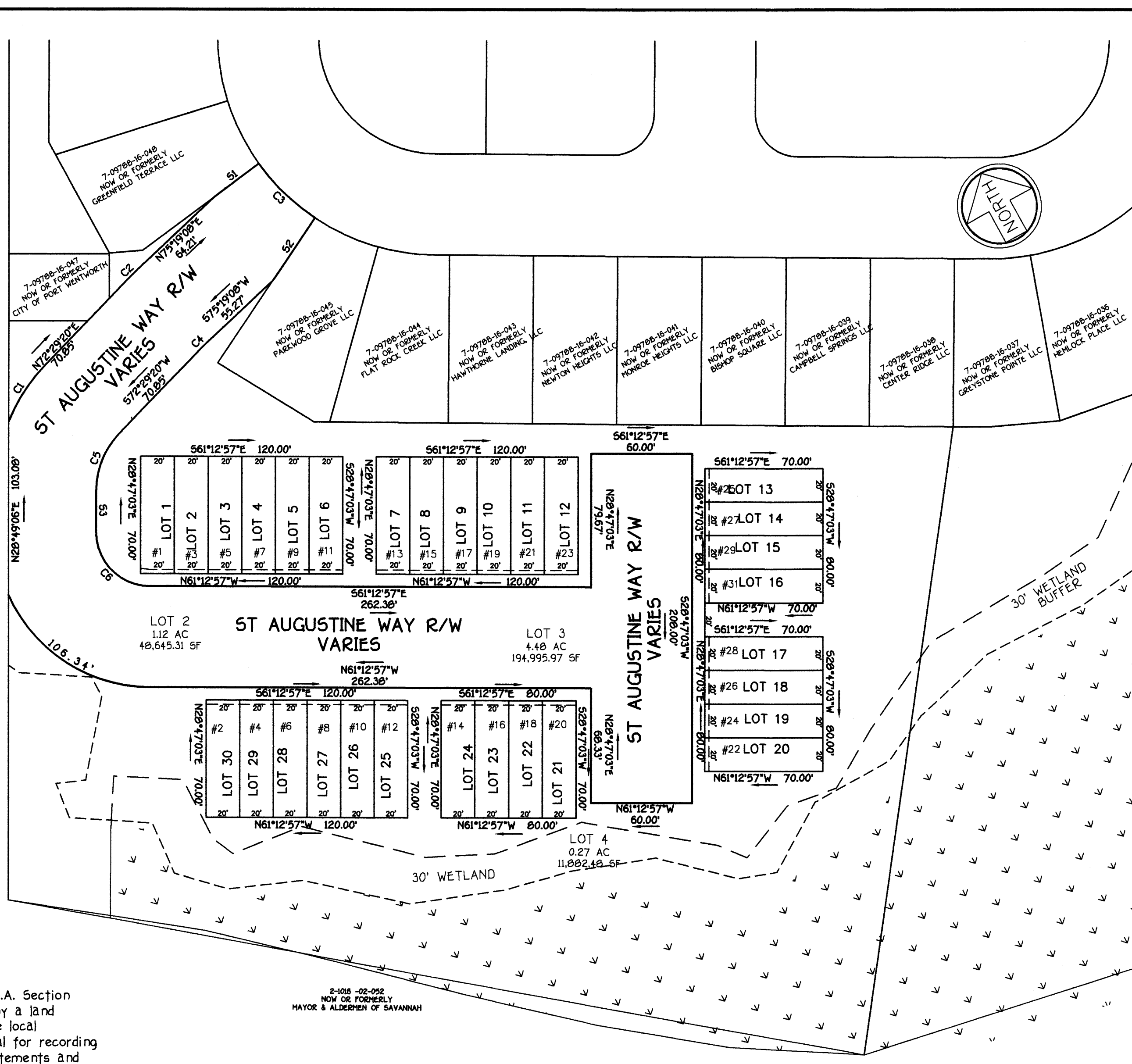
Products Total	\$1,871.00
Invoice Total	\$1,871.00

Thank you for your business

City of Port Wentworth 305 South Coastal Highway, Port Wentworth, Georgia 31407
 Phone 912-966-7427 Fax 912-966-3699 mellis@cityofportwentworth.com

LINE	BEARING	DISTANCE
S1	N81°57'31"E	32.91'
S2	S62°29'48"W	44.83'
S3	S28°47'03"W	25.52'

CURVE	RADIUS	ARC DIST	CH BEARING	CH DIST
C1	108.00'	40.90'	N61°38'25"E	40.65'
C2	130.00'	6.42'	N73°54'14"E	6.42'
C3	130.00'	46.54'	S17°14'45"E	46.29'
C4	70.00'	3.46'	S73°54'14"W	3.46'
C5	48.00'	36.61'	S50°38'11"W	35.73'
C6	32.00'	50.27'	S16°12'57"E	45.25'



APPROVED BY THE MAYOR AND COUNCIL, CITY OF PORT WENTWORTH
MAYOR

_____	DATE
_____	COUNCILMAN
_____	COUNCILMAN
_____	COUNCILMAN

CERTIFICATE OF DEDICATION:

ALL STREETS, RIGHTS-OF-WAYS, EASEMENTS AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USES

[Signature]
OWNER OR AGENT 1-11-18
DATE

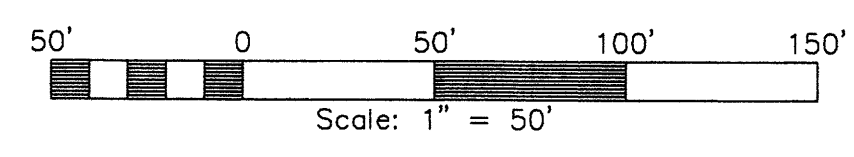
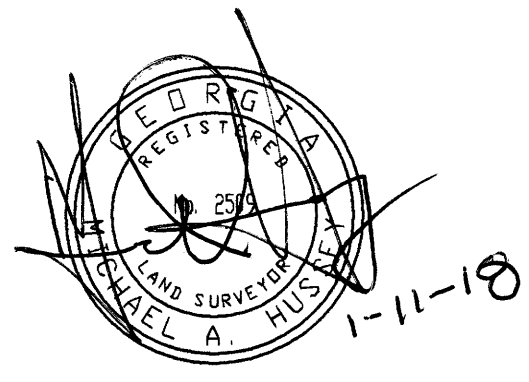
GENERAL NOTES:

- All elevations are based NAVD 1988 Datum.
- This Property is zoned P-RIP.
- In accordance with F.I.R.M. community panel no. 13051C0036G dated July 07, 2014, property does fall within a designated flood hazard area. Zone AE Elev 13.0.
- Sanitary sewer and water to be connected to existing City of Port Wentworth system.
- All lot corners are marked by 3/8" iron rod set unless otherwise noted.
- Indicates street address.
- All wetlands are under the jurisdiction of the U.S. Army Corps of Engineers. Lot owners and the developer are subject to penalty by law for disturbance to these protected areas without proper permit application and approval.
- The horizontal datum of this plat is based on state plane coordinates, Georgia East Zone, NAD 83.
- All areas outside the right-of-way and lot lines are common area property, including storm water detention ponds and landscape areas shall be owned and maintained by the St. Augustine Homeowners Association, Inc.
-

As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions that require prior approval for recording this type of plat as shown in the statements and signature blocks. Such approvals or affirmations, should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

TOTAL AREA	-----	4.48 ACRES
R/W AREA	-----	1.12 ACRES
WETLAND AREA	-----	0.98 ACRE
WETLAND BUFFER AREA	---	0.27 ACRE
LOT AREA	-----	0.96 ACRE
COMMON AREA	-----	1.15 ACRES

Error Of Closure (Plat): 1/620,000
 Error Of Closure (Field): 1/32,550
 Field Survey Date: 12-12-2017
 Angular Error: 2" Per Point
 Total Area: 4.48 Acres
 Equipment Used: Total Station
 Total No. Lots : 30



SUNDIAL LAND SURVEYING
 L5F000957
 120 COMMERCE COURT
 POOLER, GA 31322
 912-235-2477
 mhussey@sundiallandsurveying.com
 sundiallandsurveying.com

for
 CANON HOMES, INC
 120 COMMERCE COURT
 POOLER, GA 31322

ST. AUGUSTINE TOWNHOMES

A MAJOR SUBDIVISION PLAT OF A PORTION OF THE INTERNATIONAL PAPER REALTY CORPORATION'S, GODLEY #2 TRACT, 8TH G.M. DISTRICT, PORT WENTWORTH, CHATHAM COUNTY, GEORGIA

Attachment: St. Augustine Townhomes FINAL PLAT January 2018 (1803 - Subdivision Application FINAL PLAT ST AUGUSTINE TOWNHOMES January 2018)

----- SPACE ABOVE THIS LINE RESERVED FOR RECORDING DATA -----

RETURN TO: 100 Commercial Court
Pooler, Georgia 31322
TELEPHONE NO: 912/748-2100

STATE OF GEORGIA)
)
COUNTY OF CHATHAM)

WARRANTY DEED

THIS INDENTURE, made this ___ day of **June**, in the year **Two Thousand Fourteen**, between **Foxhaven Properties, LLC**, as party or parties of the first part, hereinafter called Grantor, and **The City of Port Wentworth, a Georgia Municipal Corporation**, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH:

GRANTOR, for and in consideration of the sum of **TEN AND NO/100 (\$10.00) Dollars** and other good and valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto Grantee, the following described property, to-wit:

All those certain roads, situate, lying and being in known as Saint Augustine Townhomes Subdivision, City of Port Wentworth, 8th G.M. District, Chatham County, Georgia, all as is more particularly described on that certain Subdivision Map of Saint Augustine Townhomes Subdivision, prepared for Canon Homes, Inc. by Sundial Land Surveying, PC, dated December 12, 2017, which is recorded in the Office of the Superior Court of Chatham County, Georgia in Subdivision Map Book ____, Page ____, to which map reference is hereby made for a more particular description of the property herein described.

TO HAVE AND TO HOLD the said tracts or parcels of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in **FEE SIMPLE**. Grantor expressly covenants that Grantor is seized of said property in good fee simple title and that Grantor has the full right, power and authority to convey the same; that the said property and the Grantor thereof are free and clear of any liens, claims or encumbrances whatever whereby the title to said property may in anywise be charged, changed, impaired or defeated and that the Grantor will forever **WARRANT** and **DEFEND** the said premises against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has executed this instrument by and through its duly authorized officer first above written.

Foxhaven Properties, LLC

By: _____
Its:

Signed, Sealed and Delivered
in the presence of:

Witness

Notary Public

Attachment: St. Augustine Townhomes Warranty DEED Roads JANUARY 2018 (1803 : Subdivision Application FINAL PLAT ST AUGUSTINE TOWNHOMES January 2018)