



CITY OF PORT WENTWORTH

PLANNING COMMISSION

JULY 10, 2017

Council Meeting Room

Regular Meeting

6:30 PM

**305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GA 31407**

1. CALL MEETING TO ORDER

2. PRAYER AND PLEDGE OF ALLEGIANCE

3. ROLL CALL - SECRETARY

4. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - Jun 12, 2017 6:30 PM

5. ZONING MAP AMENDMENTS (REZONING)

6. ZONING TEXT AMENDMENTS (ORDINANCES)

7. SITE PLAN/SUBDIVISION APPROVAL

A. Site Plan Review Application submitted by Evan Bennett, Hussey, Gay, & Bell, on the behalf of B-H Transfer Company for PIN #'s: 7-0019-01-003 and 7-0019-01-004 (419 Grange Road) for a Specific Development Plan to allow a new office building at an existing truck transfer station development in a P-I-2 (Planned Industrial) Zoning District

- Public Hearing
- Action

8. ADJOURNMENT



CITY OF PORT WENTWORTH

PLANNING COMMISSION

JUNE 12, 2017

Council Meeting Room

Regular Meeting

6:30 PM

305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

Chairman Linda Smith called the meeting to order.

2. PRAYER AND PLEDGE OF ALLEGIANCE

Chairman Linda Smith led in Prayer and the Pledge of Allegiance.

3. ROLL CALL - SECRETARY

Attendee Name	Title	Status	Arrived
Linda Smith	Chairperson	Present	
Sylvia Hinely	Planning Commissioner	Present	
Julie Perry	Planning Commissioner	Absent	
Joseph Dobry	Planning Commissioner	Present	
Stafford Geoghagan	Planning Commissioner	Present	
Jerry Bogus	Planning Commissioner	Absent	
Larry Longo	Planning Commissioner	Present	
Brian Harvey	Director of Development Services	Present	

4. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - May 8, 2017 6:30 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Joseph Dobry, Planning Commissioner
SECONDER:	Larry Longo, Planning Commissioner
AYES:	Hinely, Dobry, Geoghagan, Longo
ABSENT:	Perry, Bogus

5. ZONING MAP AMENDMENTS (REZONING)

6. ZONING TEXT AMENDMENTS (ORDINANCES)

7. SITE PLAN/SUBDIVISION APPROVAL

A. Alcoholic Beverage License Application submitted by Pragnaben Brahmhatt for a Beer / Wine License for Port Mart, LLC (101 North Coastal Highway) located in a P-C-2 (Planned Community Business) Zoning District.

Mr. Harvey informed the Commission that the application was complete, and that the applicant had passed the criminal history check. The applicant was not present; however, a family member was present representing the applicant. Sylvia Hinely reminded the applicant's representative that an alcoholic beverage license is a privilege, not a right. After a brief discussion, Joe Dobry made the motion to approve. Stafford Geoghagan seconded the motion to approve.

Minutes Acceptance: Minutes of Jun 12, 2017 6:30 PM (ADOPTION OF MINUTES)

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Joseph Dobry, Planning Commissioner
SECONDER: Stafford Geoghagan, Planning Commissioner
AYES: Hinely, Dobry, Geoghagan, Longo
ABSENT: Perry, Bogus

- B. Subdivision Application submitted by Thomas & Hutton Engineering Co. on behalf of Publix Super Markets, Inc for PIN #: 7-0906-04-025 (Mulberry Boulevard and GA Highway 21) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (The Market at Rice Hope) for the purpose of Retail Development

This item was removed by request of the applicant on the date of the hearing. Sylvia Hinely made the motion to amend the agenda and remove item 7B. Larry Longo seconded the motion to amend the agenda and remove item 7B.

RESULT: **MEETING CANCELLED** **Next: 7/10/2017 6:30 PM**

8. ADJOURNMENT

There being no further business to discuss, Commissioner Geoghagan made a motion to adjourn the meeting. Commissioner Dobry seconded the motion to adjourn. The vote was unanimous.

Linda Smith, Chairman

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2017.

Stafford Geoghagan, Secretary

Minutes Acceptance: Minutes of Jun 12, 2017 6:30 PM (ADOPTION OF MINUTES)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 07/10/17 06:30 PM
Department: Public Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SCHEDULED

AGENDA ITEM (ID # 1697)

DOC ID: 1697

Site Plan Review Application submitted by Evan Bennett, Hussey, Gay, & Bell, on the behalf of B-H Transfer Company for PIN #'s: 7-0019-01-003 and 7-0019-01-004 (419 Grange Road) for a Specific Development Plan to allow a new office building at an existing truck transfer station development in a P-I-2 (Planned Industrial) Zoning District

Issue/Item: Site Plan Review Application submitted by Evan Bennett, Hussey, Gay, & Bell, on behalf of B-H Transfer Company for PIN #'s: 7-0019-01-003 and 7-0019-01-004 (419 Grange Road) for a Specific Development Plan to allow a new office building at an existing truck transfer station development in a P-I-2 (Planned Industrial) Zoning District

Background: The applicant intends to construct a new office building at 419 Grange Rd on an existing truck transfer station development.

Facts and Findings: The applicant has submitted a Specific Development Site Plan including engineering reports. The City engineers, Goodwyn, Mills, & Cawood, are reviewing the application and submitted documents.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, July 10, 2017 at 6:30 P.M.

ATTACHMENTS:

- 419 Grange Rd-site plan application July 2017 (PDF)
- 03 Specific Development Plan (PDF)
- 04 Floor Plan & Building Elevations (PDF)

140916

7.A.a

Received

JUN 12 2017

City of Port Wentworth
Site Plan Review Application

City of Port Wentworth

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Name of Site Plan: B-H Transfer Office Building

Site Plan Address: 419 Grange Road

PIN #: 7-0019- 01-003, 7-0019- 01-004 Zoning: P-I-2 Planned Industrial

Type of Construction: Commercial - New office building on existing truck transfer station development.

Estimated Cost of Construction: \$ 650,000

Applicant's Name: Evan Bennett - Hussey Gay Bell

Address: 329 Commercial Drive
Savannah, GA 31406

Phone #: (912) 354-4626 Fax #: (912) 354-6754

Owner's Name (If Different from Applicant): Charles Tarbutton - B-H Transfer Company

Address: 419 Grange Road
Port Wentworth, GA 31407

Phone #: (478) 552-5119 Fax #: _____

I hereby acknowledge that the above information is true and correct.

Evan A. Bell
Applicant's Signature

6/12/2017
Date

Charles Tarbutton
Owner's Signature (If Different from Applicant)

6/12/2017
Date

- Please submit the following with completed application:**
1. Name, address & PIN # for all adjacent property owners.
 2. Fifteen (15) copies in 11"x17" or larger of your site plan & one 8.5"x11".

Attachment: 419 Grange Rd-site plan application July 2017 (1697 : Specific Site Plan for B-H Transfer (419 Grange Rd) JULY 2017)

B-H TRANSFER NEW OFFICE BUILDINGList of Adjacent Property Owners

1. Joe C. Sikes
427 Grange Road
7-0019 -01-005
2. Joseph C., Lee H., & Joseph G. Sikes
425 Grange Road
7-0019 -01-005A
3. J Stafford Enterprises, LP
415 Grange Road
7-0019 -01-002
4. J Stafford Enterprises, LP
413 Grange Road
7-0019 -01-001
5. Daddy's Girl Real Estate, LLC
409 Grange Road
7-0020 -01-010
6. BJH Rentals, LP
422 Grange Road
7-0018 -03-009C
7. Maxim Crane Works, LP
420 Grange Road
7-0018 -03-009D

HUSSEY, GAY, BELL, & DEYOUNG, INC
CONSULTING ENGINEERS
329 COMMERCIAL DR.
SAVANNAH, GA 31406

2125

EZShield™ Check Fraud
Protection for Business
67-98/532

DATE 06-12-17

PAY
TO THE
ORDER OF

City of Port Wentworth

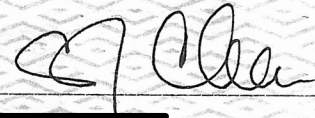
\$886.00

HUSSEY GAY & BELL & DEYOUNG 886 DOLLARS 00 CENTS

DOLLARS Security Features
Detailed on B

South State Bank
SAVANNAH, GA

FOR B-H Transfer for New Office Bldg



Received

JUN 12 2017

City of Port Wentworth

Attachment: 419 Grange Rd-site plan application July 2017 (1697 : Specific Site Plan for B-H Transfer (419 Grange Rd) JULY 2017)

City of Port Wentworth**INVOICE #109**

305 South Coastal Highway, Port Wentworth, Georgia 31407
 Phone 912-966-7427 Fax 912-964-3699 mellis@cityofportwentworth.com

Customer

Hussey Gay Bell
 329 Commercial Drive
 Savannah, Georgia 31406

Invoice Date 6/20/2017
 Sales Person Melanie Ellis
 PERMIT # 140916

Phone 912-354-4626

Fax

Job	Payment Due	Payment Terms
B-H Transfer Office Building Specific Site Plan		Due on Receipt

Product	Quantity	Unit Price	Line Total
ADMINISTRATIVE FEE	1	\$50.00	\$50.00
Site Plan/Revision to PUD (with Land Disturbance)	1	\$836.00	\$836.00

Specific Site Plan for B-H Transfer at 419 Grange Rd

Fee Total:	\$886.00
Invoice Total	\$886.00

Thank you for your business

City of Port Wentworth 305 South Coastal Highway, Port Wentworth, Georgia 31407
 Phone 912-966-7427 Fax 912-964-3699 mellis@cityofportwentworth.com

Attachment: 419 Grange Rd-site plan application July 2017 (1697 : Specific Site Plan for B-H Transfer (419 Grange Rd) JULY 2017)

Melanie Ellis

From: do_not_reply@cityofportwentworth.com
Sent: Tuesday, June 20, 2017 11:24 AM
To: Melanie Ellis
Subject: Receipt of Payment

CITY OF PORT WENTWORTH

(912) 964-4379

REC#: 00159419 6/20/2017 11:23 AM
OPER: YI TERM: 004
REF#: 2125

TRAN: 112.0000 BLDG PERMIT
140916 886.00CR
B-H TRANSFER COMPANY
419 GRANGE ROAD
DEV-SPR 886.00CR

TENDERED: 886.00 CHECK
APPLIED: 886.00-
CHANGE: 0.00

WWW.CITYOFPORTWENTWORTH.COM

Attachment: 419 Grange Rd-site plan application July 2017 (1697 : Specific Site Plan for B-H Transfer (419 Grange Rd) JULY 2017)

HUSSEY GAY BELL
Established 1958

June 12, 2017

Mr. Brian Harvey
 City of Port Wentworth
 305 S Coastal Hwy
 Port Wentworth, Georgia 31407

RE: B-H TRANSFER NEW OFFICE BUILDING

Dear Mr. Harvey:

The following are enclosed for Planning Commission approval of the referenced project:

1. One Site Plan Review Fee for \$886.00 (Check No. 2125)
2. One Signed Plan Review Application
3. Fifteen Full-Size Copies of the Specific Development Plan
4. Fifteen Full-Size Copies of the Floor Plan and Building Elevations
5. One Reduced-Size 8.5"x11" Copy of the Specific Development Plan
6. One Reduced-Size 8.5"x11" Copy of the Floor Plan and Building Elevations
7. One List of Adjacent Property Owners
8. One Electronic Copy of All Documents on CD

It should be noted that the proposed re-development does not (i) include the creation, addition, or replacement of 5,000 square feet or more of impervious cover; or (ii) involve land development activities of one acre or more. As such, Chapter 7, Article III – Stormwater Management of the City of Port Wentworth Code of Ordinances is not applicable to this project (*Sec. 7-79(c)(2)*).

Should you have questions, comments, or require additional information for your review, please contact me at Hussey Gay Bell. Thank you.

Sincerely,

HUSSEY GAY BELL



EVAN A. BENNETT, P.E.

cc: Mr. Charles Tarbutton

CLEARING, PAVING, GRADING, STORM DRAINAGE WATER DISTRIBUTION & SANITARY SEWER

B-H TRANSFER OFFICE BUILDING GRANGE ROAD PORT WENTWORTH, GEORGIA

FOR

B-H TRANSFER COMPANY
419 GRANGE ROAD
PORT WENTWORTH, GEORGIA 31407
PHONE No. (478) 552-5119

JUNE 12, 2017



VICINITY MAP
SCALE: 1"=1600'

329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626
SAVANNAH • ATLANTA • CHARLESTON • COLUMBIA
www.husseygaybell.com

SHEET NO.	DESCRIPTION
01	COVER SHEET, VICINITY MAP AND SCHEDULE OF DRAWINGS
02	CONSTRUCTION NOTES AND LEGEND
03	DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN - INITIAL PHASE
04	EROSION AND SEDIMENT CONTROL PLAN - FINAL PHASE
05	SITE PLAN
06	CONSTRUCTION DETAILS
07	CONSTRUCTION DETAILS

SCHEDULE OF DRAWINGS

Attachment: 03 Specific Development Plan (1697 - Specific Site Plan for B-H Transfer (419 Grange Rd) JULY 2017)

CONSTRUCTION NOTES & LEGEND:

GENERAL NOTES:

- ALL ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION UNTIL THE PROPER PERMITS HAVE BEEN ISSUED AND THE REQUIRED PRE-CONSTRUCTION MEETING HAS OCCURRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE STATE SOIL AND WATER CONSERVATION COMMITTEE'S "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA." ALL SEDIMENT CONTROL FEATURES SHALL BE MAINTAINED ON A REGULAR BASIS AND SHALL BE REMOVED BY THE CONTRACTOR UPON ACCEPTANCE OF THE SITE BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY CLEAR AND GRUB ALL AREAS NECESSARY FOR COMPLETION OF THE WORK UNLESS INDICATED OTHERWISE.
- DURING CLEARING OPERATIONS, STUMP HOLES SHALL BE BACKFILLED LEVEL WITH THE ADJACENT GROUND ELEVATIONS IMMEDIATELY UPON REMOVAL OF THE STUMP. THE CLEARING CONTRACTOR SHALL AVOID LEAVING HOLES AND LARGE DEPRESSIONS WHICH WILL COLLECT AND HOLD WATER.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GEOTECHNICAL REPORT BY OTHERS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE SITE AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH FINDINGS.
- AT PROJECT COMPLETION, THE CONTRACTOR SHALL FURNISH AS-BUILT INFORMATION TO THE ENGINEER MEETING THE MINIMUM REQUIREMENTS OF THE CITY OF PORT WENTWORTH. IF THE CONTRACTOR IS NOT FAMILIAR WITH THESE REQUIREMENTS, THE ENGINEER WILL FURNISH REQUIREMENTS UPON REQUEST.
- WHERE INDICATED, TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY CLEARING ACTIVITY AND MAINTAINED UNTIL INSTRUCTED BY OWNER OR ENGINEER TO REMOVE THEM. AREAS WITHIN THE BOUNDARY OF THE TREE PROTECTION BARRICADES SHALL REMAIN UNDISTURBED. THIS AREA CANNOT BE USED FOR STORED MATERIALS, VEHICULAR PARKING, SOIL STOCKPILES, ETC.

STAKING PLAN NOTES:

- ALL ANGRADII LES ARE 90° UNLESS OTHERWISE INDICATED.
- ALL IN THE PARKING AREAS ARE 5', UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB AND EDGE OF PAVEMENT WHERE NO CURB IS PROVIDED UNLESS OTHERWISE SHOWN.
- LAYOUT INFORMATION FOR MANHOLES, INLETS, ETC., IS NOT SHOWN ON THIS PLAN. COORDINATES FOR SUCH STRUCTURES CAN BE PROVIDED TO THE SELECTED CONTRACTOR.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING CONCRETE MONUMENTS AND/OR IRON PIPES USED FOR PROPERTY LINES. ANY AND ALL MONUMENTS OR IRON PIPES DISTURBED OR REMOVED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND MAINTAINING VERTICAL AND HORIZONTAL CONTROL.
- ANY DISCREPANCIES IN THE VERTICAL OR HORIZONTAL CONTROL SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
- THE CONTRACTOR SHALL UTILIZE EXISTING BENCHMARKS SHOWN ON THE PLANS TO ESTABLISH VERTICAL CONTROL ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THESE BENCHMARKS DURING THE CONSTRUCTION PROJECT AND FOR BEARING ANY EXPENSE RESULTING FROM UNAUTHORIZED REMOVAL OR REPLACEMENT OF BENCHMARKS. WHEN A PERMANENT BENCHMARK IS LOCATED SUCH THAT IT MUST BE REMOVED TO COMPLETE THE PROJECT, THE CONTRACTOR SHALL ESTABLISH SUCH TEMPORARY BENCHMARKS AS HE MAY REQUIRE PRIOR TO REMOVING THE PERMANENT BENCHMARK. THE CONTRACTOR SHALL PROVIDE THE LOCATION, IDENTIFICATION AND ELEVATION OF ANY TEMPORARY BENCHMARK ESTABLISHED TO THE OWNER AND ENGINEER.
- BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF THE BUILDING, REFER TO ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

PAVING, GRADING & DRAINAGE PLAN NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- CONTOURS SHOWN ARE BASED ON FINISHED GRADES AND INCLUDE SIDEWALK AND PAVEMENT SURFACINGS. FINAL EARTHWORK CONTOURS IN AREAS TO BE COVERED BY OTHER SURFACES WILL BE DIFFERENT FROM THOSE SHOWN ON THIS PLAN.
- CONTOURS SHOWN ON THESE PLANS ARE FOR GENERAL GUIDANCE AND INFORMATIONAL PURPOSES. THE CONTRACTOR SHALL GRADE THE SITE IN ACCORDANCE WITH ELEVATIONS SHOWN. IN CASES OF CONFLICT BETWEEN SPOT ELEVATIONS AND CONTOURS THE SPOT ELEVATIONS WILL GOVERN. LOAD BEARING AND STRUCTURAL FILLS SHALL BE APPROVED SUITABLE MATERIALS AS DEFINED IN THE GEOTECHNICAL REPORT. WASTE MATERIALS MAY BE USED FOR FLUSHING OF SHOULDER OR CONSTRUCTION OF PEDESTRIAN OR LANDSCAPED AREAS IF THEY CAN BE STABILIZED AND WILL SUPPORT PLANT GROWTH AND MEET THE REQUIRED DEGREE OF COMPACTION. SEE GEOTECHNICAL REPORT FOR COMPACTION REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING THE SITE TO FINISHED GRADE +/- ONE INCH. FINISHED GRADE WITHIN THE BUILDING AREA SHALL BE AT AN ELEVATION TO ALLOW FOR THE CONCRETE SLAB.
- SEE SPECIFICATIONS FOR REQUIREMENTS FOR CONTROL, CONSTRUCTION AND EXPANSION JOINTS IN SLABS, SIDEWALKS AND CURB AND GUTTER.
- CATCH CURB AND GUTTER WILL BE USED WHERE THE DRAWINGS INDICATE THAT THE GUTTER IS TO CARRY WATER. PITCHED CURB AND GUTTER WILL BE USED WHERE THE DRAWINGS INDICATE THE WATER WILL DRAIN AWAY FROM THE GUTTER. TRANSITIONS BETWEEN THE TWO CONDITIONS SHALL BE MADE AS SMOOTHLY AS POSSIBLE, USUALLY THROUGH A RADIUS.
- INVERT ELEVATIONS SHOWN ON THE PLANS ARE TO THE INVERT OF THE LOWEST PIPE, OR AS OTHERWISE INDICATED.
- CHLORINATED DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORM WATER SYSTEM.
- IF A PAVEMENT SPECIFICATION IS PROVIDED IN THE GEOTECHNICAL REPORT, AND EXCEEDS THE REQUIREMENTS ON THESE PLANS, THE CONTRACTOR SHALL INSTALL AS REQUIRED IN THE GEOTECHNICAL REPORT AND NOTIFY THE ENGINEER OF THE CHANGE.

SIGNAGE AND STRIPING PLAN NOTES:

- ALL TRAFFIC CONTROL MEASURES SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES." THE MANUAL IDENTIFICATION AND DIMENSIONS ARE SHOWN FOR EACH REQUIRED SIGN. THE ORIENTATION OF EACH SIGN FROM AN APPROACHING DRIVERS POINT OF VIEW IS ALSO SHOWN. SIGN AND SUPPORT POST MATERIAL AND INSTALLATION SHALL CONFORM TO THE PERTINENT SECTIONS OF THE CURRENT EDITION OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- ALL STRIPING AND PAVEMENT MARKINGS SHALL BE TRAFFIC RATED PAINT CONFORMING TO THE PERTINENT SECTIONS OF THE GEORGIA DEPARTMENT OF TRANSPORTATION FOR MATERIALS AND APPLICATIONS.

WATER AND SEWER PLAN NOTES:

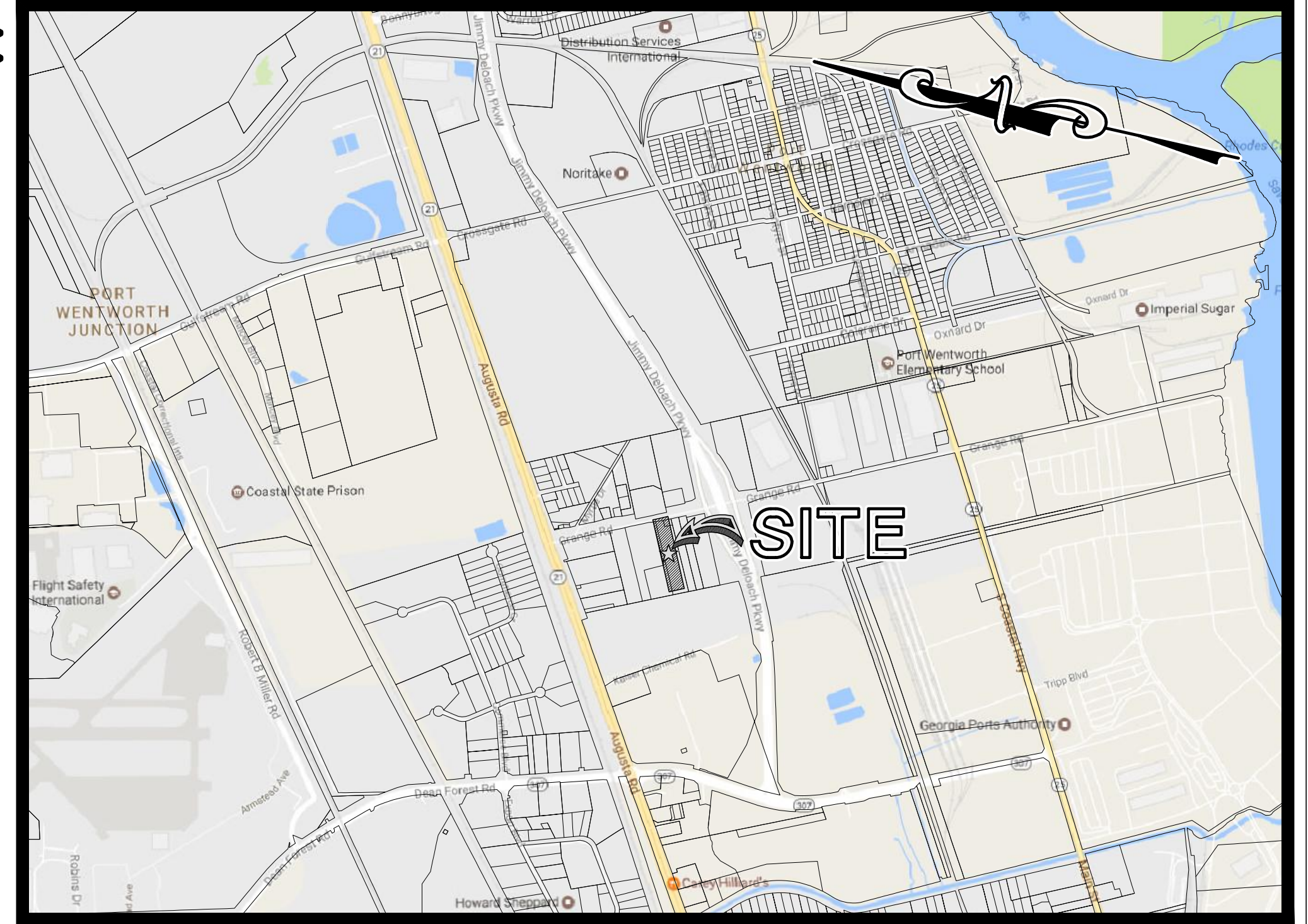
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE CURRENT CITY OF PORT WENTWORTH SPECIFICATIONS AND REQUIREMENTS.
- SANITARY SEWER PIPE SHALL BE P.V.C. ASTM D 3034, SDR 26 OR DUCTILE IRON PIPE CLASS 50 WHERE SHOWN.
- MANHOLE TOP ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOPS AS INDICATED ON MANHOLE DETAIL.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES AND A MAXIMUM COVER OF 60 INCHES. A MINIMUM 18 INCHES VERTICAL SEPARATION DISTANCE AND MINIMUM 10 FEET HORIZONTAL SEPARATION DISTANCE SHALL BE PROVIDED BETWEEN ALL WATER MAINS/LATERALS AND ALL STORM LINES AND SANITARY SEWER MAINS/LATERALS. WHENEVER POSSIBLE THE WATER MAIN SHALL BE INSTALLED ABOVE STORM AND SANITARY SEWER LINES TO AVOID CONFLICTS.
- WHEN PIPE LAYING IS NOT IN PROGRESS, A MECHANICAL JOINT PLUG OR CAP WILL BE USED TO FORM A WATER TIGHT SEAL AT BOTH ENDS OF THE LINE BEING INSTALLED.
- THE FOLLOWING PROCEDURE SHALL BE FOLLOWED DURING FLUSHING OF THE LINES PRIOR TO CONNECTION TO THE CITY WATER SYSTEM: FLUSH THE NEW PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE DONE AFTER THE PRESSURE TEST AND BEFORE DISINFECTING. SPECIFY MINIMUM FLUSH TIME AND VELOCITY (2.5 FEET PER SECOND) WHICH ARE NECESSARY TO PURGE THE LINE OF ANY FOREIGN MATERIAL.
- ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACK FLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CITY OF PORT WENTWORTH.
- WATER DISTRIBUTION PIPE SHALL HAVE A #14 GAUGE, SINGLE STRAND COPPER TRACING WIRE INSTALLED ALONG ITS LENGTH AND ATTACHED TO CORPORATION STOPS AND CURB STOPS.
- ALL FIRE AND POST-TYPE HYDRANTS SHALL HAVE A #14 GAUGE, SINGLE STRAND COPPER TRACING WIRE INSTALLED ALONG THE BARREL, WRAPPED AROUND THE BOTTOM FLANGE AND ATTACHED TO THE WIRE ON THE WATER MAIN.
- ALL WATER VALVE MANHOLES SHALL HAVE A #14 GAUGE, SINGLE STRAND COPPER TRACING WIRE ATTACHED TO THE MANHOLE FRAME/RING AND ATTACHED TO THE WIRE ON THE WATER MAIN.
- WATER AND SANITARY SEWER SERVICE LINES TERMINATE FIVE FEET FROM THE BUILDING LINES UNDER SITE WORK CONTRACT. REFER TO PLUMBING PLANS FOR EXACT LOCATIONS OF WATER AND SEWER CONNECTIONS. THE CONTRACTOR SHALL COORDINATE HIS UTILITY INSTALLATIONS WITH BUILDING PLUMBING AND MECHANICAL AND FIRE PROTECTION CONTRACTORS.
- BACKFLOW PREVENTERS AND WATER METERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- DISPOSAL OF HIGHLY CHLORINATED WATER SHALL COMPLY WITH THE REQUIREMENTS OF GEORGIA E.P.D. AND AWWA STANDARD C651, LATEST REVISION. IF REQUIRED BY THE CITY, A REDUCING AGENT SHALL BE USED TO NEUTRALIZE THE CHLORINE. HIGHLY CHLORINATED WATER SHALL BE DISCHARGED INTO THE SANITARY SEWER SYSTEM.
- PIPE FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES.
- ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM INSIDE THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE ENDS OF THE PIPE SHALL BE CLOSED BY APPROVED MEANS AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
- CLEAN THE INTERIORS OF ALL PIPE BY BRUSHING, SWABBING OR WASHING OUT OF ALL DIRT BEFORE LAYING.
- SANITARY SEWER LATERALS THAT TIE INTO MANHOLES SHALL BE INSTALLED WITH THE CROWN OF THE LATERAL EQUAL TO, OR HIGHER THAN, THE CROWN OF SEWER MAIN.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- ALL MATERIALS USED AND COME INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE/ NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61).

SPECIAL NOTES:

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- THE INTERIOR ROADWAYS AND DRAINAGE SYSTEM FOR THIS PROJECT WILL BE PRIVATE AND MAINTAINED BY THE PROPERTY OWNER, NOT THE CITY OF POOLER. THE CITY OF POOLER RETAINS THE RIGHT TO OPERATE AND MAINTAIN ITS SANITARY SEWER AND WATER DISTRIBUTION SYSTEMS WITHIN ESTABLISHED UTILITY EASEMENTS OF THE SITE.
- WETLANDS ARE DESIGNATED EAST OF THE SITE ON THE PLAN WITH A BUFFER AND A CONSERVATION EASEMENT ESTABLISHED BY THE U.S. ARMY C.O.E. NO STATE WATERS ARE ON THE PROJECT SITE AS DEFINED BY GEORGIA DEPARTMENT OF NATURAL RESOURCES. STATE WATERS ARE LOCATED WITHIN 200' OF THE SITE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ALL ORDINANCES, STANDARDS, SPECIFICATIONS, AND DETAILS FOR THE CITY OF POOLER WILL PREVAIL IN THE EVENT OF CONFLICT WITH ANY SPECIFICATIONS SHOWN BY THE ENGINEER.

HANDICAP ACCESS NOTES:

- ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 SLOPE IN ALL DIRECTIONS.
- ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 SLOPE FOR THE WIDTH OF THE SIDEWALK.
- IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.



VICINITY MAP
SCALE 1"=800'

LEGEND:

EXISTING	PROPOSED
ASPHALT PAVEMENT (STANDARD)	
ASPHALT PAVEMENT (HEAVY DUTY)	
CONCRETE PAVEMENT (STANDARD)	
CONCRETE SIDEWALK	
STORM DRAINAGE PIPE	
STORM DRAINAGE INLET	
STORM DRAINAGE MANHOLE	
SANITARY SEWER PIPE	
SANITARY SEWER MANHOLE	
FORCE MAIN	
WATER MAIN	
WATER VALVE	
FIRE HYDRANT	
OVERHEAD ELECT. CABLE	
CONTOURS	
FINISHED GRADE (EARTH)	+ FG22.3
FINISHED GRADE (TOP PAVEMENT)	+ TP21.70
FINISHED GRADE (TOP WALK)	+ TV16.44
BUILDINGS	
SWALE	
FENCE LINE	
CURB AND GUTTER	
EXISTING GRAVEL	
PROPOSED GRAVEL	

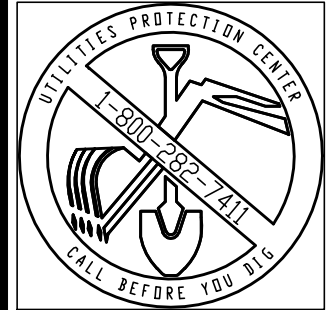
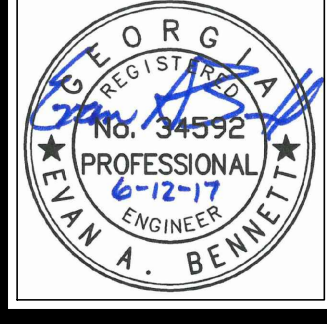
SITE DATA

ZONE.....P-I-2 PLANNED INDUSTRIAL
 TOTAL PROJECT ACREAGE.....4.6 ACRES
 DISTURBED AREA.....0.88 ACRES
 PARCEL I.D.....7-0019-01-004, 7-0019-01-003

FLOOD ZONE NOTE:

ACCORDING TO F.I.R.M. MAP NO. 13051C0045F, EFFECTIVE DATE: SEPTEMBER 26, 2008, THE PROPOSED INSTALLATION FALLS WITHIN ZONE X WHICH IS DETERMINED TO BE OUTSIDE OF FLOODING AREAS.

E:\B-H Transfer\117273539...New Office Building\Cadd Files\Construction\SH102_NOTES.dwg Jun 12, 2017 - 12:20pm Printed By: hrollins



HUSSEY GAY BELL
Established 1958
 329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:

NO.	DATE	DESCRIPTION

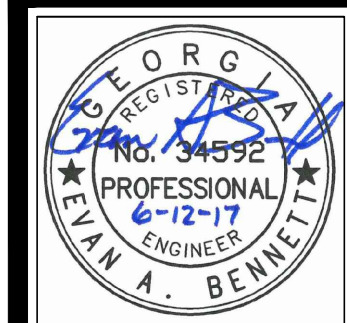
DESIGNED H.F.R.	DRAWN H.F.R.	CHECKED E.A.B.
DATE: 06/12/2017		
JOB NO. 117273539		
SCALE: NONE		

B-H TRANSFER OFFICE BUILDING
 ORANGE ROAD
 PORT WENTWORTH, GEORGIA
 FOR
B-H TRANSFER COMPANY
CONSTRUCTION NOTES AND LEGEND

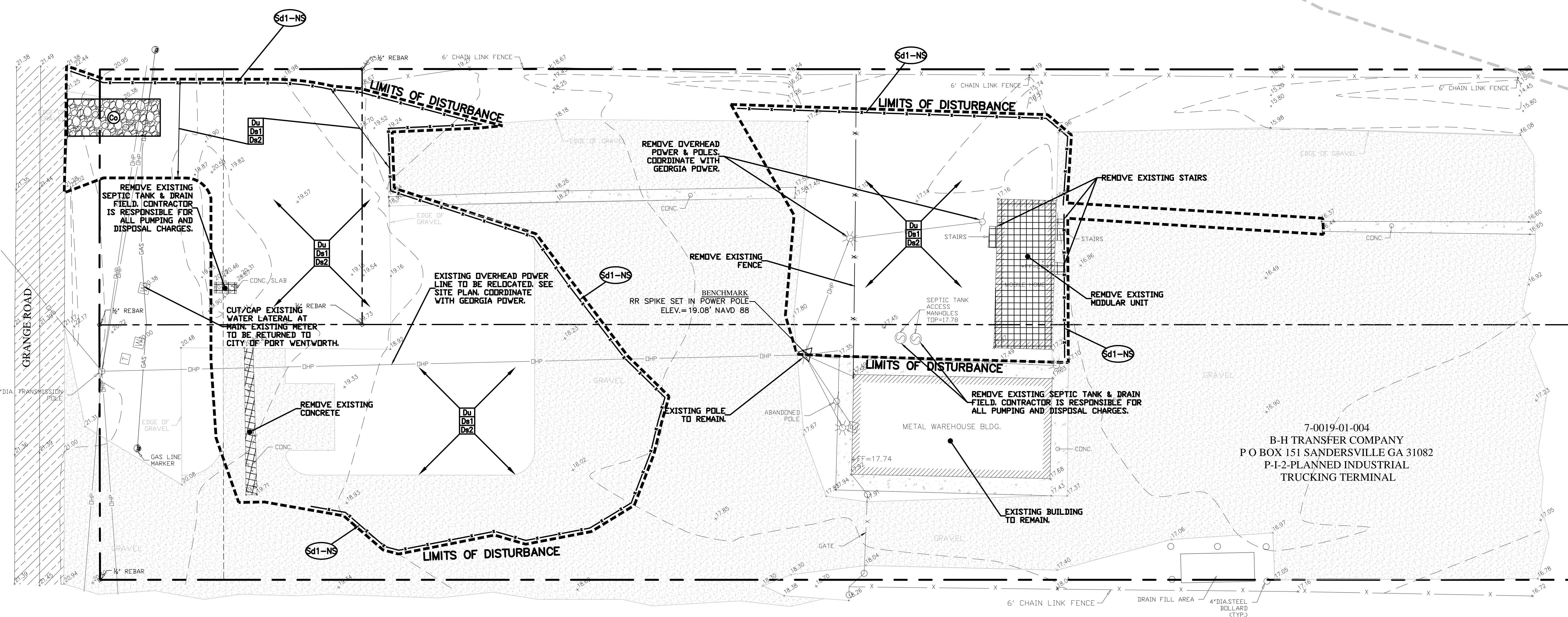
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GSWCC Level II
Design Professional
Cert. #0000044938

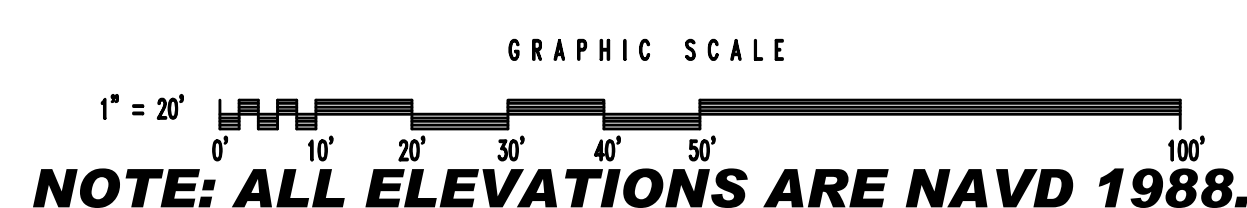


7-0019 -01-002
STAFFORD ENTERPRISES LP
705 RAILWOOD DR TYBEE ISLAND
P-I-2-PLANNED INDUSTRIAL
TRUCKING TERMINAL



7-0019 -01-005A
SIKES JOSEPH C LEE H & JOSEPH
456 BOURNE AVE SAVANNAH, GA 31408-9702
P-I-2-PLANNED INDUSTRIAL
GARAGE

7-0019-01-004
B-H TRANSFER COMPANY
P O BOX 151 SANDERSVILLE GA 31082
P-I-2-PLANNED INDUSTRIAL
TRUCKING TERMINAL



HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:

NO.	DESCRIPTION

DESIGNED	DRAWN	CHECKED
H.F.R.	H.F.R.	E.A.B.

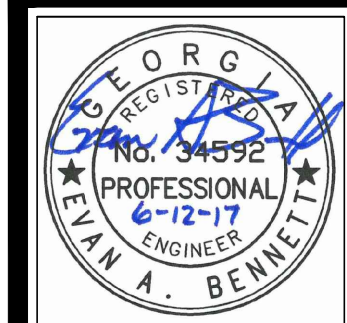
DATE: 06/12/2017
JOB NO. 117273539
SCALE: 1" = 20"

B-H TRANSFER OFFICE BUILDING
GRANGE ROAD
PORT WENTWORTH, GEORGIA
FOR
B-H TRANSFER COMPANY
DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN - INITIAL PHASE

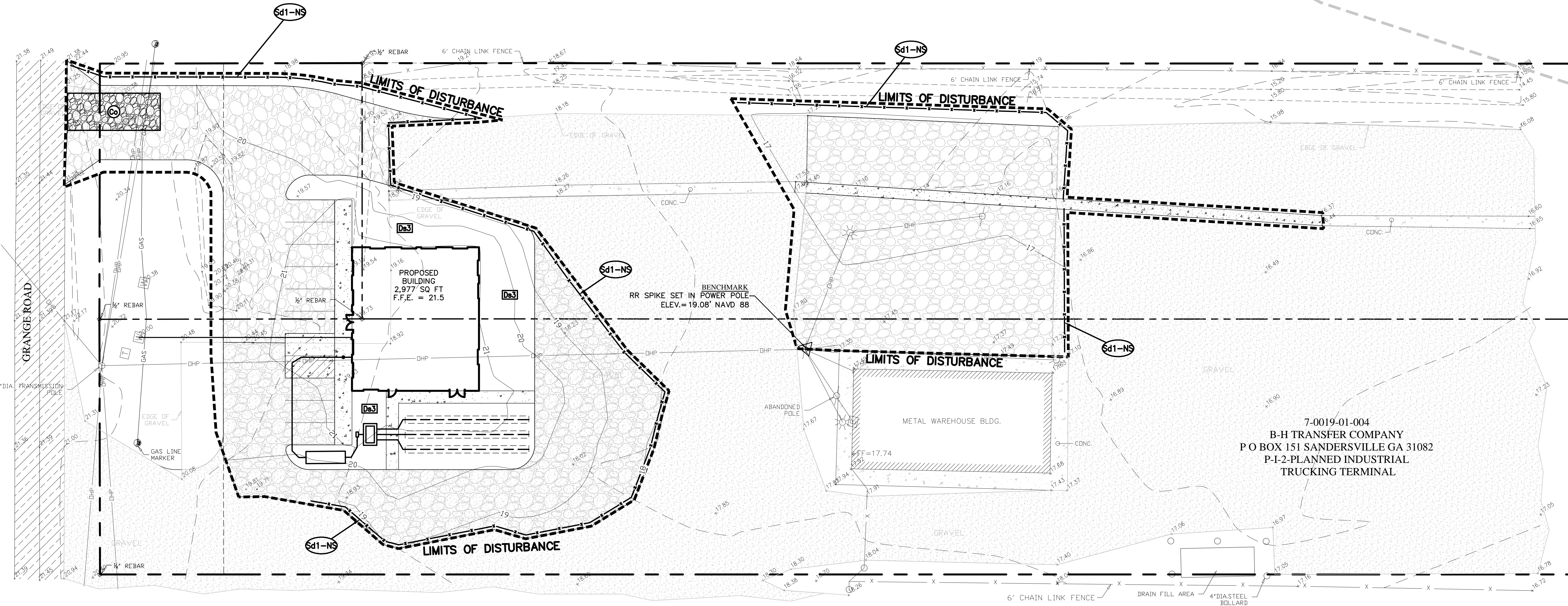
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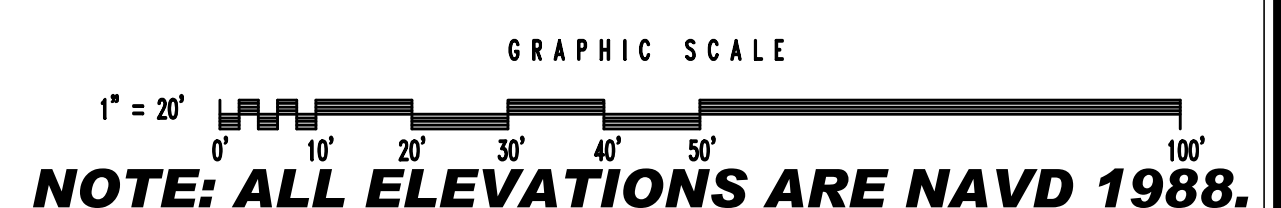


7-0019 -01-002
STAFFORD ENTERPRISES LP
705 RAILWOOD DR TYBEE ISLAND
P-I-2-PLANNED INDUSTRIAL
TRUCKING TERMINAL



7-0019 -01-005A
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P-I-2-PLANNED INDUSTRIAL
GARAGE

7-0019-01-004
B-H TRANSFER COMPANY
P O BOX 151 SANDERSVILLE GA 31082
P-I-2-PLANNED INDUSTRIAL
TRUCKING TERMINAL



HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

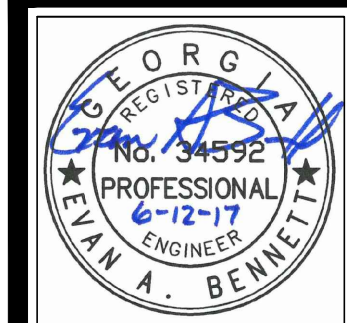
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H.F.R.	H.F.R.	E.A.B.
DATE: 06/12/2017		
JOB NO. 117273539		
SCALE: 1" = 20"		

B-H TRANSFER OFFICE BUILDING
GRANGE ROAD
PORT WENTWORTH, GEORGIA
FOR
B-H TRANSFER COMPANY
EROSION AND SEDIMENT CONTROL PLAN - FINAL PHASE

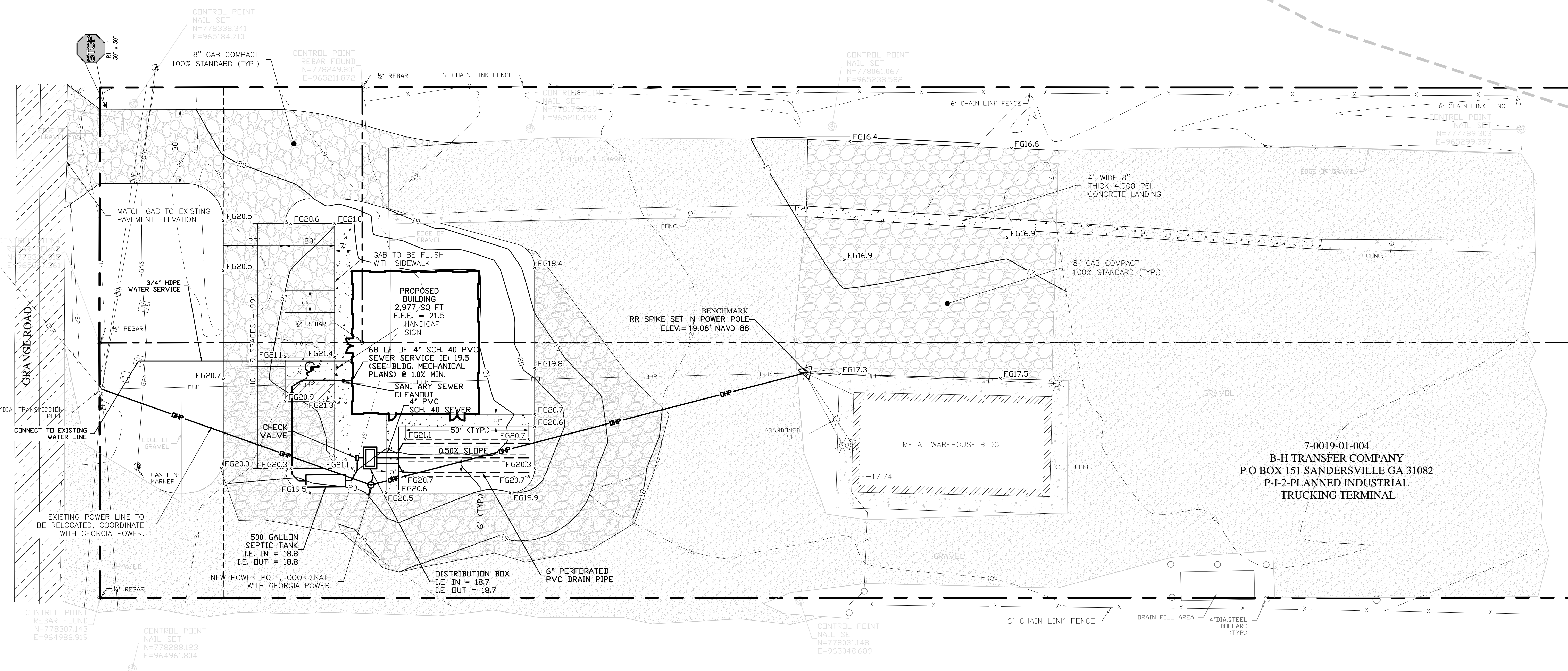
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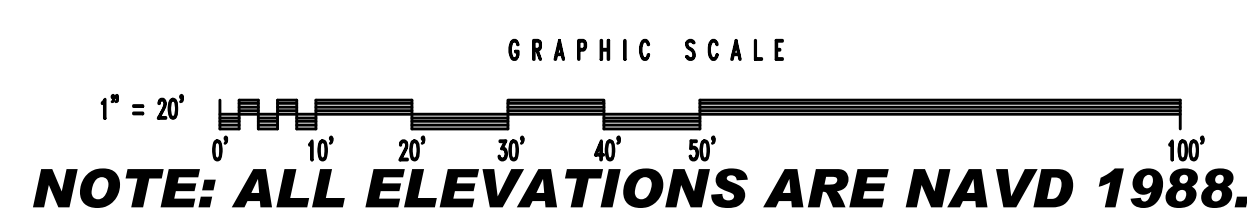


7-0019 -01-002
STAFFORD ENTERPRISES LP
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P-I-2-PLANNED INDUSTRIAL
TRUCKING TERMINAL



7-0019 -01-005A
SIKES JOSEPH C LEE H & JOSEPH
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P-I-2-PLANNED INDUSTRIAL
GARAGE

7-0019-01-004
B-H TRANSFER COMPANY
P O BOX 151 SANDERSVILLE GA 31082
P-I-2-PLANNED INDUSTRIAL
TRUCKING TERMINAL

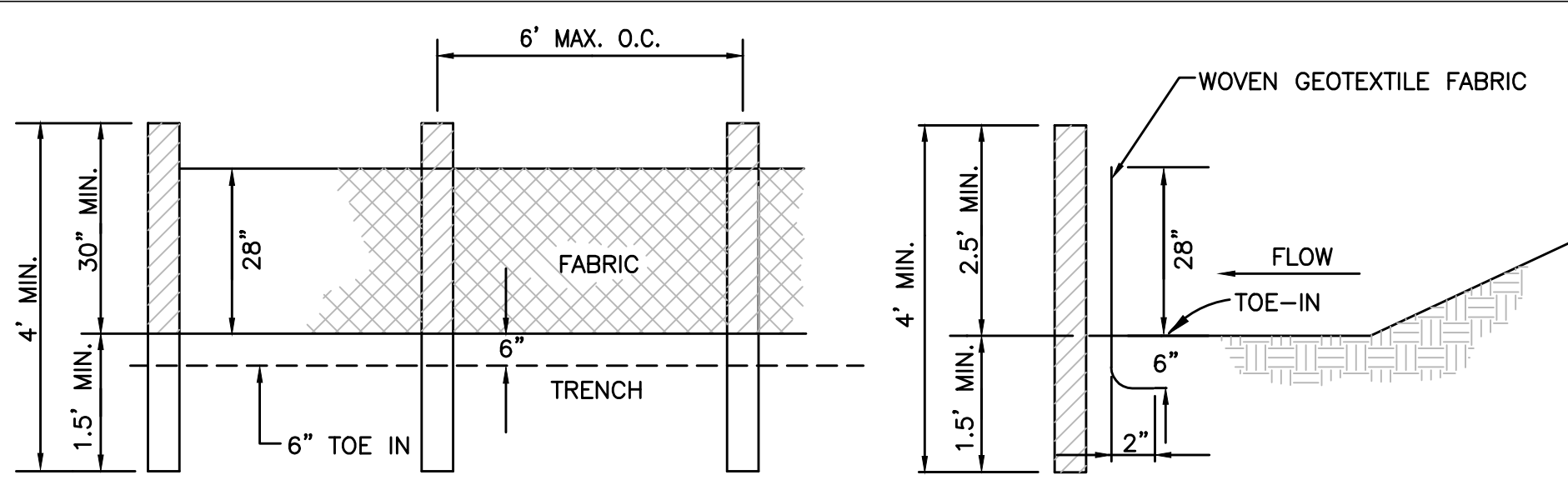


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DESIGNED	DRAWN	CHECKED
H.F.R.	H.F.R.	E.A.B.
DATE: 06/12/2017		
JOB NO. 117273539		
SCALE: 1"=20'		

B-H TRANSFER OFFICE BUILDING
GRANGE ROAD
PORT WENTWORTH, GEORGIA
FOR
B-H TRANSFER COMPANY
SITE PLAN

DRAWING NUMBER
05
OF 07



FRONT VIEW **SIDE VIEW**

TYPE A FABRIC (36")
 USE:
 1) ON DEVELOPMENTS WHERE THE LIFE OF THE PROJECT IS GREATER THAN OR EQUAL TO 6 MONTHS.
 2) WHERE THE SLOPE GRADIENT IS STEEPER THAN 3:1.

POST SIZE			FASTENERS FOR WOOD POST (WIRE STAPLES)			
MIN. LENGTH	TYPE OF POST	SIZE OF POST	GAUGE	CROWN	LEGS	STAPLES/POST
4'	SOFT WOOD	3" DIA. OR 2x4	17 MIN.	3/4" WIDE	1/2" LONG	5 MIN.
4'	OAK	1.5x1.5"	FASTENERS FOR WOOD POST (NAILS)			
4'	STEEL	1.3 LB./FT. MIN.	GAUGE	LENGTH	BUTTON HEADS	NAIL/POST
			14 MIN.	1"	3/4"	4 MIN.

FENCE						
TENSILE STRENGTH (LBS. MIN.) (1)	ELONGATION (%MAX.)	ADS (APPARENT OPENING SIZE) (MAX. SIEVE SIZE) (ASTM D-4751)	FLOW RATE (GAL./MIN./SQ. FT.) (GDT-87)	ULTRAVIOLET STABILITY (2) (ASTM D-4632 AFTER 300 HOURS WEATHERING IN ACCORDANCE WITH ASTM D-4355)	BURSTING STRENGTH (PSI MIN.) (ASTM D-3786 DIAPHRAGM BURSTING STRENGTH TESTER)	FABRIC WIDTH (INCHES)
WARP-120	40	#30	25	80	175	36
FILL-100						

(1) MIN. ROLL AVERAGE OF FIVE SPECIMENS.
 (2) PERCENT OF REQUIRED INITIAL MIN. TENSILE STRENGTH.

**SEDIMENT BARRIER
SILT FENCE - TYPE A**

Sd1-NS

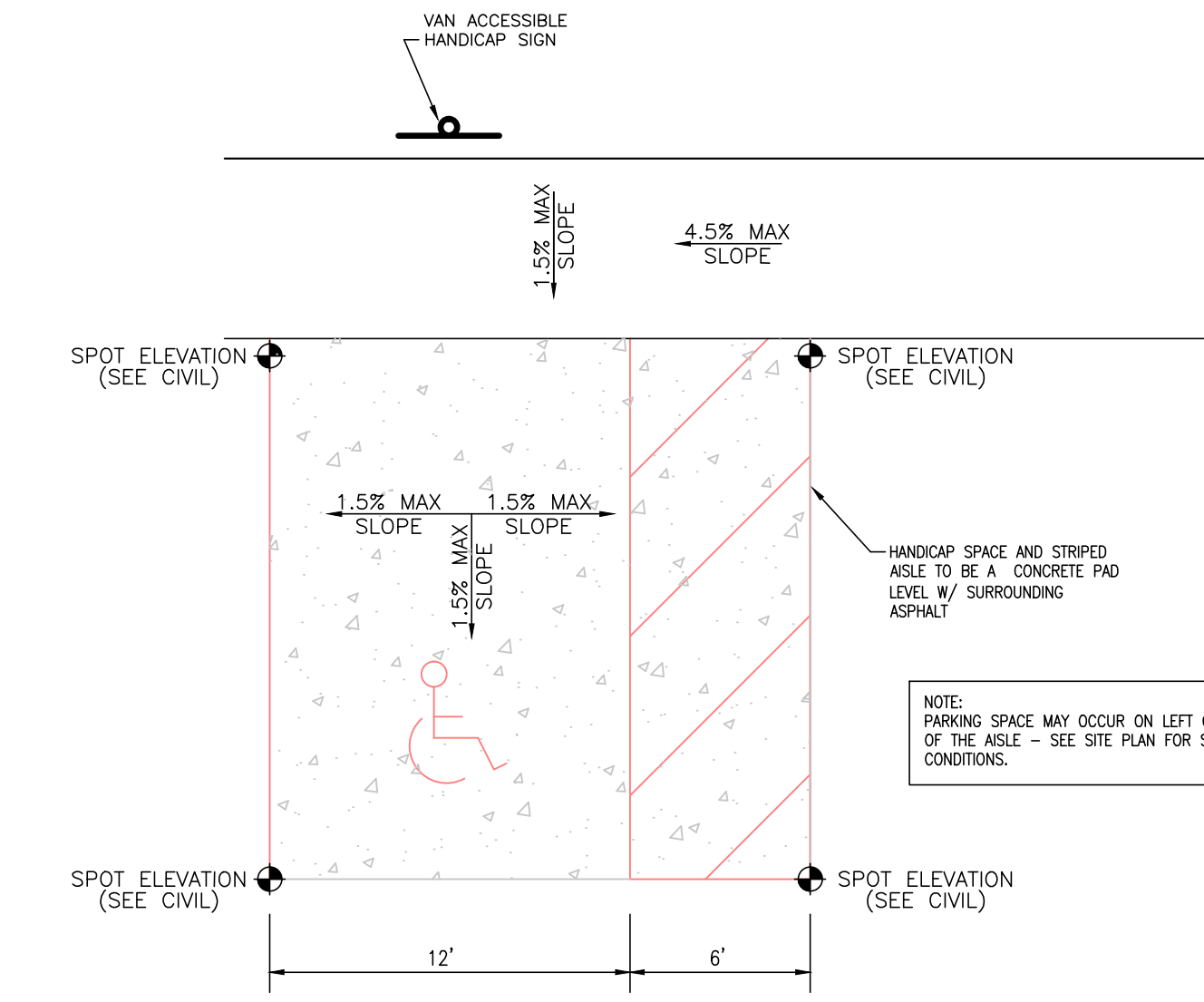
SPRAY ON ADHESIVE REQUIREMENTS

ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION (GAL./AC)
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12:5:1	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1	FINE SPRAY	300

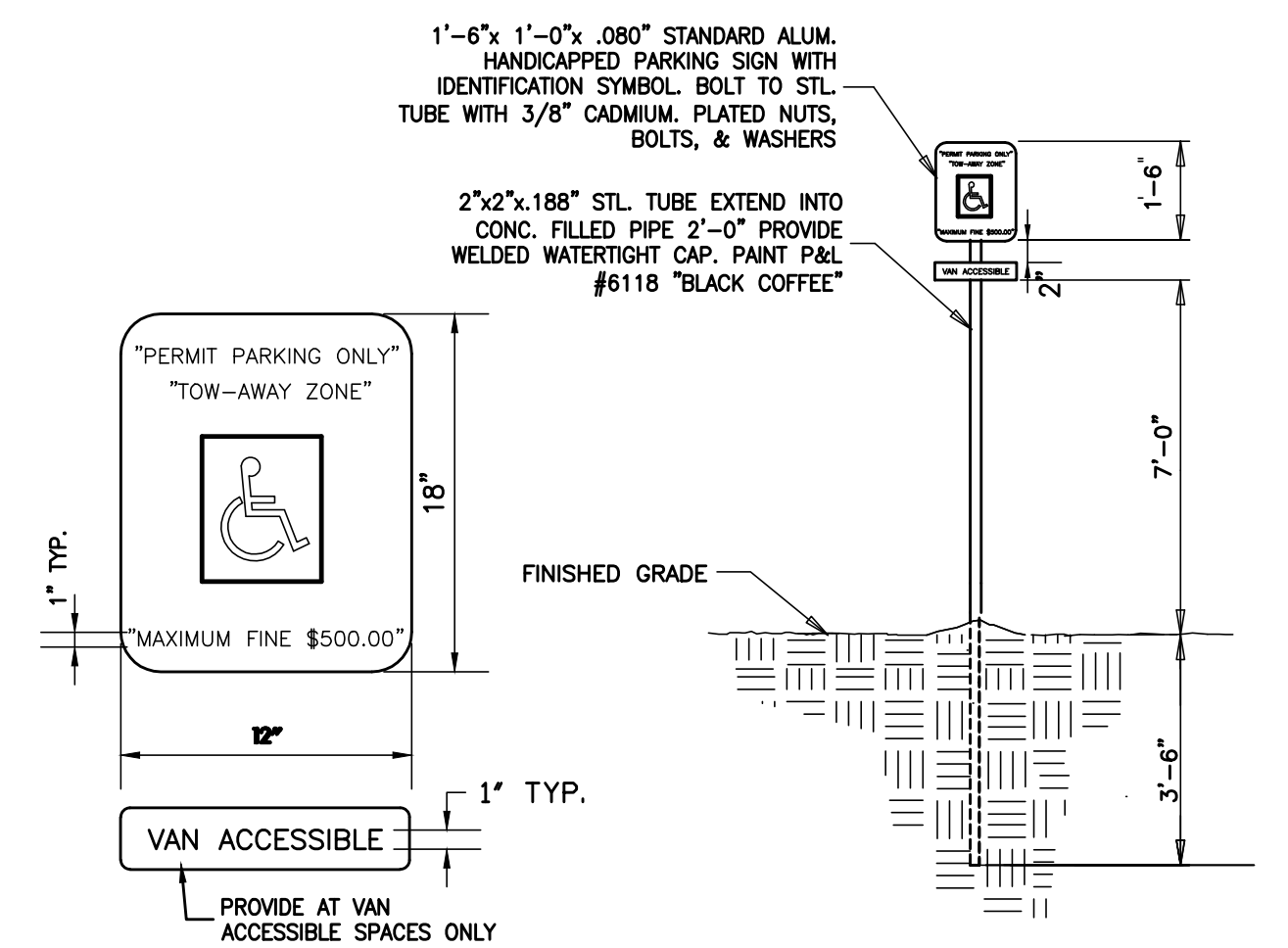
- NOTES:**
- TEMPORARY METHODS
 - MULCHES (Dsl) - DISTURBED AREA STABILIZATION (WITH MULCHING ONLY). SYNTHETIC RESINS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL. REFER TO STANDARD TB-TACKIFIERS AND BINDERS. RESINS SUCH AS CURASOL OR TERRACKAT SHOULD BE USED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - VEGETATIVE COVER - DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING.
 - SPRAY ON ADHESIVES - THESE ARE USED ON MINERAL SOILS (NON EFFECTIVE ON DN MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. REFER TO TACKIFIERS AND BINDERS.
 - TILLAGE - THIS PRACTICE IS DESIGNED TO ROUGHEN AND BRING CLODS TO THE SURFACE. IT IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE WIND EROSION STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING TOOTHED HARRROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 - IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.
 - BARRIERS - SOLID BOARD FENCES, SNOWFENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.
 - CALCIUM CHLORIDE - APPLY AT A RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.
 - PERMANENT METHODS
 - PERMANENT VEGETATION - DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION). EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
 - TOPSOILING - THIS ENTAILS COVERING THE SURFACE WITH LESS ERODIBLE SOIL MATERIAL.
 - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

**DUST CONTROL ON
DISTURBED AREAS**

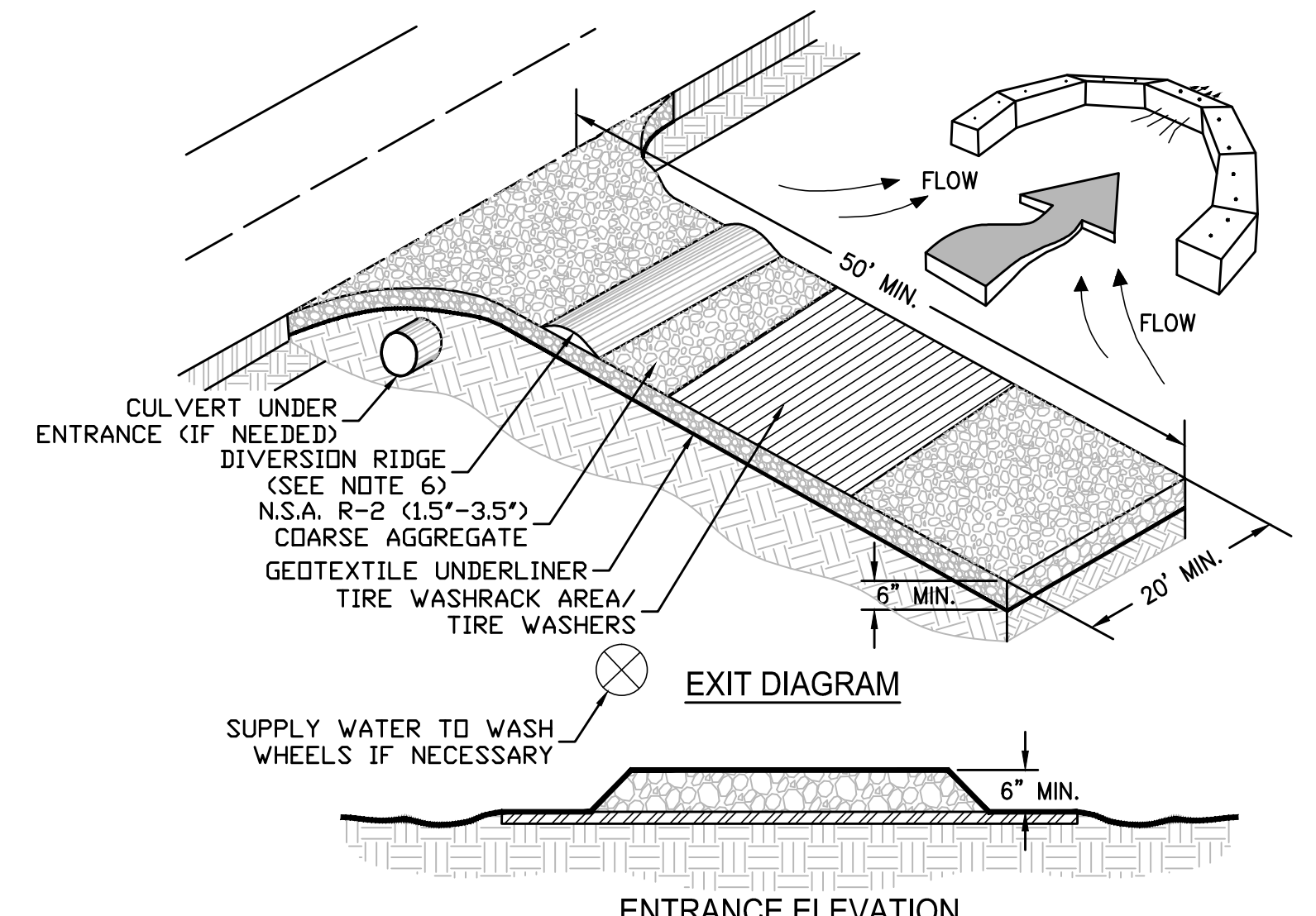
Du



**VAN ACCESSIBLE HANDICAP
PARKING SPACE DETAIL**



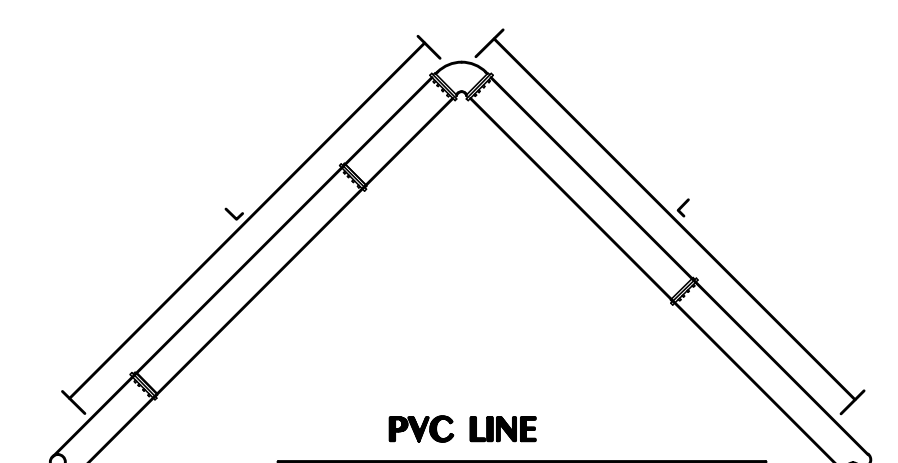
TYPICAL HANDICAPPED PARKING SIGN



- NOTES:**
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 - AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 - PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 - A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 - INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 - WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 - MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CRUSHED STONE CONSTRUCTION EXIT

N.T.S.



PIPE DIA.	BEND ANGLE		
	11 1/2"	22 1/2"	45"
4	3	6	12
6	4	8	17
8	5	11	22
10	6	13	26
12	7	15	31

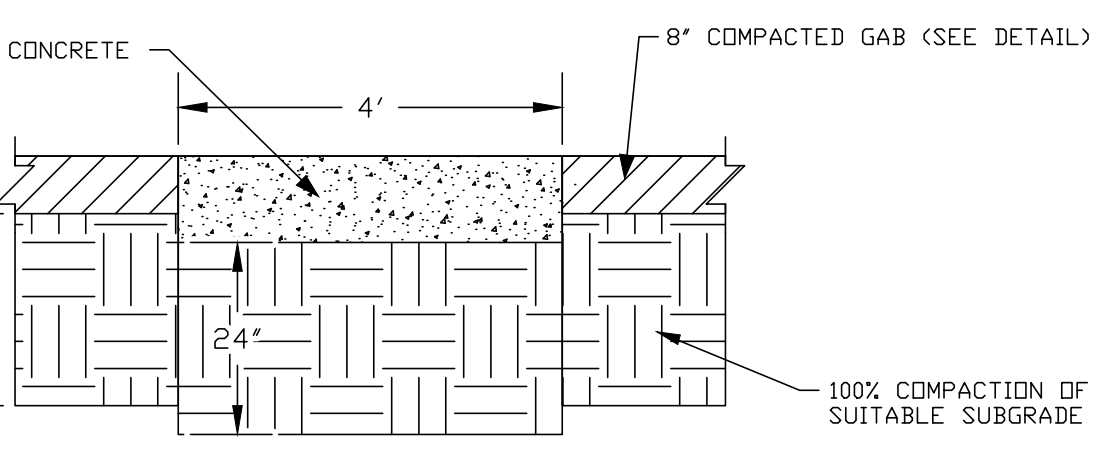
PIPE DIA.	BEND ANGLE		
	11 1/2"	22 1/2"	45"
4	2	4	8
6	3	6	12
8	4	7	15
10	4	9	18
12	5	10	21
16	6	13	27
20	8	16	33
24	9	18	38

MINIMUM RESTRAINED LENGTH (L)

- NOTES:**
- LENGTH OF RESTRAINT SHOWN IS IN FEET.
 - WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

HORIZONTAL BEND RESTRAINT

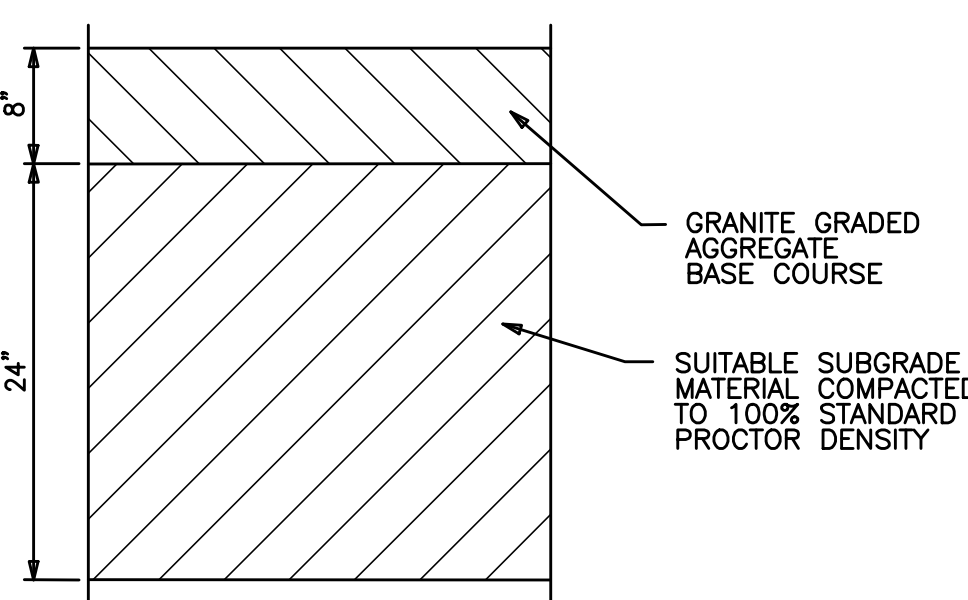
N.T.S.



- NOTES:**
- COMPACT BASE AND SUB-BASE TO 100% STANDARD (ASTM D698).
 - CONCRETE IN THE ROW TO BE 4000 PSI AND REINFORCED WITH FIBERMESH OR STEEL.

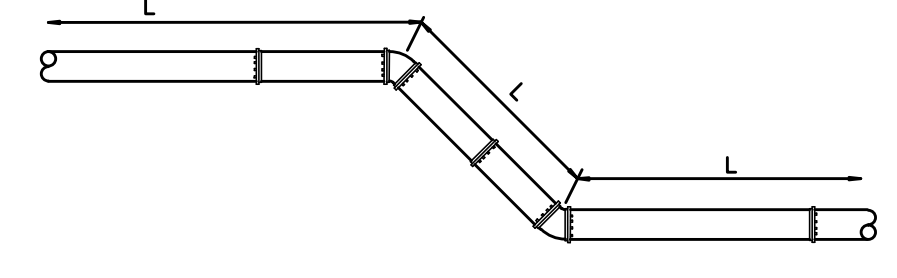
CONCRETE LANDING

N.T.S.



GAB SECTION

N.T.S.



PIPE DIA.	BEND ANGLE		
	11 1/2"	22 1/2"	45"
4	5	10	22
6	4	8	17
8	4	10	22
10	5	12	26
12	6	15	30

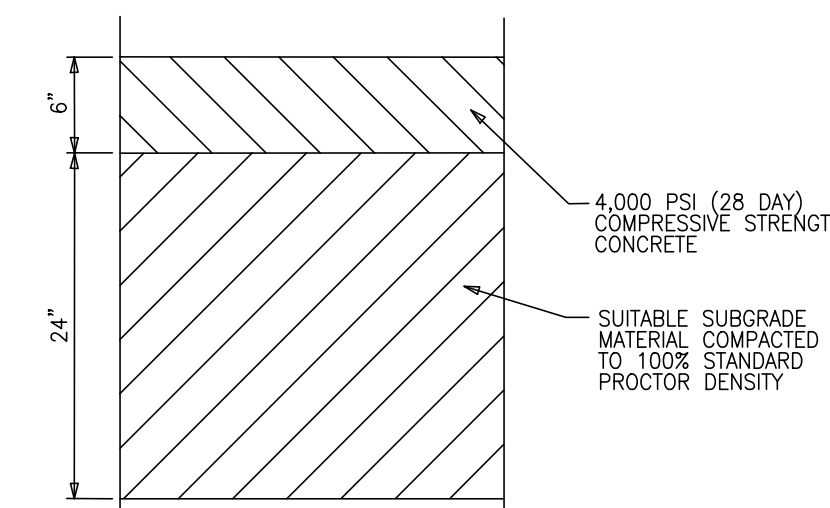
PIPE DIA.	BEND ANGLE		
	11 1/2"	22 1/2"	45"
4	3	6	12
6	4	8	17
8	4	10	22
10	5	12	26
12	6	15	30
16	7	19	39
20	11	23	47
24	13	27	56

MINIMUM RESTRAINED LENGTH (L)

- NOTES:**
- LENGTH OF RESTRAINT SHOWN IS IN FEET.
 - WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

VERTICAL BEND RESTRAINT

N.T.S.

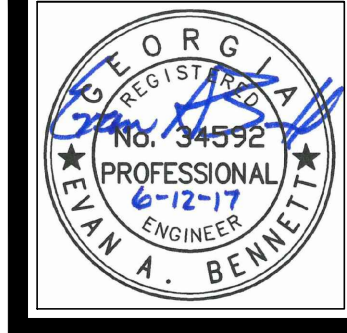


STANDARD

- NOTES:**
- CONCRETE SHALL BE PLACED WITH FIBERMESH OR 6x6/10-10 W/M.

TYPICAL CONCRETE SECTIONS

N.T.S.



HUSSEY GAY BELL
 Established 1958
 329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED	DRAWN	CHECKED
H.F.R.	H.F.R.	E.A.B.

DATE: 06/12/2017
 JOB NO. 117273539
 SCALE: NONE

**B-H TRANSFER OFFICE BUILDING
ORANGE ROAD
PORT WENTWORTH, GEORGIA
FOR
B-H TRANSFER COMPANY
CONSTRUCTION DETAILS**

DRAWING NUMBER

06
OF 07

COASTAL PLAIN VEGETATIVE COVERS

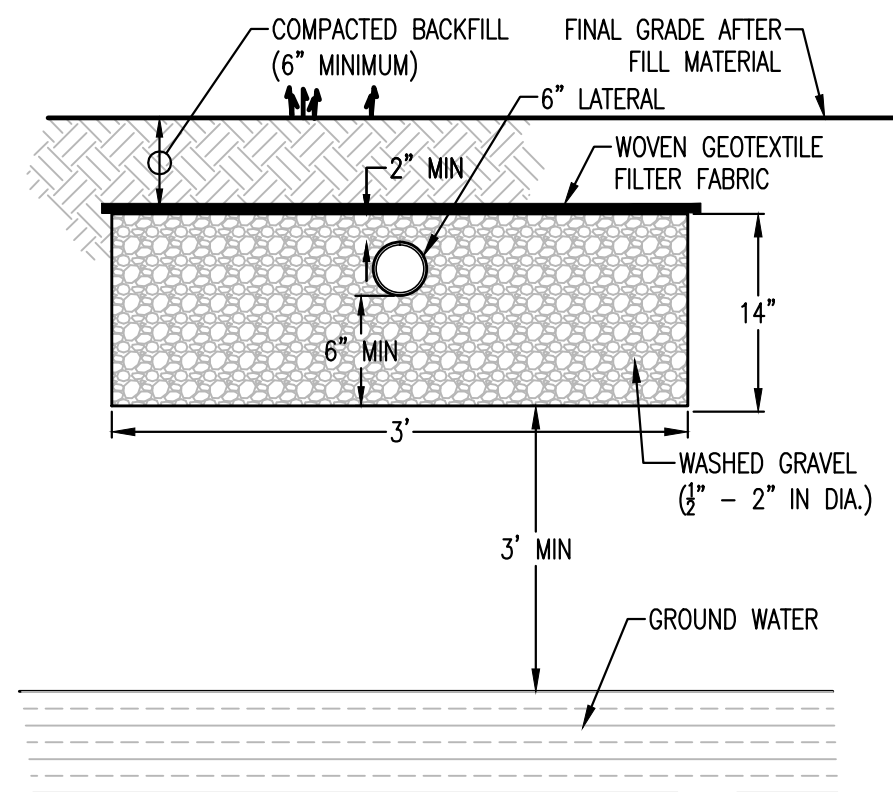
MONTH OF PLANTING	TEMPORARY GRASS	RATE	MONTH OF PLANTING	PERMANENT GRASS	RATE
MARCH - JUNE	COMMON BERMUDA (HULLED)	10 Lbs./Ac	MARCH - JUNE	COMMON BERMUDA (HULLED)	10 Lbs./Ac
APRIL - AUGUST	BROWN TOP MILLET	40 Lbs./Ac	JULY - AUGUST	COMMON BERMUDA (HULLED) & BROWN TOP MILLET	10 Lbs./Ac 10 Lbs./Ac
SEPTEMBER - FEBRUARY	RYE GRASS	40 Lbs./Ac	SEPTEMBER - FEBRUARY	COMMON BERMUDA (UNHULLED) & RYE	10 Lbs./Ac 1/2 Bu./Ac

VEGETATIVE METHODS:

- A. A VEGETATIVE COVER SHALL BE ESTABLISHED AND MAINTAINED OVER ALL FINAL GRADING AND OTHER DISTURBED AREAS OF THE SITE. SEE COASTAL PLAIN VEGETATIVE COVERS FOR AN OUTLINE OF THE ESTABLISHMENT OF VEGETATIVE COVERS.
- B. WEEKLY INSPECTION OF THE GRASS COVER SHALL BE PERFORMED TO IDENTIFY AREAS REQUIRING RE-ESTABLISHMENT OF GRASS.
- C. LIME RATE: 1 TO 2 TONS/ACRE.
FERTILIZER: 1500 LBS. OF 6-12-12 PER ACRE.

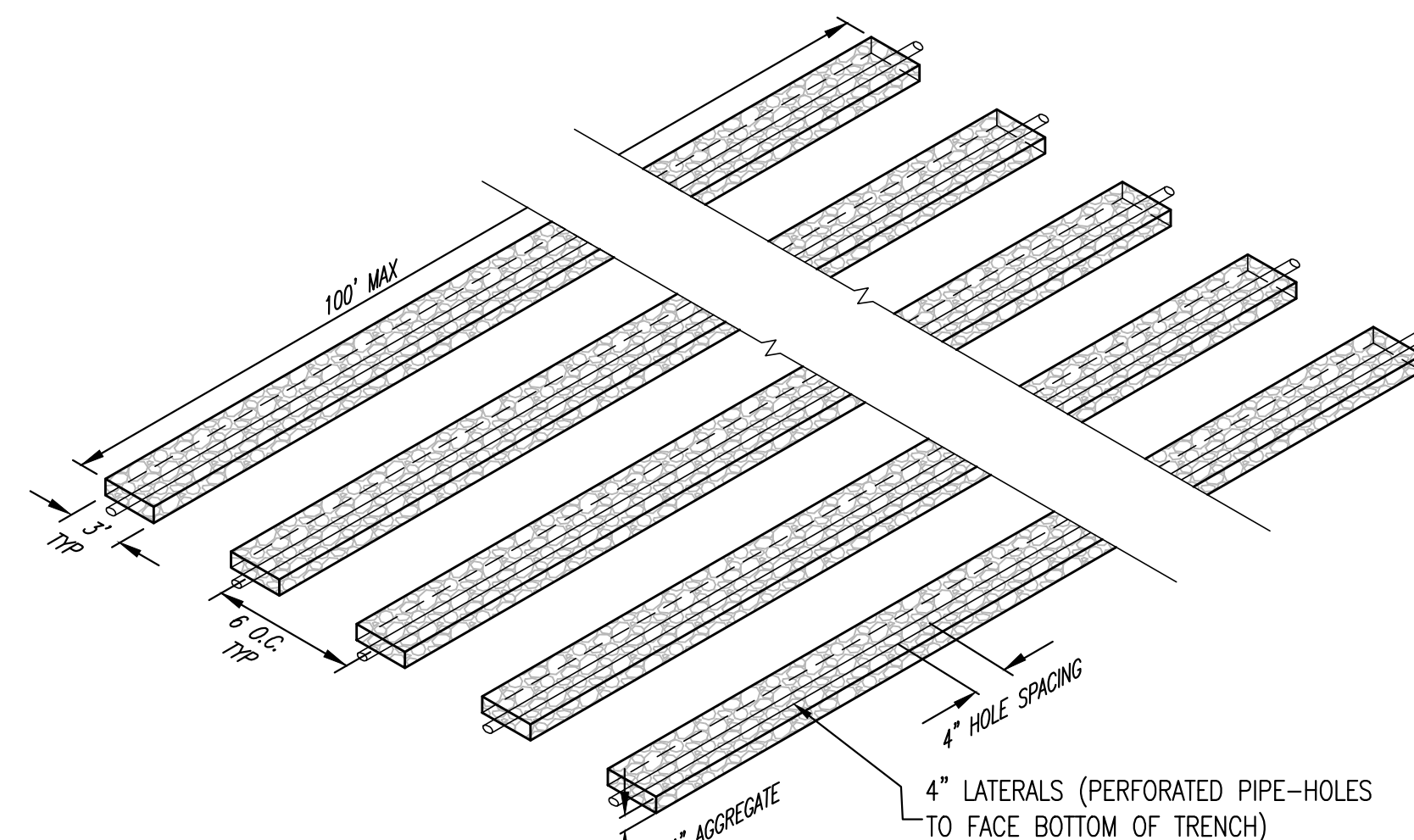
MULCH:

MULCH, IF REQUIRED, SHALL BE UNCHOPPED, UNROTTED, DRY STRAW, HAY, OR WOOD WASTE SHALL BE APPLIED TO A DEPTH OF 2-3 INCHES PROVIDING COMPLETE SOIL COVERAGE. IN AREAS TO BE EVENTUALLY COVERED BY PERENNIAL VEGETATION THE CONTRACTOR SHALL APPLY 20-30 POUNDS OF NITROGEN/AC. IN ADDITION TO THE NORMAL AMOUNT.
MULCHING RATE FOR STRAW SHALL BE 2 TONS/AC. AND FOR HAY 2 1/2 TONS/AC. MULCH MATERIAL SHALL BE RELATIVELY FREE FROM ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITED NOXIOUS WEEDS WHICH ARE: CANADA THISTLE, JOHNSONGRASS AND QUACKGRASS. SPREAD MULCH MECHANICALLY OR UNIFORMLY BY HAND; MULCH ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER MULCH PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY PEG AND TWINE METHOD, MULCH ANCHORING TOOL, NETTING OR LIQUID MULCH BINDERS.



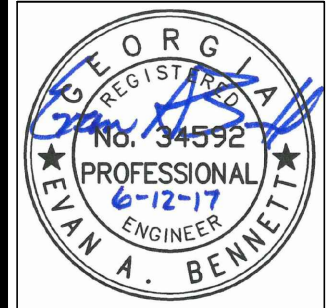
TYPICAL TRENCH SECTION

N.T.S.



TYPICAL TRENCH DETAIL

N.T.S.



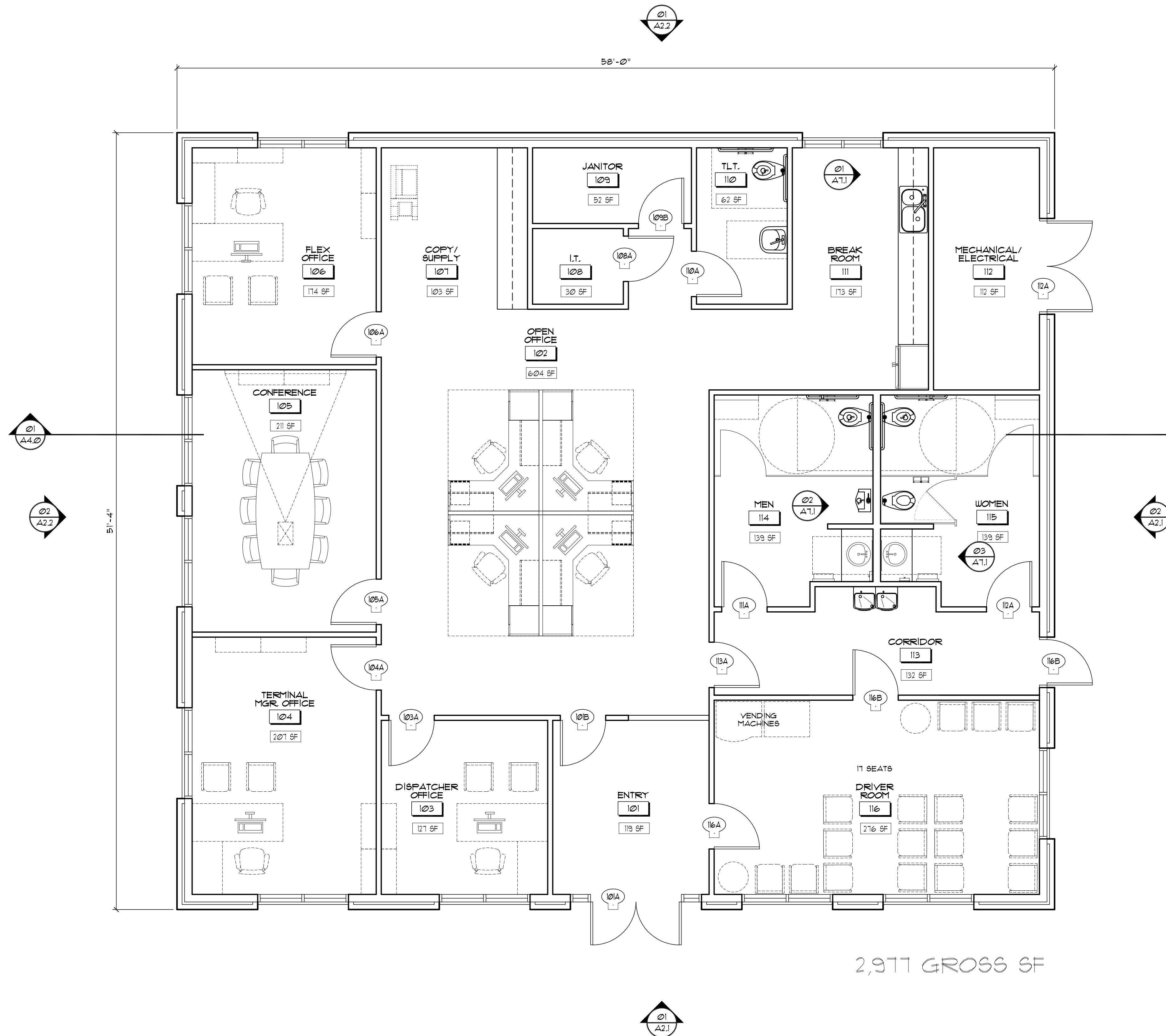
HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T: 912.354.4626

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DATE: 06/12/2017		
JOB NO. 117273539		
SCALE: NONE		

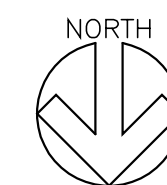
B-H TRANSFER OFFICE BUILDING
GRANGE ROAD
PORT WENTWORTH, GEORGIA
FOR
B-H TRANSFER COMPANY
CONSTRUCTION DETAILS

DRAWING NUMBER
07
OF 07



2,911 GROSS SF

01 OVERALL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



CONCEPTUAL DESIGN

**BH TRANSFER
OFFICE BUILDING**
442 GRANGE ROAD
PORTWENTWORTH, GEORGIA 31407

FIRST FLOOR PLAN

DRAWING NUMBER

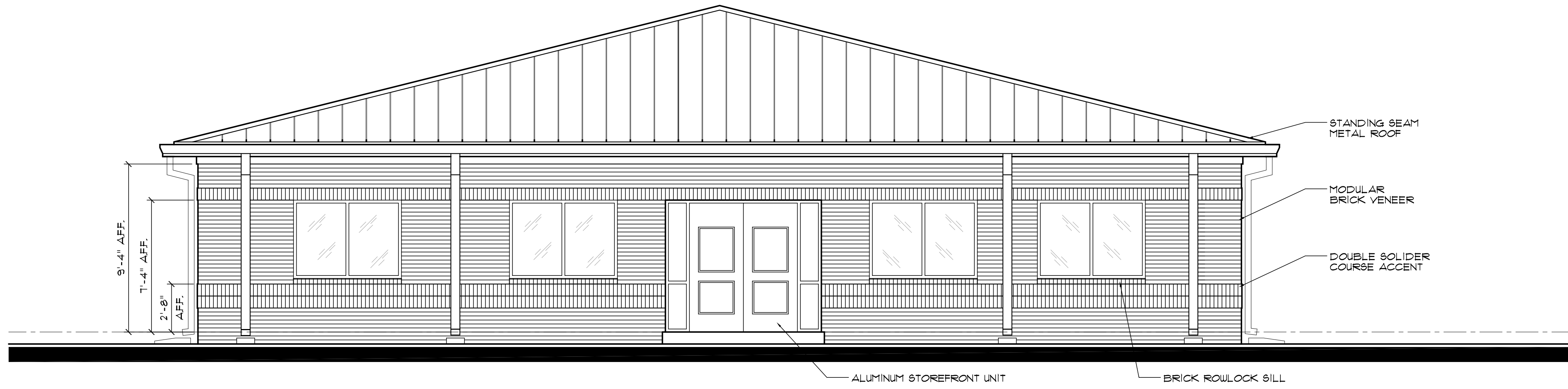
A1.1

REVISIONS:

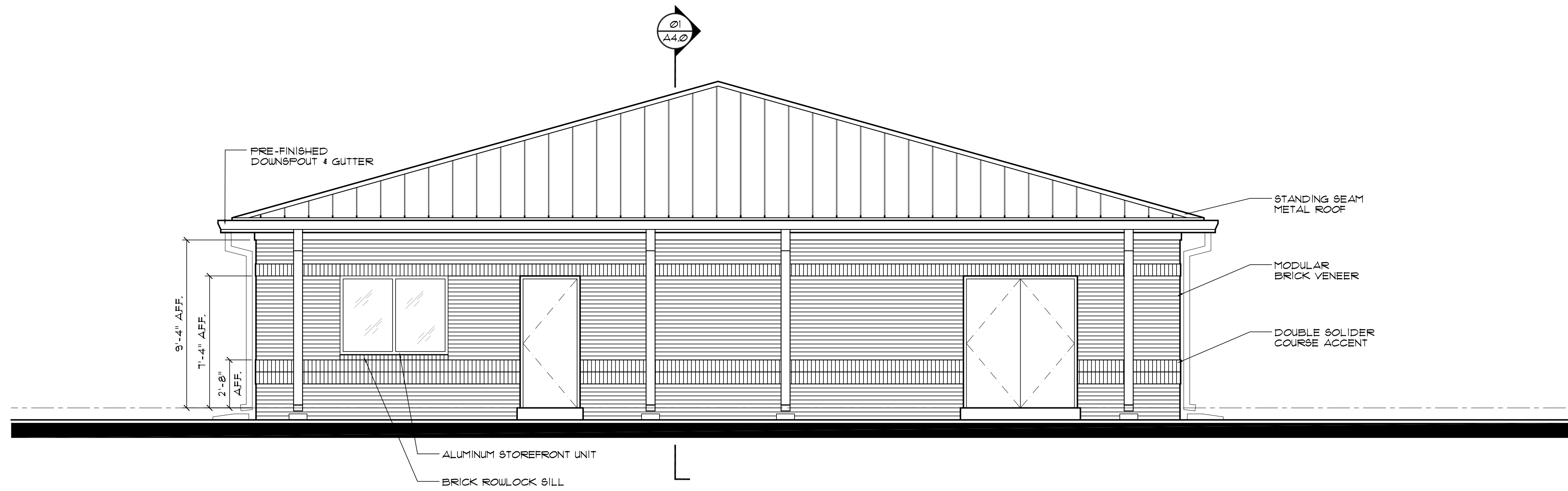
DESIGNED LP	DRAWN LP	CHECKED RA
DATE: JUNE 2017		
JOB NO. 217 6300 01		
SCALE: SEE DWG		

HUSSEY GAY BELL
— Established 1958 —

329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626



01 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



02 WEST ELEVATION
SCALE: 1/4" = 1'-0"

CONCEPTUAL DESIGN

HUSSEY GAY BELL
— Established 1958 —
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

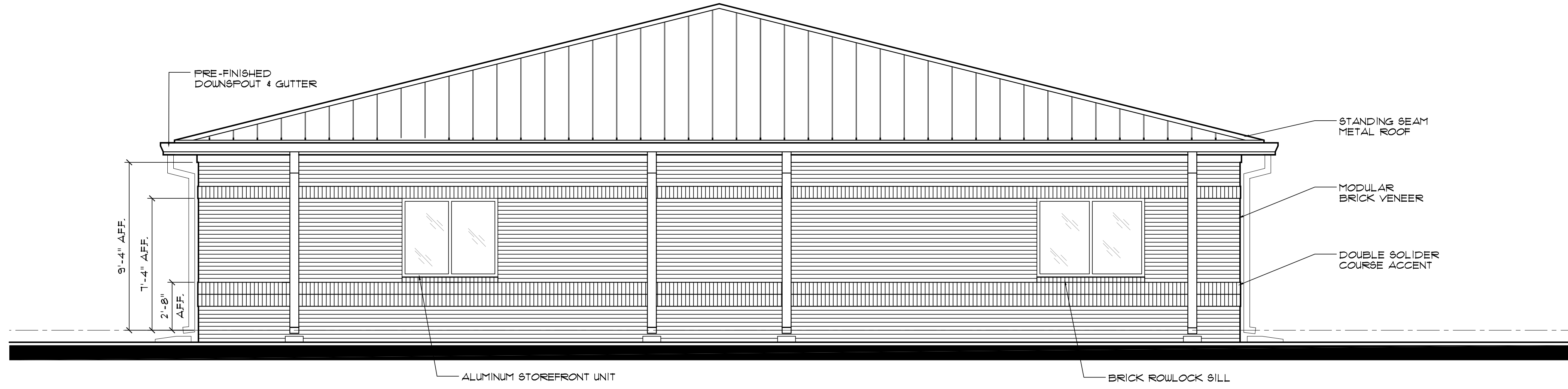
REVISIONS:

DESIGNED LP	DRAWN LP	CHECKED RA

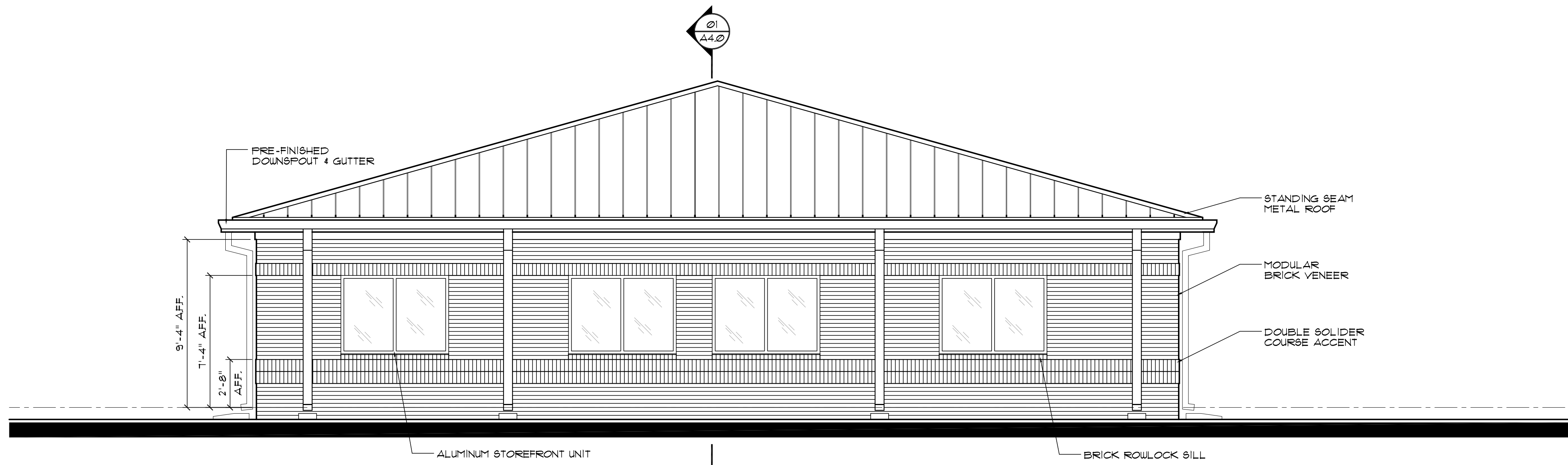
DATE: JUNE 2017
JOB NO. 217 6300 01
SCALE: SEE DWG

BH TRANSFER OFFICE BUILDING
442 GRANGE ROAD
PORTWENTWORTH, GEORGIA 31407
BUILDING ELEVATIONS

DRAWING NUMBER
A2.1



01 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



02 EAST ELEVATION
SCALE: 1/4" = 1'-0"

CONCEPTUAL DESIGN

BH TRANSFER
OFFICE BUILDING
442 GRANGE ROAD
PORTWENTWORTH, GEORGIA 31407
BUILDING ELEVATIONS

DRAWING NUMBER
A2.2

HUSSEY GAY BELL
— Established 1958 —
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

REVISIONS:

DESIGNED LP	DRAWN LP	CHECKED RA

DATE: JUNE 2017
JOB NO. 217 6300 01
SCALE: SEE DWG