



CITY OF PORT WENTWORTH

CITY COUNCIL

APRIL 18, 2024

Council Meeting Room

Regular Meeting

7:00 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. **CALL MEETING TO ORDER**
2. **PRAYER AND PLEDGE OF ALLEGIANCE**
3. **ROLL CALL - CLERK OF COUNCIL**
4. **APPROVAL OF AGENDA**
5. **PUBLIC COMMENTS - REGISTERED SPEAKERS**
6. **RECOGNITION OF SPECIAL GUESTS**
7. **ELECTIONS & APPOINTMENTS**
 - A. Appointment to Planning Commission and Zoning Board of Appeals
8. **ADOPTION OF MINUTES**
 - A. Regular Council Meeting Minutes - March 21, 2024
9. **COMMUNICATIONS & PETITIONS**
10. **COMMITTEE REPORTS**
11. **CONSENT AGENDA**
 - A. Resolution Supporting City Post Office
12. **UNFINISHED BUSINESS**
 - A. Consideration of the 2nd Reading of an application submitted by Ernest Investments, LLC as Agent for Warren Sweatt, requesting to rezone 4.21 acres from R-1 to C-1, to allow for retail development. PIN # 7-1017-01-013, located in the 1st Council District, at 1005 GA Highway 30
 - Action
 - B. Consideration of the 2nd Reading of an application submitted by Philip R. McCorkle as Agent for Ronald A. Royal, requesting to rezone 41.5 of (+/-)48.48 acres from R-1 to I-1, to allow for warehouse development. PIN # 7-0975-01-024, located in the 1st Council District, on Georgia Highway 21.
 - Action

- C. Consideration of the 2nd Reading of an application submitted by Steven Campisi as Agent for HP-221120 Port Wentworth, LLC, requesting to rezone (+/-)38.8 of 77.7 acres from R-1 to R-5, to allow for zoning unification for an approved multifamily development. PIN # 7-0975-01-024, located in the 2nd Council District, on Georgia Highway 21.

➤Action

- CI. Consideration to approve the 2nd Reading of an application submitted by A Zoning Map Amendment City of Port Wentworth, requesting to rezone 18.65 of 20.85 acres from R-3 to PUD, to allow for residential development. PIN # 7-0014-06-001, located in the 4th Council District, between Coleraine Drive and Barnsley Road.

➤Action

13. NEW BUSINESS

- A. A Zoning Map Amendment Application has been submitted by Philip R. McCorkle as Agent for SPH-21, LLC, requesting to rezone 24.952 of 45.2 acres from R-1 to R-5, to allow for multifamily residential development. PIN # 7-0976-02-035, located in the 1st Council District, on Saussy Road and Georgia Highway 21.

➤Public Hearing

- B. A Zoning Map Amendment Application has been submitted by Yash Development, LLC as Agent for William Grainger and Yash Desai Development, LLC, requesting to rezone 11.87 acres from R-1 to C-1, to allow for multifamily development with retail. PINs # 7-0976-1-004, 7-0976-01-005, located in the 1st Council District at 920 and 924 Highway 30.

➤Public Hearing

14. RESOLUTIONS/ORDINANCES/PROCLAMATIONS

15. EXECUTIVE SESSION

- A. Litigation
- B. Personnel
- C. Real Estate

16. ADJOURNMENT



City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 04/18/24 07:00 PM
Department: All
Category: Appointment
Prepared By: Zahnay Smoak
Department Head: Steve Davis

SCHEDULED

AGENDA ITEM (ID # 2978)

DOC ID: 2978

Appointment to Planning Commission and Zoning Board of Appeals

Issue/Item: The Planning and Zoning Board and Zoning Board of Appeals has had several vacant positions arise in the past several months. The Planning Commission needs a citizen member as does the Zoning Board of Appeals which has previously been filled with Planning Commission members.

Background: The Planning Commission and Zoning Board of Appeals meet as needed on the Second Monday each month. The Planning Commission is made up of 5 citizen members and 5 citizen members. The Board of Zoning Appeals has typically been filled by citizen members from the Planning Commission.

Facts and Findings:

Name being considered:

Douglas Highsmith-resident

Mr. Highsmith has been a city resident for approximately 18 years and is employed as an equipment operator at the Port of Savannah.

Funding: NA

Recommendation: Consider approval of the name submitted for both Planning Commission and the Zoning Appeals Board.



City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 04/18/24 07:00 PM
Department: All
Category: Resolution
Prepared By: Zahnay Smoak
Department Head: Steve Davis

DRAFT

AGENDA ITEM (ID # 2977)

DOC ID: 2977

Resolution Supporting City Post Office

Issue/Item: Request and Support for a City Post Office.

Background: Having a physical Post Office location in the City would be a benefit to residents and businesses. But acquiring a physical Post Office location within the City is not something the City can do alone, and must come from our partners in Washington D.C.

This Resolution shows Mayor and Council's support for a Post Office, and directs City staff to work to get a Post Office location within the City.

Recommendation: Approve Resolution.

ATTACHMENTS:

- 24.04.18 - Res - PW Post Office (DOCX)

RESOLUITION NO. R24-02

**STATE OF GEORGIA
COUNTY OF CHATHAM
CITY OF PORT WENTWORTH**

**A RESOLUTION OF THE PORT WENTWORTH MAYOR AND CITY COUNCIL
SUPPORTING AND REQUESTING A POST OFFICE WITHIN THE CITY**

WHEREAS, the Mayor and Council is granted the power to care for the general health, safety, and welfare of the City and its residents; and

WHEREAS, the Mayor and Council recognize the importance of having a physical Post Office location within the City for its residents and businesses; and

WHEREAS, the Mayor and Council recognize that having a physical Post Office location within the City will greatly benefit the City, residents, and businesses; and

WHEREAS, the Mayor and Council desire for City staff to diligently work and coordinate with local and national partners to bring about a Post Office location within the City; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of City of Port Wentworth, Georgia, while in regular session, as follows:

1. The Mayor and City Council desire to have a physical Post Office location within the City.
2. The Mayor and City Council make a formal request for a physical Post Office location within the City.
3. The Mayor and City Council direct City staff to diligently work and coordinate with local and national partners to bring about a physical Post Office location within the City.

SO RESOLVED this the 18th day of April, 2024.

[SIGNATURES ON FOLLOWING PAGE]

Attachment: 24.04.18 - Res - PW Post Office (2977 : Resolution Supporting City Post Office)

Approved:

Gary Norton, Mayor

Thomas Barbee, Mayor Pro Tem

Artlise Alston-Cone, Council Member, At-Large

Gabrielle Nelson, Council Member, District 1

Mark Stephens, Council Member, District 2

Rufus Bright, Council Member, District 3

Shawn Randerwala, Council Member, District 4

Attest:

City Clerk

Attachment: 24.04.18 - Res - PW Post Office (2977 : Resolution Supporting City Post Office)



City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 04/18/24 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID # 2972)

DOC ID: 2972

Consideration of the 2nd Reading of an application submitted by Ernest Investments, LLC as Agent for Warren Sweatt, requesting to rezone 4.21 acres from R-1 to C-1, to allow for retail development. PIN # 7-1017-01-013, located in the 1st Council District, at 1005 GA Highway 30

Issue/Item:

Consideration of the 2nd Reading of an application submitted by Ernest Investments, LLC as Agent for Warren Sweatt, requesting to rezone 4.21 acres from R-1 to C-1, to allow for retail development. PIN # 7-1017-01-013, located in the 1st Council District, at 1005 GA Highway 30.

Background:

- The applicant proposes to develop a 14,000 square foot retail center.
- City water and sewer are not currently available to this parcel. The applicant intends to connect to future utilities once they are expanded to Marion Village (Highway 30, PIN# 7-1017-01-014).
- Preliminary discussion has been had with GDOT regarding access on Highway 30.
- A neighborhood meeting was held by the applicant on 2/1/2024. Neighbors from one surrounding property attended, they expressed concern for potential disturbance of a cemetery. The cemetery was proven to be on a separate parcel.
- The businesses to occupy the future retail space are unknown.

Facts and Findings:

- The intent of the C-1 zoning district is outlined in Section 4.20 of the Zoning Ordinance in the City of Port Wentworth Code of Ordinances and states *"This district is intended to encourage and accommodate a walkable downtown area with storefronts on the ground story and upper story residential, local market retail, personal services, restaurants, entertainment, offices, and professional services. Sites are located near the established commercial core of the Old Town area of the City of Port Wentworth. Characteristics of uses and land in C-1 include daytime and early evening operations, smaller-scale and mixed-use buildings, sidewalk sales, and on-street parking"*
- While surrounding land use is single-family resident and a church, the zoning district intent favors low-intensity commercial use which can be incorporated into neighborhood settings.
- The 2021-2041 Comprehensive Plan designates this property as Suburban. An implementation strategy listed for this character area is *"allow for appropriate neighborhood scale mixed uses within planned developments..."* there are no planned developments featuring retail in the immediate area.
- Highway 30 is a collector road heavily used by commuters and thereby lends itself to commercial properties.

Funding:

N/A

Recommendation:

This project is not directly supported by the Comprehensive Plan but may be considered to achieve the spirit of the character area. Uses allowed in the C-1 zoning district may be desirable in this location.

At the March 11, 2024 meeting, the Planning Commission recommended approval, 4-3.

ATTACHMENTS:

- ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-APPLICATION (PDF)
- ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-Warranty Deed-Warren A Sweatt (PDF)
- ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-APO (PDF)
- ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-PROJ. NARRATIVE (PDF)
- ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-Neighborhood Mtg Attendance (PDF)
- ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-PLAT (PDF)
- ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-CONCEPT PLAN (PDF)

APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

Applicant: Everest Investments LLC Phone # 912-604-9556

Mailing Address: 41 Teal Lake Dr. Savannah, GA 31419

Property Owner: Warren Sweatt Phone #

Use back if more than one owner

Owner Address: 1005 State Highway 30, Port Wentworth, GA 31407

PIN #(s): 71017 01013 # of Acres 4.21

Zoning Classification: Present R-A Requested C-1

Use of Property: Present Residential Home Requested Commercial Retail

If the requested change is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

[X] If the requested change is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

Properties along HWY 30 are mostly utilized as residential at this time. However, a few commercial businesses in the area have shown success among current residents in the area, citing a need or desire for a commercial use. A development such as this could provide a more accessible shopping or dining location for locals and the several upcoming residential developments in Port Wentworth. With the consistent growth in the city, the need for commercial to keep up increases, and HWY 30 is expected to receive quality improvements that could lead to increases in development. This proposal allows this site to be an early adopter and set a quality standard for the city.

Attach the following documents:

- 1. Written legal description of the property (e.g. copy of deed) - full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of property owners within 300 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale. Submit three (3) copies of in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
4. Site Plan of proposed use of property. Submit three (3) copies in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorizations of Attorney form.
8. Filing fee of \$500.00 + \$50.00 per acre + \$75.00 Administrative Fee, payable to the City of Port Wentworth.

APPLICATION MUST BE FILED 20 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 5 day of February, 2024

Notary Public



Patricio D'Angelo
Comm.: HH 389825
Expires: July 22, 2027
Notary Public - State of Florida

[Signature]
Signature of Applicant

Updated 8/25/2023

Attachment: ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-APPLICATION (2972 : 2nd Reading - Everest Rezoning)

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning or Variance

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Roberts Civil Engineering, LLC

Address: 6001 Chatham Center Dr. STE 150
Savannah, GA 31405

Telephone Number: 912-298-7006

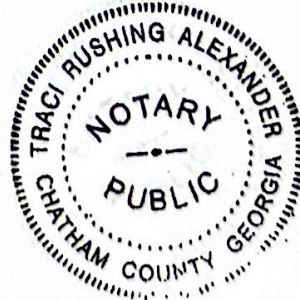
Janet S. Webb
Gregory A. Sweatt
Signature of Owner
Executors of Estate of Warren A. Sweatt

Personally appeared before me

Janet S. Webb, Gregory A. Sweatt

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

Traci Rushing Alexander
Notary Public exp. 8/24/25



2/5/2024
Date

Attachment: ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-APPLICATION (2972 : 2nd Reading - Everest Rezoning)

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning or Variance

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Everest Investments LLC

Address: 41 Teal Lake Dr. Savannah, GA 31419

Telephone Number: 912-604-9556

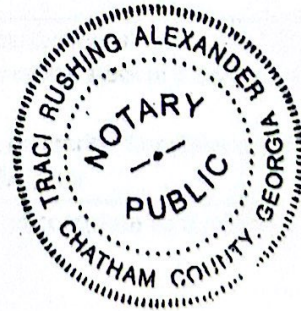
Janet S. Webb, Gregory A. Sweatt
Signature of Owner
Executors of Estate of Warren A. Sweatt

Personally appeared before me

Janet S. Webb, Gregory A. Sweatt

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

Traci Rushing Alexander
Notary Public exp. 8/24/25



2/5/2024
Date

DISCLOSURE OF FINANCIAL INTERESTS
(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

The undersigned official of the City of Port Wentworth has a property interest (Note 1) in said property as follows:

The undersigned official of the City of Port Wentworth has financial interest (Note 2) in a business entity (Note 3) which has property interest in said property, which financial interests as follows:

The undersigned official of the City of Port Wentworth has a member of the family (Note 4) having a property interest in said property or a financial interest in a business entity which has a property interest in said property, which family member and property interest or financial interest are as follows:

-
- Note 1: Property Interest – Direct ownership of real property, including any percentage of ownership less than total ownership
 - Note 2: Financial Interest – All direct ownership interest of the total assets or capital stock of a business entity where such ownership interest is 10 percent or more
 - Note 3: business entity – Corporation, partnership, limited partnership, firm, enterprise, franchise, association or trust
 - Note 4: Member of family – Spouse, mother, father, brother, sister, son, or daughter
-

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this _____ day of _____, 20____.

Signature of Official

Notary Public
Updated 8/25/2023

Attachment: ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-APPLICATION (2972 : 2nd Reading - Everest Rezoning)

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:


Within the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each campaign contribution.

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this
5 day of February, 2024

Miserant
Signature of Applicant

Notary Public

 **Patricio D'Angelo**
Comm.: HH 389825
Expires: July 22, 2027
Notary Public - State of Florida

Attachment: ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-APPLICATION (2972 : 2nd Reading - Everest Rezoning)

description of the property herein conveyed. Said tract being bounded on the West by property of Donald and Virginia Wegmann; on the North by property of Marion Thomas Boyd; on the East by property of Warren A. Sweatt, North Salem Baptist Church, and International Paper Realty; and on the South by property of International Paper Realty.

TO HAVE AND TO HOLD the said above described tract or parcel of land and premises, together with all and singular the rights, members, hereditaments, improvements, easements, and appurtenances thereunto belonging or in any wise appertaining, unto Second Party, his heirs, successors and assigns, in fee simple forever.

AND LASTLY, First Party warrants that he is seized of said premises in fee simple and has good right to convey the same; that said premises are free from encumbrances; and First Party will forever warrant the title to said premises.

IN WITNESS WHEREOF, First Party has hereunto set his hand and seal on the day and year first above written.

BOOK PAGE
276 Y 646

Warren A. Sweatt
WARREN A. SWEATT L.S.

[Signature]
Witness

Kimberly K. Bland
Notary Public
KIMBERLY K. BLAND
Notary Public, Chatham County, Georgia
My Commission Expires May 27, 2023



Attachment: ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-Warranty Deed-Warren A Sweatt (2972 : 2nd Reading - Everest Rezoning)



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List of Properties within 300'

Name	Address	Pin #
Thomas Boyd	510 Strachan Ave Savannah, GA 31406	71017 01012 & 71017 01010 
Virginia and Chad Wegmann	1031 HWY 30 Port Wentworth, GA 31407	71017 01009Y 
North Salem Baptist Church Inc	955 State Highway 30 Savannah, GA 31407	71017 01011 
Come-A-Long Group LLC	120 Tall Pines TRL GREENWOOD, SC, 29646	70976 01015 
Georgia Southern University Foundation Guyton Real Estate LLC	PO Box 8053 STATESBORO, GA, 30460	71017 01018 

Attachment: ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-APO (2972 : 2nd Reading - Everest Rezoning)



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February 12, 2024

Port Wentworth Development Services

7306 GA-21 Suite 301

Port Wentworth, GA 31407

1005 Hwy 30 Rezoning Submittal

To Whomever it May Concern,

Please find our submittal for a rezoning request for the property located at 1005 Hwy 30 in Port Wentworth. The intended use of the property is a commercial development with mixed retail. A conceptual plan has been provided.

A neighborhood meeting was held on February 1st at 7pm at the property. 6 notices were sent out to local property owners. One neighbor attended. You can see a summary of her comments attached to the submittal.

This submittal also includes a plat and warranty deed. They reference a smaller tract that our proposed property has been subdivided from. However, our property is noticeably shown and platted on the attached documents.

Sincerely,

Kennon Strowd

Project Manager

Attachment: ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-PROJ. NARRATIVE (2972 : 2nd Reading - Everest Rezoning)



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www.robertscivilengineering.com

February 01, 2024

Attendance Record for 1005 HWY 30 Retail Rezoning Neighborhood Meeting Parcel: 71017 01013

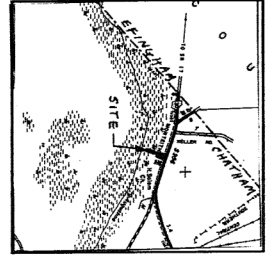
Sign In:

Name	Address	Email
Kennon Strowd	6001 Chatham Center Dr, STE 150 Savannah, GA 31405	kstrowd@robertscivilengineering.com
Virginia and Chad Wegmann	1031 HWY 30 Port Wentworth, GA 31407	Cweg318@aol.com
The Wegmanns were not in favor of the plan. There were concerns of a graveyard by this property. However, through discussions, we were able to determine this graveyard is on an adjacent property. No comments were provided as far as design, just use and location.		

Attachment: ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-Neighborhood Mtg Attendance (2972 : 2nd Reading - Everest Rezoning)

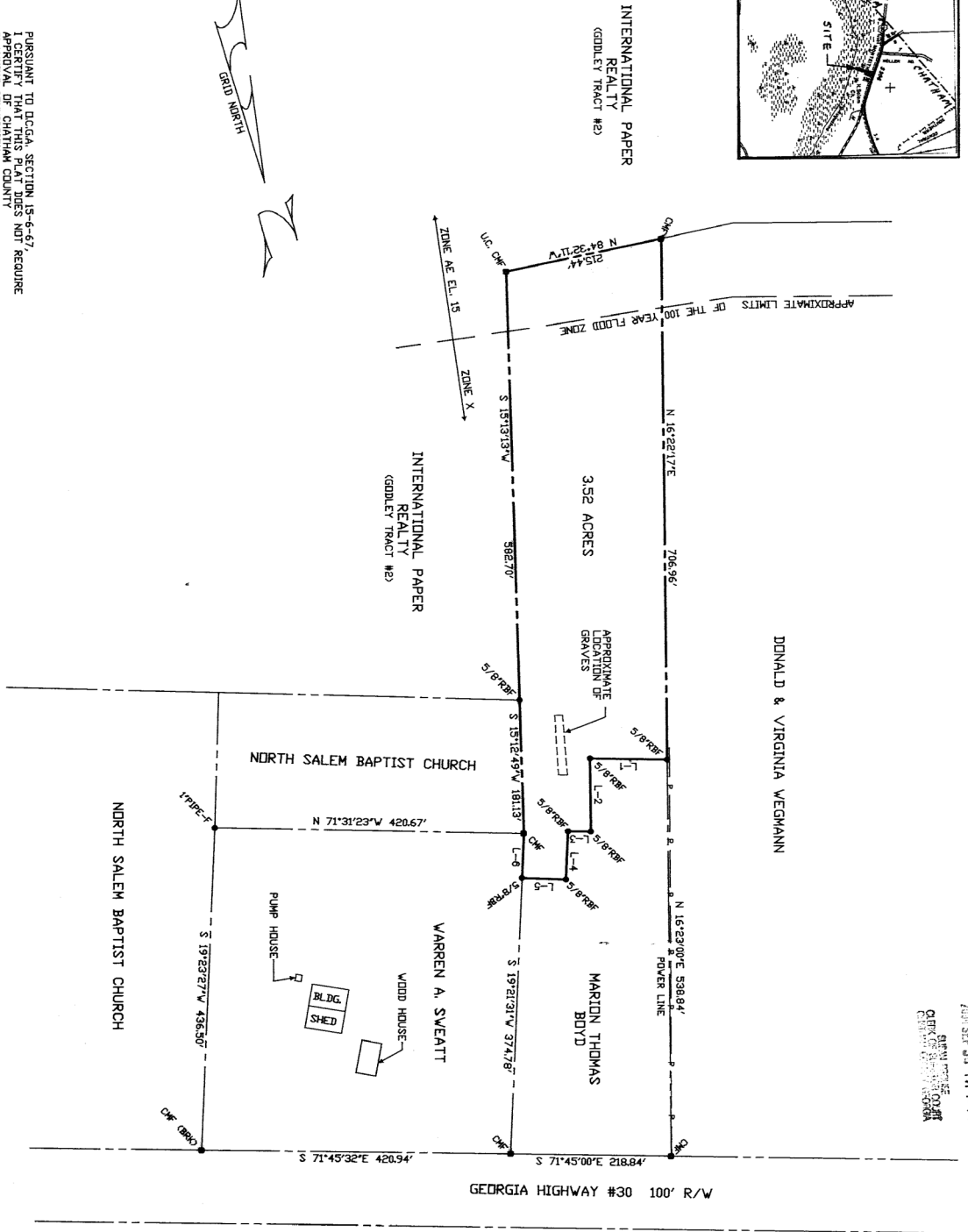
LOCATION SKETCH:

NOT TO SCALE.



Attachment: ZMA 1005 HWY 30 7-1017-01-013 R-A TO C-1 2024-PLAT (2972 : 2nd Reading - Everest Rezoning)

RECEIVED FOR RECORD
2024 SEP 23 PM 1:14
GEM TERRY
CLERK OF SUPERIOR COURT
CHATHAM COUNTY, GEORGIA



PURSUANT TO O.C.G.A. SECTION 15-6-47
I CERTIFY THAT THIS PLAT DOES NOT REQUIRE
APPROVAL OF CHATHAM COUNTY
PLANNING COMMISSION.
Leon A. Zepher
LEON A. ZEPHER, JR. RLS. #6373

Course Bearing Distance

L-1	S 71°44'57\"	E	105.00'
L-2	N 16°23'00\"	E	100.00'
L-3	S 71°44'57\"	E	31.05'
L-4	N 16°23'00\"	E	85.08'
L-5	S 71°44'57\"	E	85.08'
L-6	S 19°21'28\"	W	59.88'

ERROR OF CLOSURE:
FIELD DATA 1/ 82.218 PER POINT
ADJUSTED BY COMPASS RULE
FINAL CLOSURE 1/ 340.289'
93' ELECTRONIC TOTAL STATION



NOTE:
REMAINING PORTION OF WARREN A. SWEATT
PROPERTY NOT FIELD SURVEYED THIS DATE.
TAKEN FROM FORMER SURVEYS.
29.9.23
REFERENCES:
PLAT BOOK 98, PAGE 239
PLAT BOOK 1, PAGE 36
PLAT OF
3.52 ACRES, DIVIDED
FROM PROPERTY OF
WARREN A. SWEATT
SUBDIVIDED FOR
MARION THOMAS BOYD
LOCATION: G.M.D. & PORT VENTURES
CHATHAM COUNTY, GEORGIA
DATE: SEPTEMBER 7, 2004 FILE NO. 00245-A
WILSON, STONE & ZEPHER LAND SURVEYORS, INC.
3125 BEECHMOUNT RD. BOX 189 RAINBOW, GA 31825



NOT RELEASED FOR CONSTRUCTION

REVISIONS table with columns for date, description, and revision number.

ROBERTS CIVIL ENGINEERING logo and contact information: 15 BRADY (SAS) | SAVANNAH | (912) 988-1100 | WWW.ROBERTSCIVILENGINEERING.COM

CONCEPT PLAN
Hwy 30 Retail Development
Port Wentworth, GA
PREPARED FOR:
Everest Investment LLC

DATE: 01-31-2024
PROJECT NUMBER: 24500
DRAWN BY: MDP
CHECKED BY: JLV
SCALE: 1"=40'

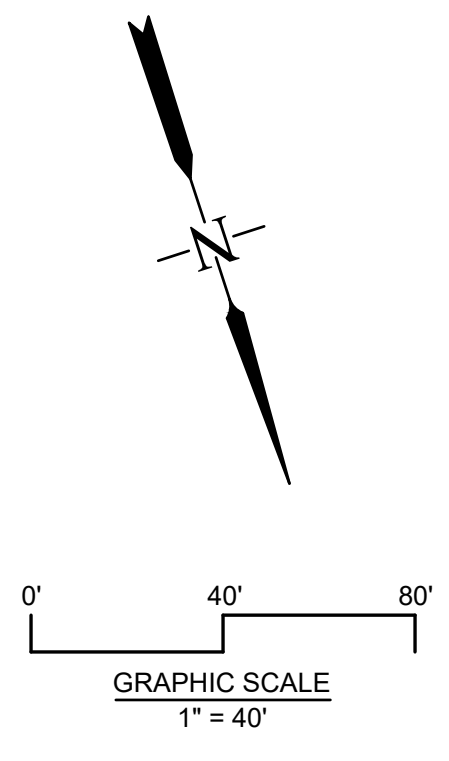
CP

SHEET:

LEGAL DESCRIPTION: PORTION OF ANDREW DOTSON PLACE PRB 29P 23
NAME: SWEATT WARREN A
PIN#: 71017 01013
PROPERTY ADDRESS: 1005 HIGHWAY 30, PORT WENTWORTH, GA 31407-9611
MAILING ADDRESS OF PROPERTY OWNERS 300 FEET OF THIS PROPERTY:
PIN#: 71017 01009Y WEGMANN VIRGINIA R 1031 HWY 30 | PORT WENTWORTH, GA 31407-9611
PIN#: 71017 01010 BOYD MARION THOMAS 510 STRACHAN AVE | SAVANNAH, GA 31406
PIN#: 71017 01012 BOYD MARION THOMAS 510 STRACHAN AVE | SAVANNAH, GA 31406
PIN#: 71017 01018 GEORGIA SOUTHERN UNIVERSITY FOUNDATION GUYTON REAL ESTATE LLC P.O. BOX 8053 | STATESBORO, GA 30460
PIN#: 71017 01011 NORTH SALEM BAPTIST CHURCH INC 955 STATE HWY 30 | SAVANNAH, GA 31407
PIN#: 70976 01015 COME-A-LONG GROUP LLC 120 TALL PINES TRL | GREENWOOD, SC 29646

SITE DESCRIPTION:
INTENDED USE: THE PROPOSED RETAIL DEVELOPMENT LIES WITHIN PARCEL 71017 01013. THE PROPOSED PROJECT WILL CONSIST OF (1) STORY RETAIL BUILDING, A PARKING LOT LAYOUT AND ASSOCIATED INFRASTRUCTURE TO BE CONSTRUCTED ON 4.21 +/- AC.
OWNER/DEVELOPER: EVEREST INVESTMENTS, LLC | 41 TEAL LAKE DR SAVANNAH, GA 31419 | 912-604-9556
CURRENT ZONING AND USE: R-A | RESIDENTIAL HOME
INTENDED ZONING AND USE: C-1 | COMMERCIAL RETAIL

LEGEND
PROPOSED ASPHALT PAVEMENT
PROPOSED CONCRETE
PROPOSED BUILDING
PROPOSED POND
PROPOSED STORM
PROPOSED STORM INLET
PROPOSED STORM MANHOLE
PROPOSED FLARED-END SECTION
PROPOSED WATER LINE
PROPOSED WATER LINE
ROAD CENTERLINE
PROPERTY LINE
ADJACENT PROPERTY LINE
EXISTING WETLANDS
EXISTING CONCRETE
EXISTING ASPHALT PAVEMENT





City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 04/18/24 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID # 2971)

DOC ID: 2971

Consideration of the 2nd Reading of an application submitted by Philip R. McCorkle as Agent for Ronald A. Royal, requesting to rezone 41.5 of (+/-)48.48 acres from R-1 to I-1, to allow for warehouse development. PIN # 7-0975-01-024, located in the 1st Council District, on Georgia Highway 21.

Issue/Item:

Consideration of the 2nd Reading of an application submitted by Philip R. McCorkle as Agent for Ronald A. Royal, requesting to rezone 41.5 of (+/-)48.48 acres from R-1 to I-1, to allow for warehouse development. PIN # 7-0975-01-024, located in the 1st Council District, on Georgia Highway 21.

Background:

- The applicant requests I-1 zoning for the future development of a warehouse. The submitted concept plan shows a single proposed warehouse, 601,600 square feet in size.
- The southern (+/-)10 acres of the existing property are to be subdivided and are not part of the rezoning request.
- Access will be via a single point at the north boundary of the property to a future right of way which connects to Georgia Highway 21 via a planned traffic signal. The concept plan shows adjacent, similar use proposed to access the new road.

Facts and Findings:

- Adjacent properties to the north, east, and west are within the I-1 zoning district. The 10 +/- acres to be subdivided will be an adjacent R-1 parcel to the south.
- The property is enveloped by I-1 zoning, with proposed access to a State Highway.
- Development of a warehouse is consistent with the proposed future use of adjacent parcels.
- The 2021-2041 Comprehensive Plan is contradictive for this particular parcel. It shows the property in a suburban character area surrounded on three sides by the industrial park character area. Given that the industrial park area is currently zoned I-1, developing this parcel as described by character area would potentially burden development of the industrial properties.
- A report was issued for DRI #4121 by The Coastal Regional Commission.

Funding:

N/A

Recommendation:

The proposed rezoning meets applicable zoning criteria and is consistent with surrounding use.

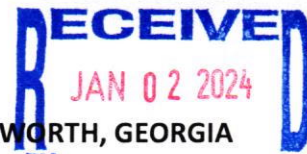
Staff recommends that approval include the following condition:

1. Access related to industrial activity shall be limited to the proposed right of way to the north of this parcel. Access to/from Jeffers Road shall be prohibited after the construction phase or once the future right of way is constructed, whichever comes first.

At the March 11, 2024 meeting, the Planning Commission recommended approval.

ATTACHMENTS:

- ZMA 6510 HWY 21 7-0975-01-024 2024-APPLICATION (PDF)
- ZMA 6510 HWY 21 7-0975-01-024 2024-APO (PDF)
- ZMA 6510 HWY 21 7-0975-01-024 2024-AUTH OF PROPERTY OWNER (PDF)
- ZMA 6510 HWY 21 7-0975-01-024 2024-LEGAL DESCRIPTION (PDF)
- ZMA 6510 HWY 21 7-0975-01-024 2024-PLAT (PDF)
- ZMA 6510 HWY 21 7-0975-01-024 2024-SITE PLAN (PDF)
- DRI #4121 Final Report (PDF)



APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

Applicant: Phillip R. McCorkle BY: Phone # 912-232-7416

Mailing Address: 319 Tattnell Street, Savannah, Georgia 31401

Property Owner: Ronald A. Royal Phone #

Use back if more than one owner

Owner Address: 6510 Highway 21, Port Wentworth, Georgia 31407

PIN #'s: 7-0975-01-024 # of Acres 41.558

Zoning Classification: Present R-1 Requested I-1

Use of Property: Present Vacant Requested Warehouse

X If the requested change is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

If the requested change is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

The property is surrounded on three sides by property zoned industrial. It will utilize a private access road to gain access to Highway 21 at a traffic light that will be installed by the owner of the adjoining industrial tracts.

Attach the following documents:

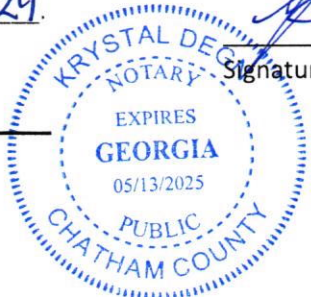
- 1. Written legal description of the property (e.g. copy of deed) – full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of property owners within 300 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale.
4. Site Plan of proposed use of property.
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorizations of Attorney form.
8. Filing fee of \$500.00 + \$50.00 per acre + \$75.00 Administrative Fee, payable to the City of Port Wentworth.

APPLICATION MUST BE FILED 20 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 2nd day of January, 2024.

Notary Public signature



Signature of Applicant

Attachment: ZMA 6510 HWY 21 7-0975-01-024 2024-APPLICATION (2971 : 2nd Reading - Royal Tract Rezoning)

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

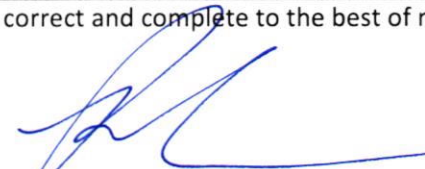
(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows: 41.558 portion of PIN 7-0975-01-024


Within the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each campaign contribution.

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this 2nd day of January, 2024.



Signature of Applicant



Notary Public



Attachment: ZMA 6510 HWY 21 7-0975-01-024 2024-APPLICATION (2971 : 2nd Reading - Royal Tract Rezoning)

DISCLOSURE OF FINANCIAL INTERESTS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

The undersigned official of the City of Port Wentworth has a property interest (Note 1) in said property as follows:

The undersigned official of the City of Port Wentworth has financial interest (Note 2) in a business entity (Note 3) which has property interest in said property, which financial interests as follows:

The undersigned official of the City of Port Wentworth has a member of the family (Note 4) having a property interest in said property or a financial interest in a business entity which has a property interest in said property, which family member and property interest or financial interest are as follows:

Note 1: Property Interest – Direct ownership of real property, including any percentage of ownership less than total ownership

Note 2: Financial Interest – All direct ownership interest of the total assets or capital stock of a business entity where such ownership interest is 10 percent or more

Note 3: business entity – Corporation, partnership, limited partnership, firm, enterprise, franchise, association or trust

Note 4: Member of family – Spouse, mother, father, brother, sister, son, or daughter

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

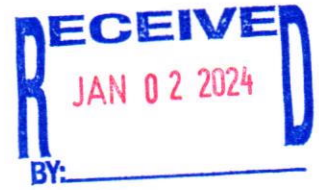
Sworn to and subscribed before me this _____ day of _____, 20____.

Signature of Official

Notary Public

Updated 8/25/2023

Attachment: ZMA 6510 HWY 21 7-0975-01-024 2024-APPLICATION (2971 : 2nd Reading - Royal Tract Rezoning)



Surrounding Property Owners Within 300 Feet

JMUSKAAN LLC
PIN: 70975 02005
Property Address: 387 Augusta Road, Port Wentworth, Georgia 31407
Mailing Address: 829 Granite Lane, Savannah, Georgia 31419

Alfred L. Boyett
PIN: 70975 02004
Property Address: 7532 Highway 21, Port Wentworth, Georgia 31407
Mailing Address: 7532 Highway 21, Port Wentworth, Georgia 31407

Reyno Zamorano-Pineda
PIN: 70975 02003
Property Address: 7538 Highway 21, Port Wentworth, Georgia 31407
Mailing Address: 122 Chevis Road, Savannah, Georgia 31419

Evelyn Jones
PIN: 70975 02002
Property Address: 7542 Highway 21, Port Wentworth, Georgia 31407
Mailing Address: 7542 Highway 21, Port Wentworth, Georgia 31407

RICE HOPE – CJ, L.L.C.
PIN: 70906 04037
Property Address: 100 Magnolia Boulevard, Port Wentworth, Georgia 31407
Mailing Address: P.O. Box 450233, Atlanta, Georgia 31145

FAITH GOSPEL TEMPLE DELIVERENCE CENTER, INC.
PIN: 70975 02001
Property Address: 7548 Highway 21, Port Wentworth, Georgia 31407
Mailing Address: P.O. Box 18277, Savannah, Georgia 31418

RICE HOPE – CJ, L.L.C.
PIN: 70906 04067
Property Address: 80 Magnolia Boulevard, Port Wentworth, Georgia 31407
Mailing Address: P.O. Box 450233, Atlanta, Georgia 31145

Odessa Adams
PIN: 70975 02002A
Property Address: 7550 Highway 21, Port Wentworth, Georgia 31407
Mailing Address: 105 E 9th Street, Rincon, Georgia 31326

SPH 21, LLC
PIN: 70976 01001B
Property Address: 0 Augusta Road, Port Wentworth, Georgia 31407
Mailing Address: 5 Concourse Parkway, Suite 200, Atlanta, Georgia 30328

Attachment: ZMA 6510 HWY 21 7-0975-01-024 2024-APO (2971 : 2nd Reading - Royal Tract Rezoning)

SPH 21, LLC

PIN: 70975 0102B

Property Address: 0 Jeffers Road, Port Wentworth, Georgia 31407

Mailing Address: 5 Concourse Parkway, Suite 200, Atlanta, Georgia 30328

LMS-PORT WENTWORTH, LLC

PIN: 70975 01025

Property Address: 0 Jeffers Road, Port Wentworth, Georgia 31407

Mailing Address: 3975 Asbury Road, Birmingham, Alabama 35248

AUTHORIZATION OF PROPERTY OWNER

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Ronald A. Royal

Address: 6510 Hwy 21, Port Wentworth, Georgia 31407

Telephone Number: 912-665-0441

Ronald A. Royal
Signature of Owner

Personally appeared before me
Ronald A Royal

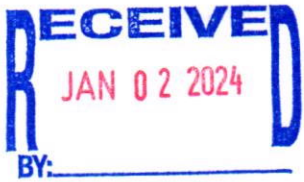
who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

Danielle Acosta
Notary Public

10-11-2023
Date



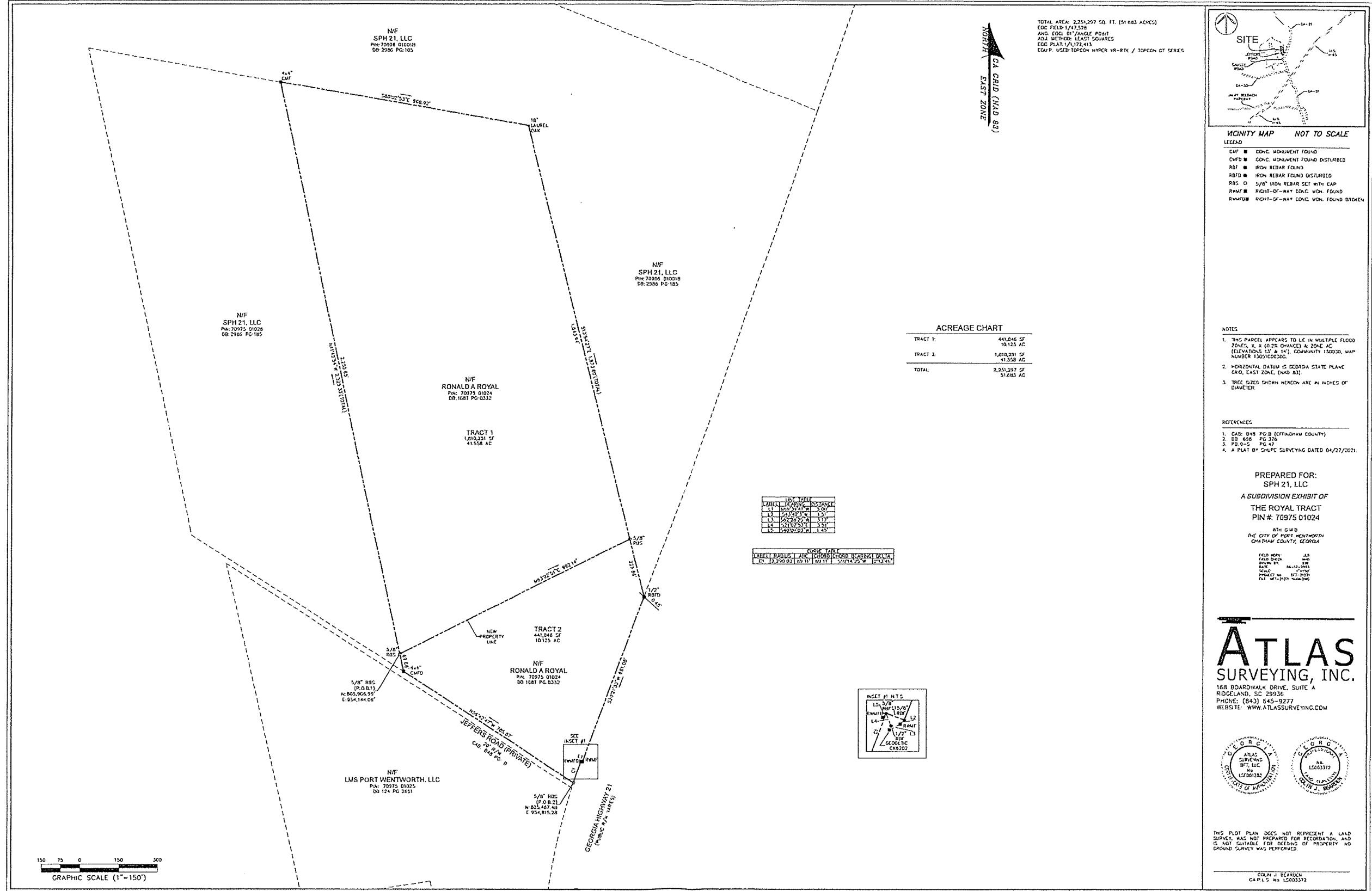
Attachment: ZMA 6510 HWY 21 7-0975-01-024 2024-AUTH OF PROPERTY OWNER (2971 : 2nd Reading - Royal Tract Rezoning)



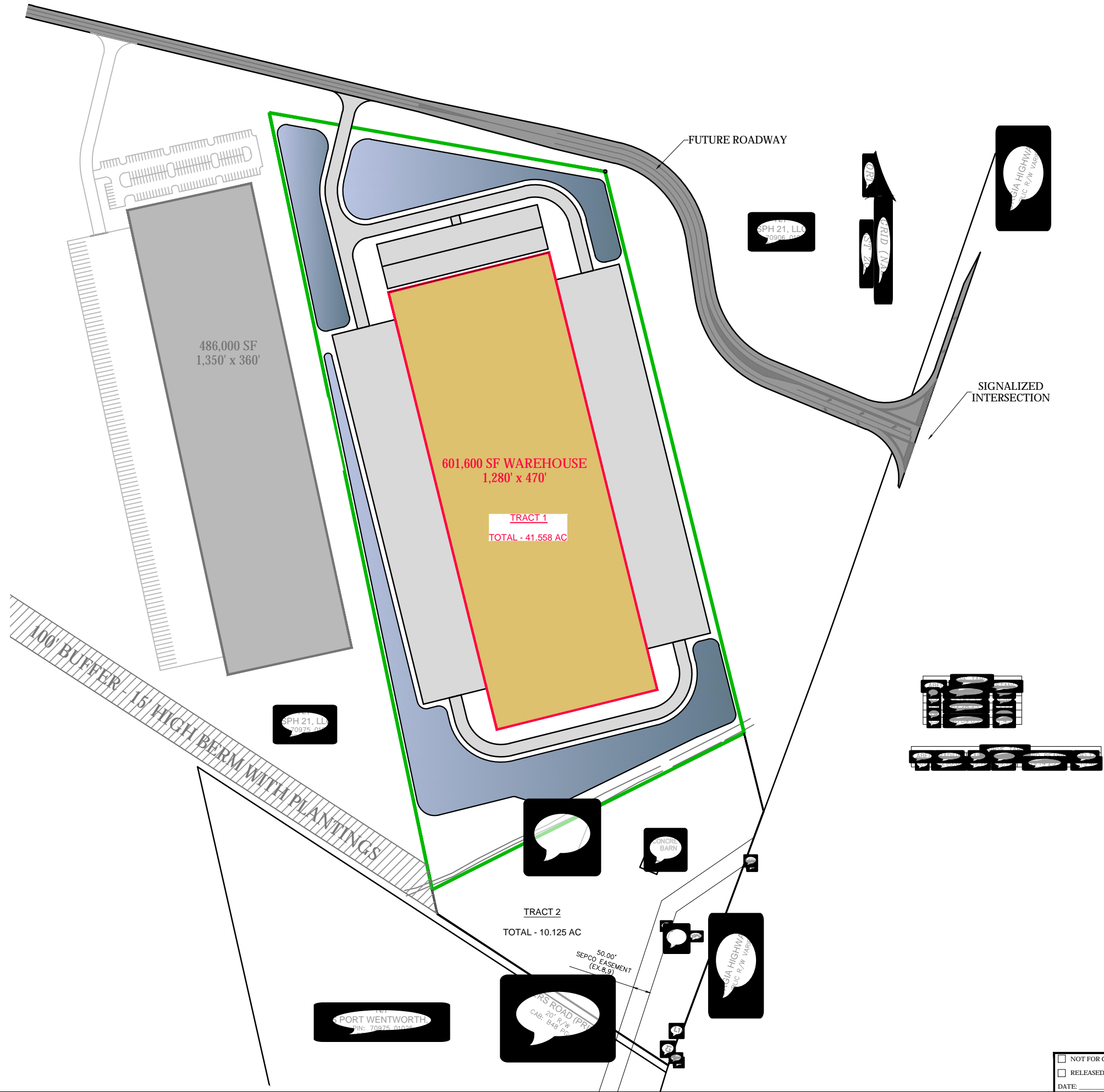
TRACT 1

BEGINNING AT A 5/8" IRON REBAR SET BEARING THE HORIZONTAL COORDINATES OF NORTHING:805,966.99', EASTING:954,144.06' (P.O.B.1); THENCE N 11°49'54" W A DISTANCE OF 2,255.65' TO A 4"x4" CONCRETE MONUMENT FOUND; THENCE S 80°02'53" E A DISTANCE OF 968.92' TO A CORNER THAT FALLS IN A 18" LAUREL OAK; THENCE S 13°54'27" E A DISTANCE OF 1,643.94' TO A 5/8" IRON REBAR SET; THENCE S 63°22'51" W A DISTANCE OF 992.14' TO A 5/8" IRON REBAR SET; WHICH IS THE POINT OF BEGINNING, HAVING AN AREA OF 1,810,251 SQUARE FEET, 41.558 ACRES.

Attachment: ZMA 6510 HWY 21 7-0975-01-024 2024-LEGAL DESCRIPTION (2971 : 2nd Reading - Royal Tract Rezoning)



Attachment: ZMA 6510 HWY 21 7-0975-01-024 2024-PLAT (2971 : 2nd Reading - Royal Tract Rezoning)



Kern & Co., LLC
 Consulting Engineers • Land Surveyors • Land Planners
 Architects • Landscape Architects • Environmental Scientists
 7 Mill Court (31416) P.O. Box 15179 (31146) Savannah, Georgia (912) 354-
 319 Walnut Street Suite A, Statesboro, Georgia 30458 Phone: (912) 225-

STAMP:

STAMP:

ORIGINAL RELEASED FOR CONSTRUCTION DATE:

NO	DATE	REVISION

PLANS OF
 ROYAL TRACT
 AT
 GA HWY 21 - PORT WENTWORTH, GA

DRAWING TITLE
 SITE PLAN

SCALE: 1" = 300'
 PROJECT NO: 200230.000
 DATE: 12/21/23
 DRAWN BY: CRZ
 CHECKED BY: CRZ
 SHEET NO:

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION
 DATE: _____ BY: _____

File: 22 Dec 2023 - 8:56am czl1000r
 DRAWING PATH: G:\2020\200230.000\dwg\Royal - Wetland Exhibit 8.30.23.dwg

DEVELOPMENT OF REGIONAL IMPACT REPORT

Prepared for Port Wentworth
DRI #4121
Royal Tract – SPH 21
February 22, 2024



Prepared by:
Coastal Regional Commission
1181 Coastal Dr. SW
Darien, GA

Attachment: DRI #4121 Final Report (2971 : 2nd Reading - Royal Tract Rezoning)

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Attachment: DRI #4121 Final Report (2971 : 2nd Reading - Royal Tract Rezoning)

1.0 Applicant Information

1.1 Jurisdiction and Local Government Information

City of Port Wentworth, Georgia

Jason Stewart

jstewart@portwentworthga.gov

912-999-2084

1.2 Applicant

SPH 21, LLC

chris@crossgateconsulting.com

404-358-1178

2.0 Project Description

2.1 Summary

DRI #4121 is a proposed 601,600 SF warehouse with associated infrastructure improvements. Parcel involved in this request for rezoning is [70975 01024](#). The action being taken by the local government at this time is rezoning.

3.0 Parcel Data

3.1 Size of Property

The existing property is approximately 48.67 gross acres.

3.2 General Location

The property is located within the City of Port Wentworth, Georgia, west of SR 21 (Augusta Road) and North of Jeffers Road.

4.0 Land Use Information

4.1 Site Map

The proposed site plan for the property is attached.

4.2 Built Features

Applicant states that no existing uses will be displaced if the proposed development is approved.

4.3 Future Development Map Designation (Character Area)

According to the City of Porth Wentworth Comprehensive Plan, the Character Area Map indicates that the project site is determined to be within the Suburban Character Area.

4.4 Zoning District

The existing zoning of the property in Port Wentworth is R-1.

5.0 Consistency and Compatibility Analysis

5.1 Consistency with the Comprehensive Plan

The [Port Wentworth Comprehensive Plan](#) was adopted in March of 2022. The Character Area map designates the project area as Suburban. According to the adopted Comprehensive Plan “[Suburban] areas include where typical types of suburban residential subdivision development have occurred or will occur in the future. Development within these areas is encouraged to include neo-traditional, conservation subdivision, or cluster development patterns”. The proposed warehouse and associated industrial zoning designation is therefore inconsistent with the adopted Comprehensive Plan and Character Area map.

6.0 Consistency with the Regional Plan of Coastal Georgia

6.1 Summary

Since 1964, the Coastal Regional Commission of Georgia (CRC) has been dedicated to serving the ten counties and thirty-five cities of Coastal Georgia. The CRC region encompasses Georgia’s eastern shore, stretching almost 100 miles from the northern tip of Savannah to the southern city of St. Marys. The region is home to historic towns, industries, military installations, major ports including the fourth busiest and fastest-growing container terminal in the U.S., and a thriving tourism trade, each driving some part of the region’s economic engine. Equally important, one finds abundant wildlife, beautiful beaches and over 2300 miles of tributaries and salt marsh.

In 2022, the CRC Council adopted the updated [Coastal Georgia Regional Plan](#) to satisfy planning requirements for regional commissions established under the Georgia Planning Act and the Department of Community Affairs’ Regional Planning Requirements. The plan

aims to secure a successful future for the region’s communities and achieve a common vision through comprehensive planning and collaborative implementation.

The CRC recommends that the applicant and local government review the Coastal Georgia Regional Plan to ensure that the proposed development is consistent with the Implementation Program in relation to:

- Water and Wastewater
- Stormwater
- Transportation
- Cultural and Historic Resources
- Natural Resources
- Regional Growth Management
- Economic Development
- Tourism
- Quality of Life
- Coastal Vulnerability and
- Governance

6.2 Regional Land Use Map

The Regional Land Use Map analyzes current development patterns in terms of urbanization. Three categories are used to represent these patterns: *conservation, rural, developing, and developed*.

Conservation areas are to be preserved in order to protect important regional resources or environmentally sensitive areas of the region.

Rural areas are not expected to urbanize or require urban services in the next 20 years. These areas are characterized by sparsely developed non-urban areas where the land is primarily used for farming, forestry, very low density residential or open space uses.

Developing areas are expected to urbanize and require provision of new urban services in the next 20 years. These services will include water and sewer service at a minimum.

Developed areas currently exhibit urban type development patterns, and currently have access to urban services. These areas typically include higher density residential areas, along with industrial and commercial developments.

According to the Regional Land Use Map, portions of the site within DRI #4121 are in a *rural* area, and portions are considered to be in a *developing* area. The rural area is geographically consistent with the existing flood zone along the Black Creek Tributary #2.

6.3 Area Requiring Special Attention (ARSA)

The Areas Requiring Special Attention Map was developed by considering the Regional Land Use Map and incorporating local comprehensive plans and the regionally important resources map to evaluate land use trends within the region and identify areas requiring special attention. These areas include:

- *Threatened Regionally Important Resources:* Areas where crucial natural or cultural resources are likely to be impacted by development.
- *Areas of Significant Natural Resources:* where Regionally Important Resources (green infrastructure, groundwater recharge areas, wetlands, priority forests, floodplains, and conservation areas) are likely to be threatened by development.
- *Rapid Development:* Areas where rapid development or change of land uses are likely to occur, especially where the rate of development has and/or may outpace the availability of community facilities and services, including transportation.
- *Redevelopment:* Areas in need of redevelopment and/or significant improvements to aesthetics or attractiveness.

The Areas Requiring Special Attention Defining Narrative includes lists of

- Recommended Development Patterns
- Types of Land Uses, and
- Implementation Measures

According to the ARSA Map, the location of DRI #4121 does contain *areas of significant natural resources*, which is an area where Regionally Important Resources (green infrastructure, groundwater recharge areas, wetlands, priority forests, floodplains, and conservation areas) are likely to be threatened by development, however areas to the south of the site fall into this category. The *area of significant natural resources* is geographically consistent with the existing flood zone along the Black Creek Tributary #2.

6.4 Green Infrastructure

As part of the Conservation area in the Coastal Land Use Map, areas of Green Infrastructure include, but are not limited to, wetlands, flood plains, streams, endangered species and critical habitat and prime agricultural lands, federal or state listed species. These areas include essential buffers along streams and wetlands, and water bodies that require riparian buffers. Identifying and preserving coastal Georgia's Green Infrastructure network will support biodiversity and functional ecosystems, protect native plant and animal species, lessen the disruption to natural landscapes, limit invasive species, which in turn will enhance and support water quality, provide for quality growth land use planning, support the implementation of stormwater management plans and regulations, encourage the creation of transportation corridors and connections, foster ecotourism, tourism and

outdoor recreation, enhance the business climate, and ensure a high quality of life for coastal residents. According to the Green Infrastructure Map, the location of DRI #4121 does show wetlands and [major floodplains](#), which would be impacted by the proposed development.

6.5 Wetlands

Wetlands and floodplain are indicated to be located within the development site. According to the [National Wetlands Inventory](#) there is a 4.34 acre Freshwater Forested /Shrub Wetland habitat is classified as a PFO1A, generally adjacent to the Black Creek Tributary #2. Development (as shown on preliminary, conceptual drawings) appears to intrude upon both wetlands and flood plain. Mitigation of impact will be fully addressed once the precise scope and location of development is known.

6.6 Coastal Stormwater Supplement

The CRC would recommend that the City of Port Wentworth adopt the CSS Ordinance and/or ensure the Coastal Stormwater Supplement (CSS) is implemented for stormwater management.

The project will utilize ponds and buffering pursuant to local, state, and federal regulations.

7.0 Comprehensive Economic Development Strategy (CEDS)

7.1 Summary

The Coastal Regional Commission serves as the Economic Development District (EDD) for the region's six coastal counties and four inland counties as designated by the U.S. Department of Commerce, Economic Development Administration (EDA).

In accordance with EDA, a [Comprehensive Economic Development Strategy \(CEDS\)](#) is updated and submitted every five years. This important document sets the regional economic development planning process for 2017–2022. The CEDS brings together public and private sectors to create an economic road map to strengthen Coastal Georgia's regional economy.

The CEDS documents provides an analysis of the region's economy which was used as the guide for establishing regional goals and objectives, developing, and implementing a plan of action; and identifying investment priorities and funding sources. By implementing this strategy, the region remains eligible for economic development assistance investment from EDA. This investment can help fund local infrastructure projects, technology-led economic development projects, and strategies to respond to sudden and severe economic situations.

7.2 Population and Employment Trends

County	2000	2010	2020	2030
Chatham	232,048	265,896	304,482	339,092

Source: U.S. Census; Georgia Coast 2030: Population Projections for the 10-County Region

The county’s population is expected to grow from its 2000 level of 232,048 to 339,092 by 2030, according to the US Census Bureau. The Coastal Region’s population in 2030 is projected to be 962,956, which is an increase from the 2000 level of 558,350. Savannah and Chatham County represent over a third of all the residents of coastal Georgia.

The Coastal Georgia region supported 312,400 jobs in 2000 and is expected to support 435,050 jobs in 2030. The Chatham County unemployment rate in December of 2023 was 2.6 percent¹.

7.3 Economic Impact

The estimated value of the project at build-out is \$ 72,000,000. The estimated annual local tax revenues likely to be generated by the proposed development is \$ 1,036,800. The applicant indicates that the regional work force is sufficient to fill the demand created by the proposed project and that it will not displace any existing land uses.

8.0 CRC Resources

8.1 Georgia Coastal Regional Character Design Guidelines

[The Georgia Coastal Regional Character Design Guidelines](#) applies primarily to design elements and improvements that influence the public realm. Generally, focus on those influences that impact viewshed, identity, microclimate, sustainability and in limited cases public safety. It should be understood that these guidelines are recommendations only, not development standards, legal ordinances, or conditions that constitute approval or disapproval. They are a suggested framework to meet the State of Georgia’s regional planning goals and implied procedures to implement portions of the *Coastal Georgia Regional Plan*.

The articulation of mass, form, materials, theme, and design methodologies are the primary constituents of the guidelines. The public realm is best represented as those areas associated with public rights-of-way and public space. Highways, streets, roads, corridors, trails, thoroughfares, greenways, blueways and parks are the viewpoint. All areas adjacent to these elements are the viewshed: development parcels, road shoulders and the edges of

¹ Federal Reserve Bank of St. Louis. (2023) FRED, federal reserve economic data. St. Louis, MO. [Unemployment Rate in Chatham County, GA \(GACHAT9URN\) | FRED | St. Louis Fed \(stlouisfed.org\)](#)

private and public lands. In its simplest form, the guideline elements addressed from the viewpoint to the viewshed are as follows:

- Utilizing Vegetation and Landscape
- Signage
- Pavement Surfaces
- Lighting
- Enclosures, Walls, and Fences
- Accessory Structures

According to The Coastal Character Design Guidelines, the proposed development is located in the *Tidewater Hearth* Character Region and may utilize the Character Key for *Suburban Residential*.

8.2 Regional Commission Recommendations

After reviewing the materials provided, the proposed development is inconsistent with [Port Wentworth's adopted Comprehensive Plan](#). The parcel in question currently has a Suburban Character Area designation, and the plan states that "it will be important to ensure new development adheres to the desired character and vision for this area". The proposed development does not adhere to the desired character and vision for the Suburban Character Area.

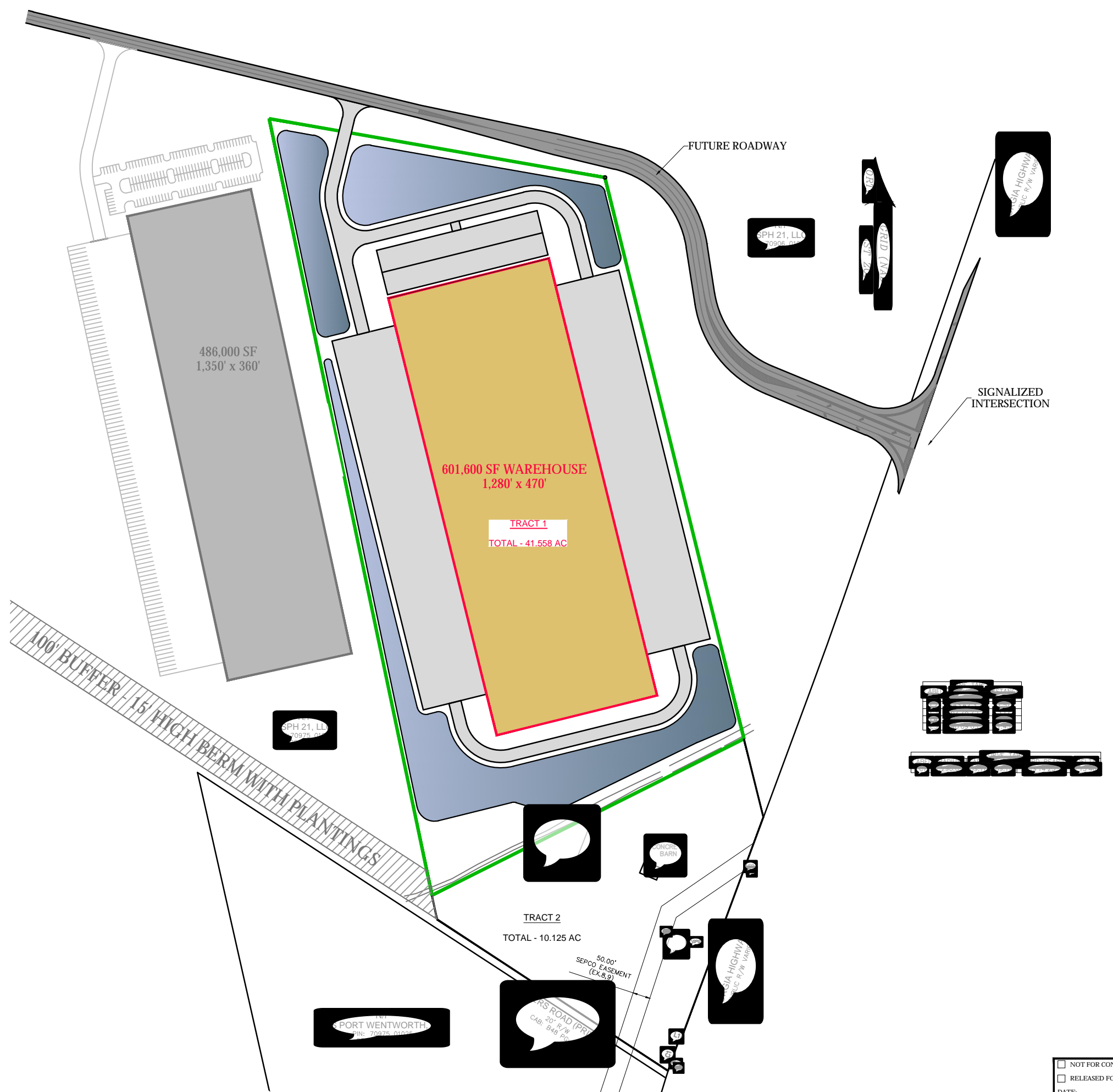
The proposed development is also inconsistent with the adopted Regional Comprehensive Plan, as most of the parcel is in a *rural area*, and an *area of significant natural resources*. Additionally, as shown the proposed development will impact an existing wetland and flood zone along the Black Creek Tributary #2, and may impact historical drainage patterns and flows, especially during a major flood event.

8.3 Public Comment

Public Comment is attached.

For technical assistance contact Simon Hardt, Senior Regional Planner at shardt@crc.ga.gov

CONCPET PLAN – APPLICANT PROVIDED



Kern & Co., LLC
 Consulting Engineers • Land Surveyors • Land Planners
 Architects • Landscape Architects • Environmental Scientists
 7 Mill Court (31416) P.O. Box 15179 (31146) Savannah, Georgia (912) 354-
 319 Walnut Street Suite A, Statesboro, Georgia, 30458 Phone: (912) 225-

STAMP:

STAMP:

ORIGINAL RELEASED FOR CONSTRUCTION DATE:

NO	DATE	REVISION

PLANS OF
 ROYAL TRACT
 AT
 GA HWY 21 - PORT WENTWORTH, GA

DRAWING TITLE
 SITE PLAN

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File: 22 Dec 2023 - 8:56am czl1000r
 DRAWING PATH: G:\2020\200230.000\dwg\Royal - Wetland Exhibit 8.30.23.dwg

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CHARACTER AREA MAP

Character Areas

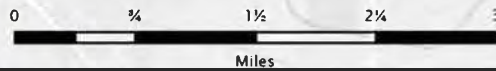
City of Port Wentworth Comp Plan



PIN 7-0975-01-024









Port Wentworth



Published: 6/21/2021

Character Areas

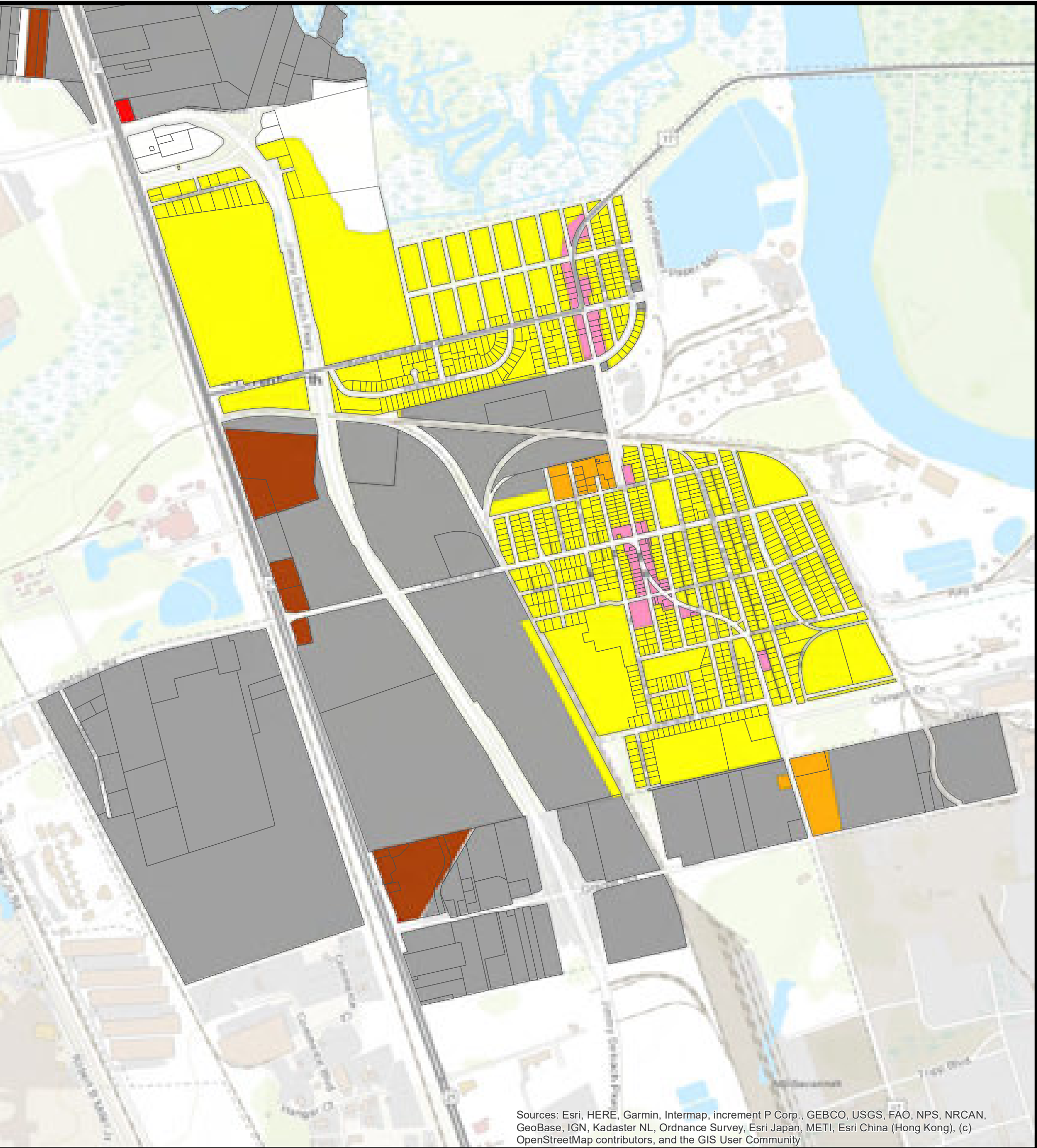
-  Highway Commercial Interchange Area
-  Industrial Park

-  Open Space
-  Rural Neighborhood
-  Suburban
-  Traditional Village



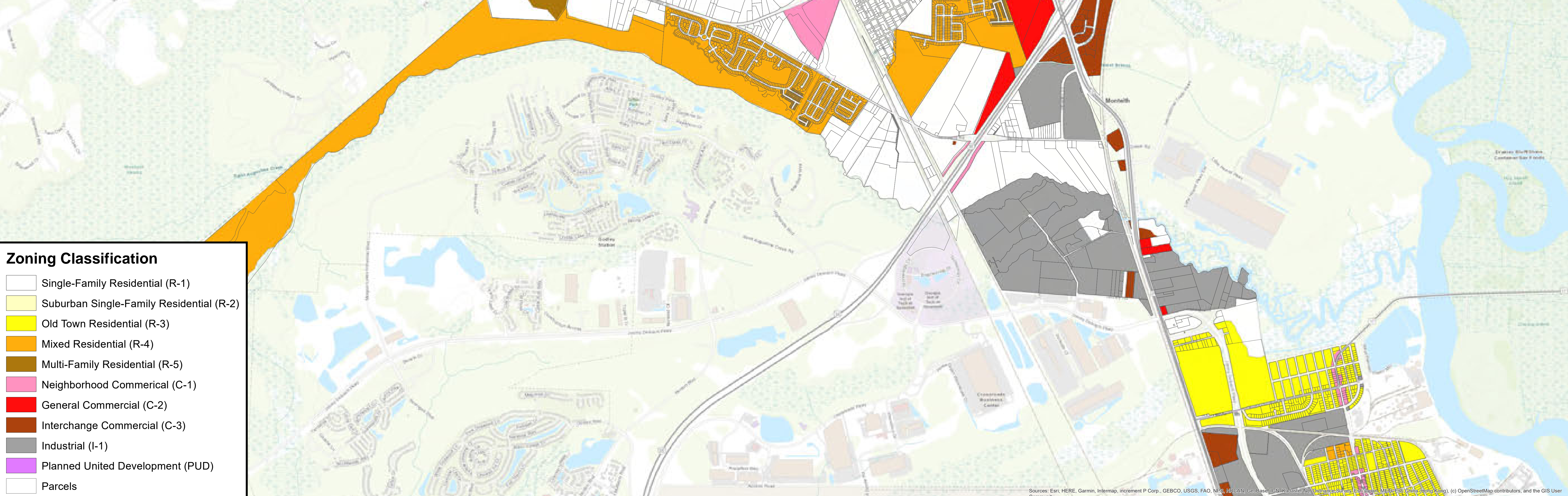
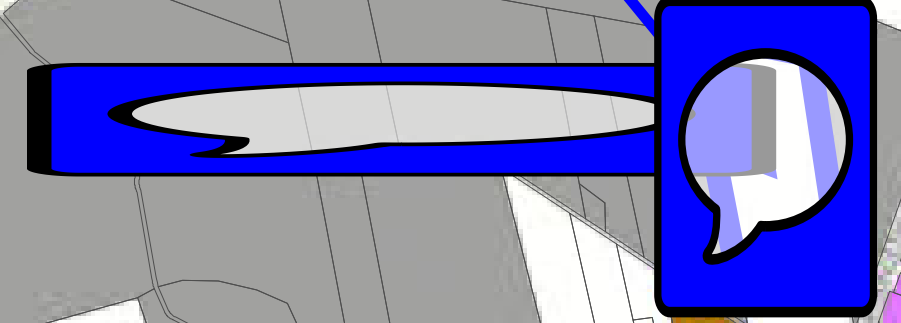
ZONING DISTRICTS MAP

CITY OF PORT WENTWORTH PROPOSED ZONING MAP



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

PIN 7-0975-01-024



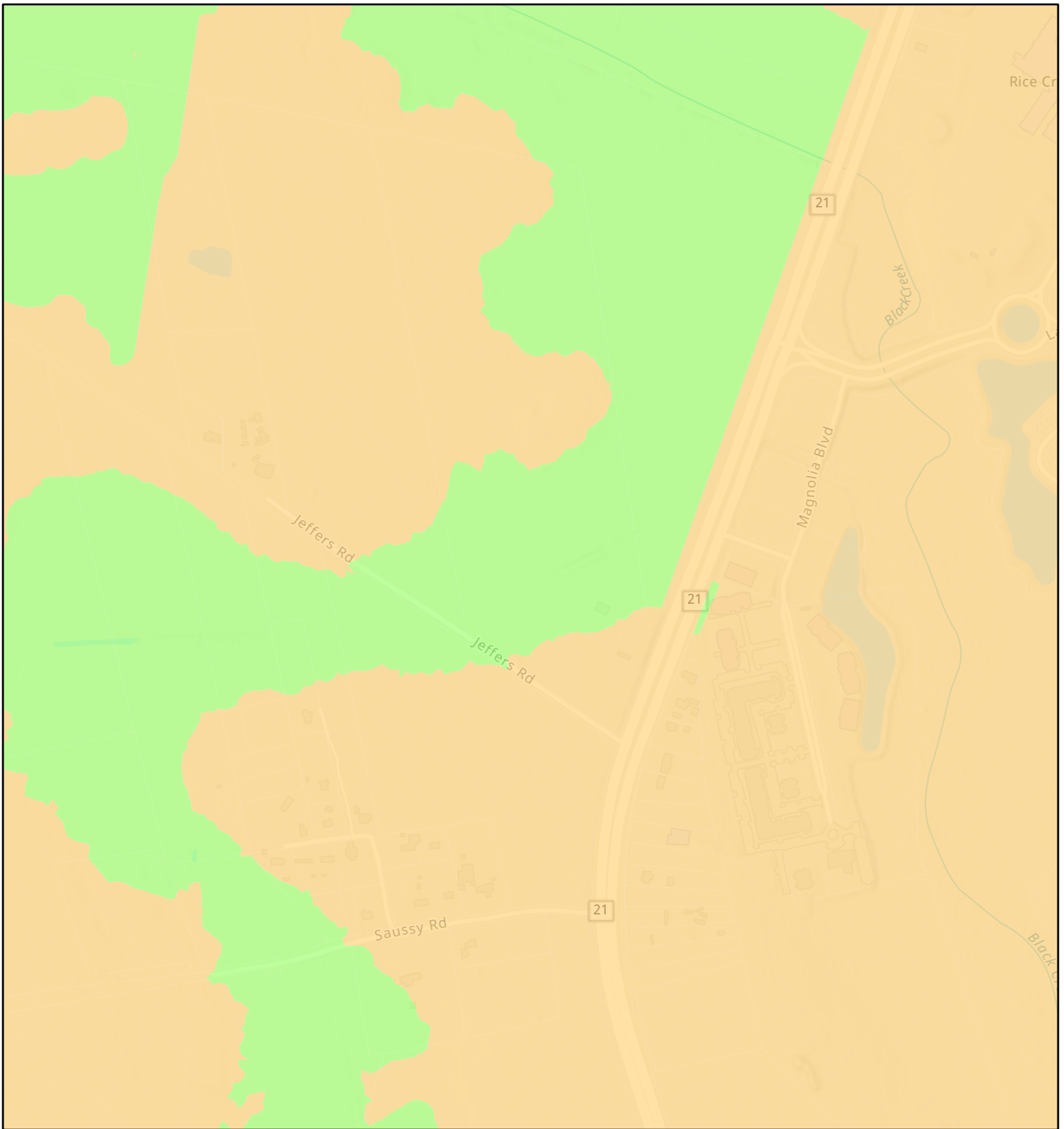
Zoning Classification

	Single-Family Residential (R-1)
	Suburban Single-Family Residential (R-2)
	Old Town Residential (R-3)
	Mixed Residential (R-4)
	Multi-Family Residential (R-5)
	Neighborhood Commercial (C-1)
	General Commercial (C-2)
	Interchange Commercial (C-3)
	Industrial (I-1)
	Planned United Development (PUD)
	Parcels

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

REGIONAL IMPACT MAPS

CRC DRI #4121 Future Development Map

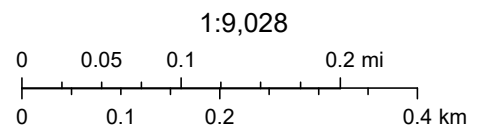


Attachment: DRI #4121 Final Report (2971 : 2nd Reading - Royal Tract Rezoning)

1/30/2024, 12:33:29 PM

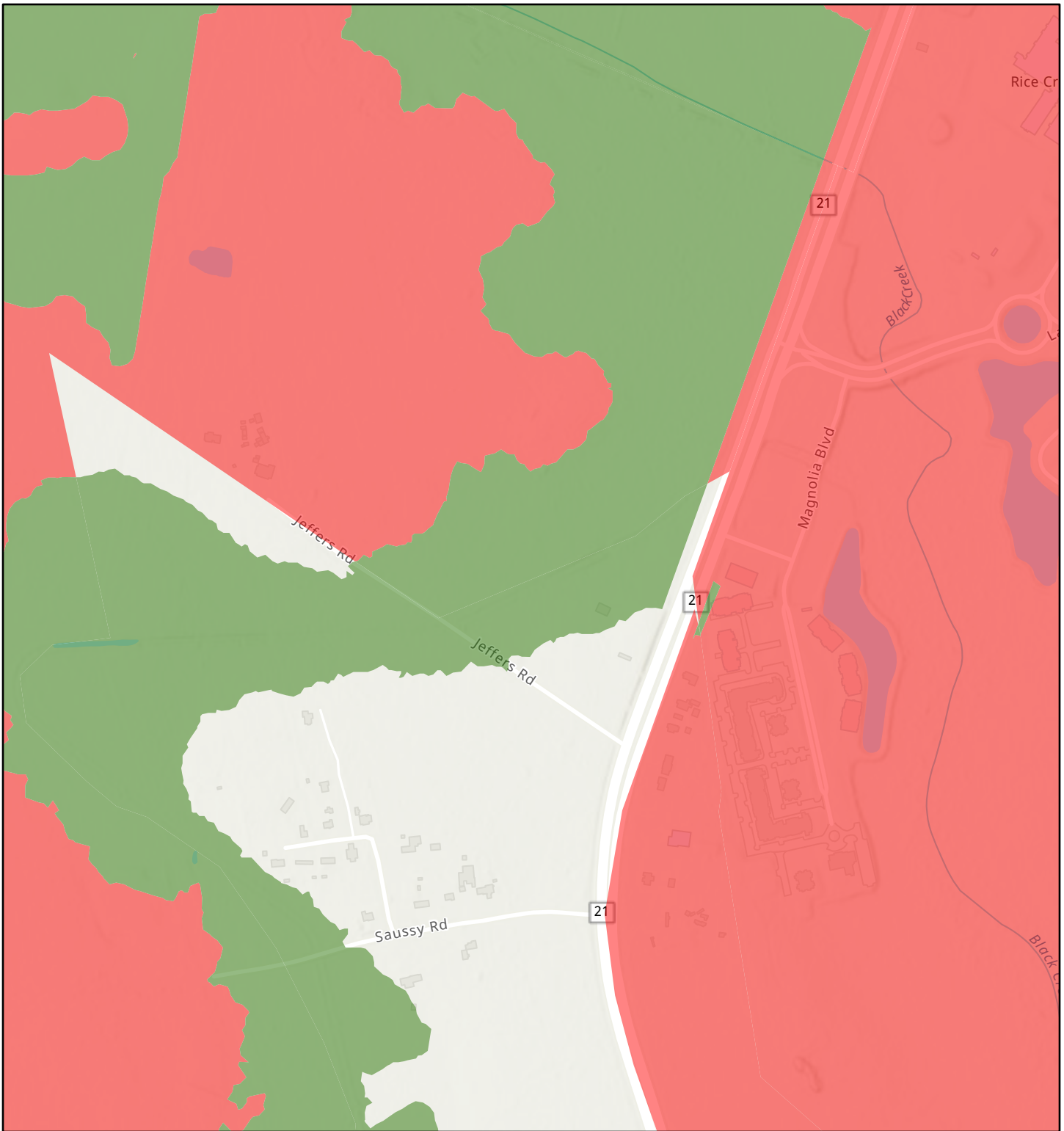
Future Development

- Developing
- Rural



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CRC DRI #4121 ARSA Map

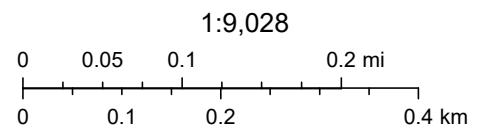


Attachment: DRI #4121 Final Report (2971 : 2nd Reading - Royal Tract Rezoning)

1/30/2024, 12:37:24 PM

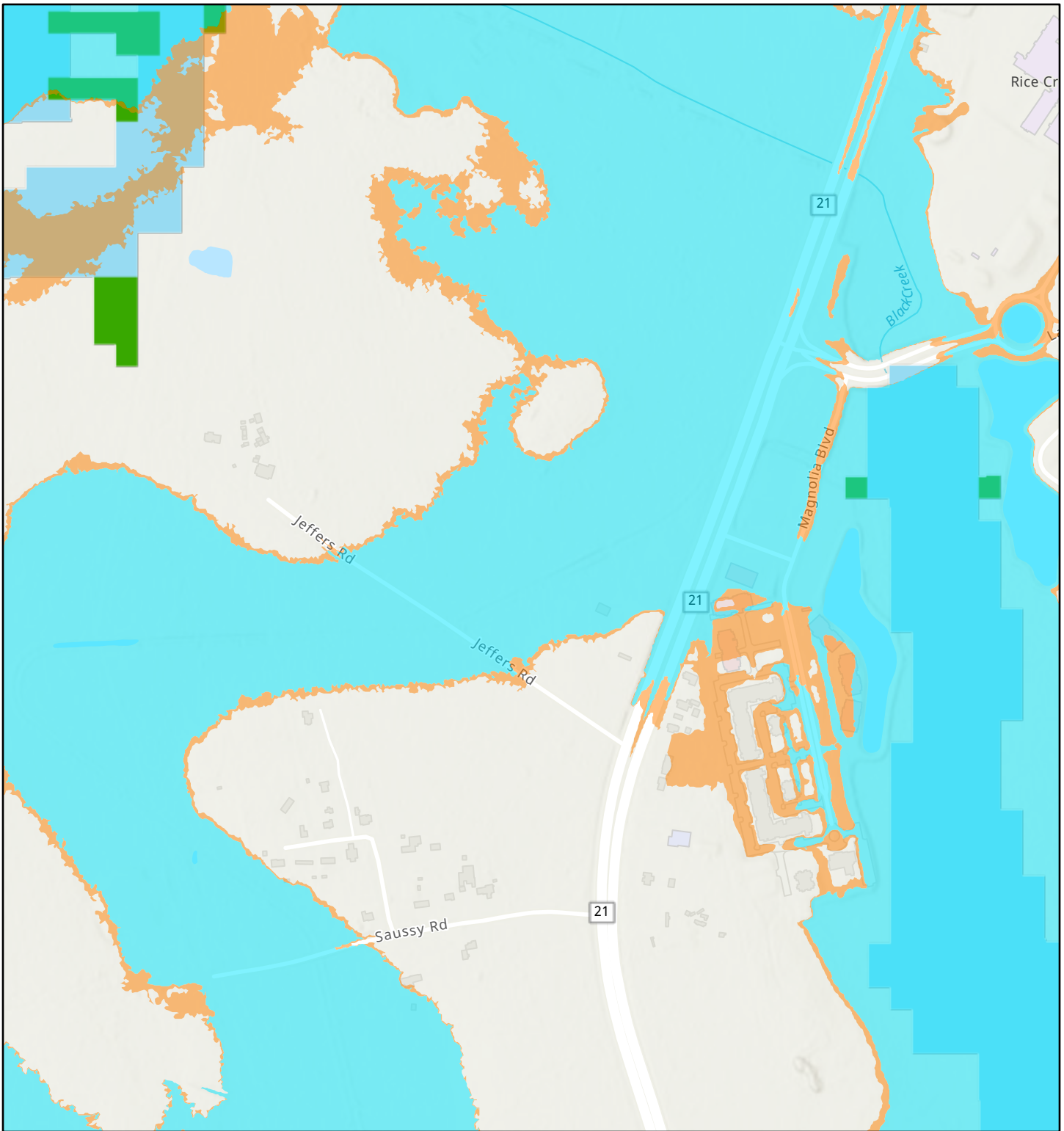
ARSA - Areas Requiring Special Attention

- Areas of Rapid Development
- Areas of Significant Natural Resources



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CRC DRI #4121 Green Infrastructure Map

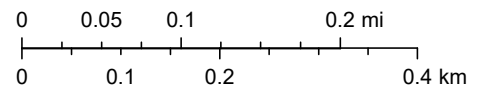


Attachment: DRI #4121 Final Report (2971 : 2nd Reading - Royal Tract Rezoning)

1/30/2024, 12:38:35 PM

1:9,028

- | | |
|--|---|
| Green Infrastructure Class | ■ Sites |
| ■ Core | FEMA Flood Zones |
| ■ Corridor | ■ 1% Annual Chance Flood Hazard |
| ■ Multi-Use Buffer Areas | ■ 0.2% Annual Chance Flood Hazard |



CRC, Georgia Forestry, Esri, NASA, NGA, USGS, FEMA, Esri Community Maps Contributors, Savannah Area GIS, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

PROPERTY RECORD CARDS

Chatham County, GA

Summary

Parcel Number 70975 01024
Location Address 6510 HIGHWAY 21
 PORT WENTWORTH GA 31407
Legal Description LOTS D E F G & PT OF LOT J OF THE KINCHLO ESTATE
Property Class R5 - Residential Large Tracts
Neighborhood 23080.25 - W080.25 W. SIDE (POOLER) 20 + AC
Tax District (070) PORT WENTWORTH
Zoning R-A
Acres 48.67
Homestead N
Exemptions

[View Map](#)

Owner

[ROYAL RONALD A](#)
 6510 HWY 21
 PORT WENTWORTH GA 31407

Assessment

	2023 Certified	2022 Certified	2021 Certified	2020 Certified	2019 Certified
LUC	RES	RES	RES	RES	RES
Class	R5	R5	R5	V5	V5
+ Land Value	\$845,200	\$845,200	\$566,900	\$566,900	\$566,900
+ Building Value	\$0	\$0	\$0	\$0	\$0
= Total Value	\$845,200	\$845,200	\$566,900	\$566,900	\$566,900
Assessed Value	\$338,080	\$338,080	\$226,760	\$7,040	\$7,040

Valuation Notice

[2023 Assessment Notice \(PDF\)](#)

Land

Description	Land Type	Land Code	Square Feet	Acres	Front Foot
OBSERVED WETLANDS	A	16O	180,774	4.1500	0
AG/COMB	A	904	1,939,291	44.5200	0

Total Acres:
 48.6700

Sales

Sale Date	Sale Price	Instrument	Deed Book	Deed Page	Sales Validity	Grantor	Grantee	Document #
8/10/1994	\$85,000	WD	168T	0332	Unqualified	ROYAL BROTHERS INC	ROYAL RONALD A	147C0438
9/1/1990	\$60,000				Unqualified			147C0438

Attachment: DRI #4121 Final Report (2971 : 2nd Reading - Royal Tract Rezoning)

Map



No data available for the following modules: Comp Search (Residential), Comp Search (Commercial), Comp Search (Commercial), Residential Improvement Information, Additions, Commercial Improvement Information, Interior/Exterior Information, Accessory Information, Other Features, Sketches, Permits, Photos.

Chatham County makes every effort to produce and publish the most current and accurate information possible. However, the maps and data are produced for information purposes only, and are NOT surveys nor legal records. No warranties, expressed or implied, are provided for the data and information herein, their use, or their interpretation.
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
[Last Data Upload: 1/30/2024, 10:08:50 AM](#)

Contact Us

PUBLIC COMMENTS

The City of Savannah has the following two (2) responses regarding the impact of this development project. I have also included the POC for each department. Thank you.

Water Resources, would like to make the following statements regarding the regional impact of the development described in DRI#4121:

- As the primary source of potable water for Port Wentworth, Savannah would be supplying the additional demand to this site.
- The listed demand .00310MGD (2.15gpm) is generally consistent with similar developed properties nearby that are direct customers of Savannah.
- The portion of the Savannah potable water system that provides water to Port Wentworth is near its full capacity while maintaining ability to always provide sufficient flows and pressures to all customers. A schedule for future demand has been developed with Port Wentworth as a part of the 4th amendment to the water & sewer agreement (1/18/24). As this development is likely not part of the demand accounted for in the current demand schedule, the City of Savannah cannot commit to providing the estimated additional supply to Port Wentworth for this or other similar developments without an update to Port Wentworth's water demand schedule. Such an update would be based on reasonable estimates of the timing of development, timing of upgrades to Savannah's system to provide additional supply, and potential cost sharing arrangements for any necessary upgrades. While this individual demand is small, it is the position of Savannah that demand growth projections must be packaged together and built into demand schedules accompanied by supply assessment in this way to prevent demand growth from overtaking supply over time.

James Laplander, PE
 Director of Water and Sewer Planning and Engineering
 Office: (912) 651-6573
 Cell: (912) 658-6973
jlaplander@Savannahga.gov

Traffic Engineering Department

- It is my recommendation a traffic study/traffic impact analysis be prepared for review by the local government and state agency.
- SR 21 in this section has over 37,900 vehicles on a daily average. Signalization without analysis is not recommended.

Kenneth B Cullens Jr
 Civil Engineer
 Traffic Engineering
 Phone: (912) 525-3100 Ext. 6461
 Fax: (912) 525-1535
kenneth.cullens@savannahga.gov

**AFFECTED PARTIES THAT RECEIVED NOTIFICATION OF THIS DRI AND
FINAL REPORT**

Attachment: DRI #4121 Final Report (2971 : 2nd Reading - Royal Tract Rezoning)

Email address	First name	Last name
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hall@thempc.org	Laura	Hall
recept@planters.net	Lori	Boulineau
achood@dot.ga.gov	Alan	Hood
jmcoughlin@co.camden.ga.us	James	Coughlin
pmonahan@savannahga.gov	Pat	Monahan
mmassey@savannahga.gov	Mark	Massey
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president@camdenchamber.com	Allison	Shores
lameisha.kelly@effinghamhospital.org	LaMeisha	Kelly
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ezraprice@bellsouth.net	Ezra	Price
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jrhunter@hungerpiller.com	Jimmy	Hungerpiller
kberry@co.camden.ga.us	Katie	Bishop
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kcroasmun@bryan-county.org	Kirk	Croasmun
klee@cityofrincon.com	Ken	Lee
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susdev@gate.net	Dave	Kyler
tratcliffe@hinesvillelaw.com	Tom	Ratcliffe
ttollison@seda.org	Trip	Tollison
aburns@crc.ga.gov	Allen	Burns
joey.brown@libertycountyga.com	Joey	Brown
alscott@chathamcounty.org	Al	Scott
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btaylor@bryan-county.org	Ben	Taylor
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aclement@bryan-county.org	Amanda	Clement
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ddenion@thunderboltga.org	Deathe	Denion
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vwhite@bullochcounty.net		
rnewton@bullochcounty.net		
csteinmann@bullochcounty.net		
landon@statesborochamber.com		
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gbbishop@camdencountyga.gov		
dhharris@co.camden.ga.us		
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mpadgett@goldenisesdev.com		
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mainlandplanninglist@glynncounty-ga.gov		
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assessors@mcintoshcounty-ga.gov		
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zoning@planters.net		
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kris@ogeecheeriverkeeper.org		
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rcarpenter@richmondhill-ga.gov	Russ	Carpenter



City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 04/18/24 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID # 2970)

DOC ID: 2970

Consideration of the 2nd Reading of an application submitted by Steven Campisi as Agent for HP-221120 Port Wentworth, LLC, requesting to rezone (+/-)38.8 of 77.7 acres from R-1 to R-5, to allow for zoning unification for an approved multifamily development. PIN # 7-0975-01-024, located in the 2nd Council District, on Georgia Highway 21.

Issue/Item:

Consideration of the 2nd Reading of an application submitted by Steven Campisi as Agent for HP-221120 Port Wentworth, LLC, requesting to rezone (+/-)38.8 of 77.7 acres from R-1 to R-5, to allow for zoning unification for an approved multifamily development. PIN # 7-0975-01-024, located in the 2nd Council District, on Georgia Highway 21.

Background:

- A (+/-) 38-acre portion of this property was rezoned from R-A to P-C-1 in 2008 to allow for a Planned Neighborhood Business District.
- The commercial development did not take place and the same portion of the property was then rezoned to P-R-M for multifamily residential development.
- As a subdivision plat was not a condition of either rezoning, the parcel has been "split-zoned" since 2008, leaving (+/-) 39 acres in the R-A (now R-1) zoning district.
- A site plan for Marion Village Apartments was approved at the September 22, 2022 City Council meeting.

Facts and Findings:

- The approved site plan shows multifamily development throughout the 77.7-acre parcel, multifamily development is not permitted in the R-1 zoning district.
- While there is concurrence as to the location of the R-5 portion of the tract, since no recorded plat of the (+/-) 38 acres has been recorded, there is no legal boundary between zoning districts.
- To continue development of Marion Village Apartments, zoning of the entire 77.7-acre parcel must be R-5.

Funding:

N/A

Recommendation:

This rezoning request is a necessary step to continue a previously approved development.

At the March 11, 2024 meeting, the Planning Commission recommended approval.

ATTACHMENTS:

- ZMA MARION VILLAGE 2024 - Application (PDF)

- ZMA MARION VILLAGE 2024 - Deed (PDF)
- ZMA MARION VILLAGE 2024 - APO (CSV)
- #2 (PDF)
- ZMA MARION VILLAGE 2024 - Site Plan (PDF)

APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

Applicant: Steven Campisi Phone # (407) 794-0434

Mailing Address: 101 S New York Ave, Unit 211 Winter Park, FL 32789

Property Owner: HP-221120 Port Wentworth, LLC Phone # (407) 794-0434

Use back if more than one owner

Owner Address: 101 S New York Ave, Unit 211 Winter Park, FL 32789

PIN #(s): 71017 01014 # of Acres 38.8

Zoning Classification: Present R-1 Requested R-5

Use of Property: Present Undeveloped Requested Multi-Family

YES If the requested change is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

If the requested change is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

This proposed zoning change should be made in order to allow for a continuous zoning standard throughout the entirety of the property.

Attach the following documents:

- 1. Written legal description of the property (e.g. copy of deed) – full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of property owners within 300 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale. Submit three (3) copies of in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
4. Site Plan of proposed use of property. Submit three (3) copies in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorizations of Attorney form.
8. Filing fee of \$500.00 + \$50.00 per acre + \$75.00 Administrative Fee, payable to the City of Port Wentworth.

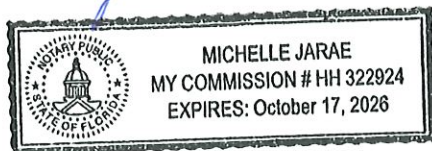
APPLICATION MUST BE FILED 20 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 8 day of February, 2024.

Signature of Applicant

Notary Public



Updated 8/25/2023

Attachment: ZMA MARION VILLAGE 2024 - Application (2970 : 2nd Reading - Marion Village Rezoning)

DISCLOSURE OF FINANCIAL INTERESTS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

The undersigned official of the City of Port Wentworth has a property interest (Note 1) in said property as follows:

The undersigned official of the City of Port Wentworth has financial interest (Note 2) in a business entity (Note 3) which has property interest in said property, which financial interests as follows:

The undersigned official of the City of Port Wentworth has a member of the family (Note 4) having a property interest in said property or a financial interest in a business entity which has a property interest in said property, which family member and property interest or financial interest are as follows:

-
- Note 1: Property Interest – Direct ownership of real property, including any percentage of ownership less than total ownership
 - Note 2: Financial Interest – All direct ownership interest of the total assets or capital stock of a business entity where such ownership interest is 10 percent or more
 - Note 3: business entity – Corporation, partnership, limited partnership, firm, enterprise, franchise, association or trust
 - Note 4: Member of family – Spouse, mother, father, brother, sister, son, or daughter
-

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this _____ day of _____, 20____.

Signature of Official

Notary Public

Updated 8/25/2023

Attachment: ZMA MARION VILLAGE 2024 - Application (2970 : 2nd Reading - Marion Village Rezoning)

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

Within the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each campaign contribution.

NONE

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this
8 day of February, 2024.

[Signature]
Signature of Applicant

[Signature: Michelle Jarae]
Notary Public



AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning or Variance


I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Steven Campisi

Address: 101 S New York Ave, Unit 211 Winter Park, FL 32789

Telephone Number: (407) 794-0434



Signature of Owner

Personally appeared before me
Steven Campisi

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

Michelle Jarae
Notary Public

2/8/2024
Date



February 28, 2023

HP-221120 Port Wentworth, LC
101 South New York Ave.; Ste. 211
Winter Park, FL 32789

RE: WARRANTY DEED AND TITLE POLICY TRANSMITTAL
File: 22-00542-31/dw

To Whom It May Concern:

It is our pleasure to provide you with the original Warranty Deed from your closing. Since this is the original of an important document, we suggest that you keep it in a safe place. If you misplace the document or for any reason it is destroyed, you may obtain a certified copy for a nominal charge by going to the Chatham County Courthouse, 3rd Floor, Office of the Superior Court. Also enclosed is the Final Title Policy.

It has been our pleasure to assist you in this transaction. In the event that a need for legal representation arises in the future, we would be happy to talk with you. The fifteen attorneys in our firm practice in a range of matters such as Personal Injury Claims and Defense Work, Residential and Commercial Real Estate, Estate Planning and Representation, Business Representation, Criminal Defense, Domestic Relations and Civil Litigation matters.

We wish you continued success and good fortune as you enjoy your newly acquired property.

Sincerely,

Stuart R. Halpern
For the Firm

SRH/tdh
Enclosures

Attachment: ZMA MARION VILLAGE 2024 - Deed (2970 : 2nd Reading - Marion Village Rezoning)

Type: WD
Kind: WARRANTY DEED
Recorded: 2/28/2023 3:49:00 PM
Fee Amt: \$2,563.40 Page 1 of 4
Transfer Tax: \$2,538.40
Chatham, Ga. Clerk Superior Court
Tammie Mosley Clerk Superior Court

Participant ID(s): 8863185331,
0466245412

BK 3034 PG 504 - 507

Hillpointe 77-00547-21
After Recording Please Return To:
Weiner, Shearouse, Weitz,
Greenberg & Shawe, LLP
Attn: Stuart R. Halpern, Esq.
14 E. State St.
Savannah, GA 31401

STATE OF GEORGIA)
)
COUNTY OF CHATHAM)

LIMITED WARRANTY DEED

THIS INDENTURE is made this 28th day of **February, 2023**, by and between **AMERIDEVELOPMENT POOLER, L.L.C.**, a Georgia limited liability company, as party of the first part, hereunder called Grantor, and **HP-221120 Port Wentworth, LLC**, a Georgia limited liability company, as party of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH:

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) in hand paid to Grantor by Grantee at and before the execution, sealing and delivery hereof, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto Grantee, and the successors, legal representatives and assigns of Grantee, all that certain tract or parcel of land lying and being in Chatham County, Georgia, being more particularly described on Exhibit "A", attached hereto and incorporated herein by reference (the "Property"), subject to the matters set forth on Exhibit "B" attached hereto and incorporated herein by reference (collectively, the "Permitted Exceptions").

TO HAVE AND TO HOLD the Property, together with any and all of the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of Grantee forever, in fee simple, subject only to the Permitted Exceptions.

GRANTOR WILL WARRANT and forever defend the right and title to Property unto Grantee, and the successors, legal representatives and assigns of Grantee, against the claims of all persons claiming by, through or under Grantor, but not otherwise, subject only to the Permitted Exceptions.

[SIGNATURE ON FOLLOWING PAGE]

Attachment: ZMA MARION VILLAGE 2024 - Deed (2970 : 2nd Reading - Marion Village Rezoning)

ePN Recorded Electronically
 ID 30341504507
 County Chatham
 Date 2/28/23
 Time 3:49

Hillpointe 77-00547-31
After Recording Please Return To:
 Weiner, Shearouse, Weitz,
 Greenberg & Shawe, LLP
 Attn: Stuart R. Halpern, Esq.
 14 E. State St.
 Savannah, GA 31401

STATE OF GEORGIA)
)
 COUNTY OF CHATHAM)

LIMITED WARRANTY DEED

THIS INDENTURE is made this 28th day of **February, 2023**, by and between **AMERIDEVELOPMENT POOLER, L.L.C.**, a Georgia limited liability company, as party of the first part, hereunder called Grantor, and **HP-221120 Port Wentworth, LLC**, a Georgia limited liability company, as party of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH:

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) in hand paid to Grantor by Grantee at and before the execution, sealing and delivery hereof, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto Grantee, and the successors, legal representatives and assigns of Grantee, all that certain tract or parcel of land lying and being in Chatham County, Georgia, being more particularly described on Exhibit "A", attached hereto and incorporated herein by reference (the "Property"), subject to the matters set forth on Exhibit "B" attached hereto and incorporated herein by reference (collectively, the "Permitted Exceptions").

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GRANTOR WILL WARRANT and forever defend the right and title to Property unto Grantee, and the successors, legal representatives and assigns of Grantee, against the claims of all persons claiming by, through or under Grantor, but not otherwise, subject only to the Permitted Exceptions.

[SIGNATURE ON FOLLOWING PAGE]

IN WITNESS WHEREOF, Grantor has caused its duly authorized representative to execute, seal and deliver this indenture, on the day and year first written above.

GRANTOR:

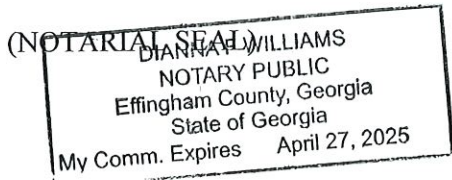
AMERIDEVELOPMENT POOLER, L.L.C., a Georgia limited liability company

By: [Signature] (SEAL)
PANKAJ PATEL, Manager and Member

Signed, sealed and delivered in the presence of:

[Signature]
Unofficial Witness

[Signature]
Notary Public
My Commission Expires: _____



Attachment: ZMA MARION VILLAGE 2024 - Deed (2970 : 2nd Reading - Marion Village Rezoning)

EXHIBIT "A"**LEGAL DESCRIPTION**

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND CONTAINING 77.7 ACRES LYING AND BEING IN THE 8TH G.M. DISTRICT, CHATHAM COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A POINT LOCATED AT THE INTERSECTION OF HODGEVILLE ROAD, AND GEORGIA HIGHWAY 30; THENCE SOUTH 74 DEGREES 35 MINUTES 37 SECONDS WEST A DISTANCE OF 178 FEET TO A 1" IPF LOCATED ON THE SOUTHER RIGHT-OF-WAY GEORGIA HIGHWAY 30 THE POINT OF BEGINNING; THENCE DEPARTING SAID RIGHT-OF-WAY LINE SOUTH 12 DEGREES 31 MINUTES 51 SECONDS WEST A DISTANCE OF 950.29 FEET TO A 1" IPF; THENCE SOUTH 34 DEGREES 31 MINUTES 51 SECONDS WEST A DISTANCE OF 580.01 FEET TO A 5/8" REBAR; THENCE NORTH 87 DEGREES 28 MINUTES 09 SECONDS WEST A DISTANCE OF 2160.00 FEET TO A 5/8' REBAR; THENCE NORTH 14 DEGREES 28 MINUTES 09 SECONDS WEST A DISTANCE OF 698.53 FEET TO A 5/8' REBAR; THENCE NORTH 49 DEGREES 06 MINUTES 15 SECONDS EAST A DISTANCE OF 1050.53 FEET TO A 5/8" REBAR LOCATED ON THE SOUTHERN RIGHT-OF-WAY LINE OF GEORGIA HIGHWAY 30; THENCE CONTINUING ALONG THE SOUTHERN RIGHT-OF-WAY LINE OF GEORGIA HIGHWAY 30 A LONG A CURVE TO THE LEFT AN ARC LENGTH OF 319.03 FEET TO A 5/8" REBAR, SAID CURVE HAING A RADIUS OF 4979.56 FEET WITH A CHORD BEARING SOUTH 86 DEGREES 54 MINUTES 06 SECONDS EAST, WITH A CHORD LENGTH OF 318.98 FEET; THENCE CONTINUING THE SOUTHERN RIGHT-OF-WAY LINE OF GEORGIA HIGHWAY 30 SOUTH 52 MINUTES 30 SECONDS WEST A DISTANCE OF 10.00 FEET TO A CONCRETE RIGHT-OF-WAY MONUMENT; THENCE CONTINUING ALONG THE SOUTHERN RIGHT-OF-WAY LINE OF GEORGIA HIGHWAY 30 SOUTH 89 DEGREES 07 MINUTES 30 SECONDS EAST A DISTANCE OF 1755.13 FEET TO A 1" IPF THE POINT OF BEGINNING. THIS 77.7 ACRES BEING SHOWN ON A MAP OR PLAT DESCRIBED AS "PARCEL A & B BEING A SUBDIVISION OF A PORTION OF THE GODLEY 2 TRACT, 8TH G.M. DISTRICT, PORT WENTWORTH, CHATHAM COUNTY, 9TH & 1159TH G.M. DISTRICT, EFFINGHAM COUNTY, GEORGIA", SURVEYED FOR ROY PATEL BY WILLIAMS & ASSOCIATES, INC., LAND SURVEYORS, DATED NOVEMBER 14, 2006, AND RECORDED IN PLAT BOOK 37-S, PAGE 28A, CHATHAM COUNTY, GEORGIA PUBLIC RECORDS. FOR A MORE PARTICULAR DESCRIPTION, REFERENCE IS MADE TO THE AFOREMENTIONED PLAT FILED OF RECORD.

THIS BEING THE SAME PROPERTY DEEDED TO AMERIDEVELOPMENT POOLER, LLC, A GEORGIA LIMITED LIABILITY COMPANY BY VIRTUE OF THAT CERTAIN QUIT CLAIM DEED FROM HIGHWAY 30 INVESTMENTS, LLC, DATED JULY 15, 2019, FILED FOR RECORD JULY 18, 2019, RECORDED IN DEED BOOK 1673, PAGE 109, CHATHAM COUNTY, GEORGIA RECORDS.

PIN: 7101701014

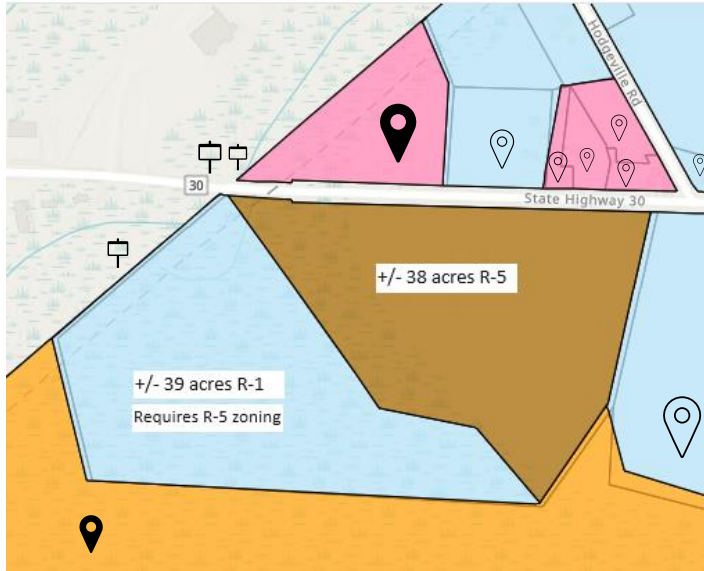
EXHIBIT "B"**PERMITTED EXCEPTIONS**

1. All taxes for the year 2023 and subsequent years, not yet due and payable.
2. Rights of upper and lower riparian owners in and to the waters of creeks and branches crossing or adjoining the property, and the natural flow thereof, free from diminution or pollution
3. Rights of the United States of America under Section 10 of the Rivers and Harbor Act of 1899 (33 USC 403) which prohibits the obstruction or alteration of navigable waters of the United States without the Corps of Engineers permit and Section 404 of the Clean Water Act (33 USC 1344), which prohibits the discharge of dredged or fill material into waters of the United States without a permit from the Corps of Engineers
4. Title, rights or claims of the State of Georgia, the United States of America, or any agencies thereof to any portion of the Property which is or may be alleged to be, or is hereafter determined to be, salt marsh, tidelands or land now or formerly flowed by the waters of the ocean or any bays, rivers, canals, streams, creeks or their tributaries or which is a marshland as defined in the Georgia Coastal Marshland Protection Act of 1970, as amended
5. All matters shown on plat recorded in Plat Book 37S, Pages 28A through 28C, in the Chatham County, Georgia Records.
6. All matters shown on plat recorded in Plat Book 33P, Pages 99A through 99D, in the Chatham County, Georgia Records.
7. All matters shown on plat recorded in Plat Book 26P, Page 63, in the Chatham County, Georgia Records.
8. All matters shown on plat recorded in Plat Book B, Page 133, in the Chatham County, Georgia Records.
9. All matters shown on plat recorded in Plat Book B, Page 134, in the Chatham County, Georgia Records.
10. Declaration of Restrictive Covenants (Wetland restrictions) dated December 19, 2002, recorded in Deed Book 244U, Page 166, Chatham County, GA records.
11. Right of way deed to Department of Transportation recorded in Deed Book 105A, page 631, Chatham County, GA records.
12. Savannah Electric and Power Company easement recorded in Deed Book 172Q, Page 264, Chatham County, GA records.
13. Savannah Electric and Power Company easement recorded in Deed Book 31F, Page 458, Chatham County, GA records.
14. Permanent Utility easement and temporary construction easement granted to the Mayor and Aldermen of the City of Savannah, recorded in Deed Book 235X, Page 534, Chatham County, GA records.
15. Easement from Susan Spence Murray to International Paper Realty Corporation recorded in Deed Book 259F, Page 201, Chatham County, GA records.
16. All matters shown on wetland plat recorded in Plat Book 39P, Page 43A, in the Chatham County, Georgia Records.
17. Mineral Royalty reservation as described in that certain Quitclaim Deed dated November 29, 2022, and recorded on December 6, 2022 in Deed Book 2976, Page 214, Chatham County, GA records.

Owner	Mailing Add	City	State	Zip
RANDY HAI	9987 HWY	METTER	GA	30439
GEORGIA S	PO BOX 80	STATESBOF	GA	30460
CHARLES F	1238 STATE	PORT WEN	GA	31407
ROSALYN R	1222 HIGH	PORT WEN	GA	31407
WILLIAM S.	1220 GA. H	PORT WEN	GA	31407
ANDREW JE	133 HODGI	PT WENTW	GA	31407
NAVKAR LL	101 HODGI	PORT WEN	GA	31407
ANDREW JE	133 HODGI	PT WENTW	GA	31407
SHREE PRA	1116 HWY	PORT WEN	GA	31407
AMERIDEVE	227 WESTB	POOLER	GA	31322
ATLANTIC S	207 KENSIN	GUYTON	GA	31312
ROBERT & F	405 S SKINI	POOLER	GA	31322
HP-221120	101 S NEW	WINTER PA	FL	32789

Attachment: ZMA MARION VILLAGE 2024 - APO (2970 : 2nd Reading - Marion Village Rezoning)

Properties within 300 ft.



Key:



Property within 300 ft. of R-1

- Hadden Simmons Randy
71017 02004
1246 Highway 30 Port Wentworth, GA 31407
9987 Highway 23 N Metter, GA 30439
- Georgia Southern University Foundation Guyton
71017 01007
Highway 30 Savannah, GA 31407
PO Box 8053 Statesboro, GA 30460



Property within 300 ft. of entire parcel

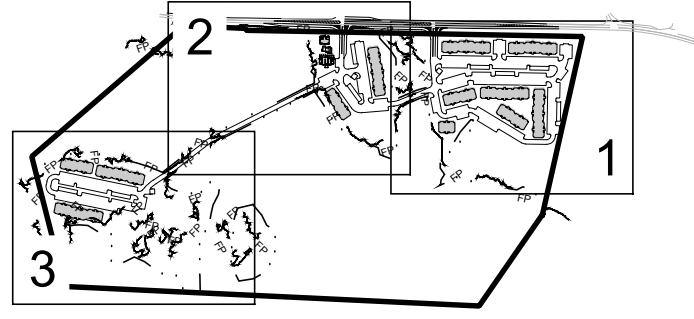
- Coover, Charles H. & Gwen Dolyn
71017 02003
1283 Highway 30 Port Wentworth, GA 31407
1238 State Road 30 Port Wentworth, GA 31407
- Butler Rosalyn R Griner
71017 02005
Highway 30 Port Wentworth, GA 31407
1222 Highway 30 Port Wentworth, GA 31407
- Thomas, William S.
71017 02008

- 1220 Highway 30 Port Wentworth, GA 31407
 1220 GA Highway 30 Port Wentworth, GA 31407
- Dotson Andrew Jerald
 71017 02009
 Hodgeville Rd. Port Wentworth, GA 31407
 133 Hodgeville Rd. Port Wentworth, GA 31407
 - NAVKAR LLC
 71017 02010
 101 Hodgeville Rd. Port Wentworth, GA 31407
 101 Hodgeville Rd. Port Wentworth, GA 31407
 - Dotson, Andrew Jerald
 71017 01004
 1061 Highway 30 Port Wentworth, GA 31407
 133 Hodgeville Rd. Port Wentworth, GA 31407
 - Shree Prabhu 2, LLC
 71017 03001
 1116 Highway 30 Port Wentworth, GA 31407
 1116 Highway 30 Port Wentworth, GA 31407

 **Effingham Co.**

- Georgia Southern University Foundation Guyton Real Estate LLC
 04190001
 Paradise Trl
 PO Box 8053 Statesboro, GA 30460
- Atlantic Self Storage LLC
 04360022
 3775 Noel C Conway Rd
 207 Kensington Xing Guyton, GA 31312
- Strickland, Robert and Harley
 04360020
 3801 Noel C Conway Rd
 405 S Skinner Ave Pooler, GA 31322

SHEET KEY MAP



PROJECT SPECIFIC PLAN NOTES:

- 1. CONSTRUCTION OF SIDEWALKS, ADA PARKING, AND ACCESSIBLE ROUTE ARE IN CONFORMANCE WITH FEDERAL ADA STANDARDS, LATEST EDITION.

SITE PLAN NOTES:

PROJECT AREA: 77.73 ACRES (3,386,043 SF)
 PID: 71017 01014
 ZONING: PRM (REZONED FEB. 2020)
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL

PROPOSED USE: MULTI-FAMILY
 PROPOSED UNITS: 360 UNITS (ALL 2-BEDROOM, 3-STORIES)
 PROPOSED DENSITY: 4.63 UPA (18 LPA ALLOWED)

BUILDING HEIGHT PROPOSED: 42'-0"

PROPOSED BUILDING COVERAGE:
 APARTMENTS: 143,333 SF
 GARAGES: 14,700 SF
 CLUBHOUSE: 3,775 SF
 FITNESS CENTER: 1,824 SF
 MAIL KIOSK: 898 SF
 TOTAL: 164,530 SF (4.86% OF SITE (MAX 45% ALLOWED))

APARTMENT PARKING SUMMARY:

PARKING REQUIRED: 630 SPACES (1.75" SPACES/UNIT)
 PARKING PROPOSED: 660 SPACES (1.83 SPACES/UNIT)
 STANDARD SPACES (9'X20'): 562 SPACES
 ACCESSIBLE SPACES: 26 SPACES
 GARAGES (10'X20'): 72 SPACES (3 ADA GARAGE SPACES)

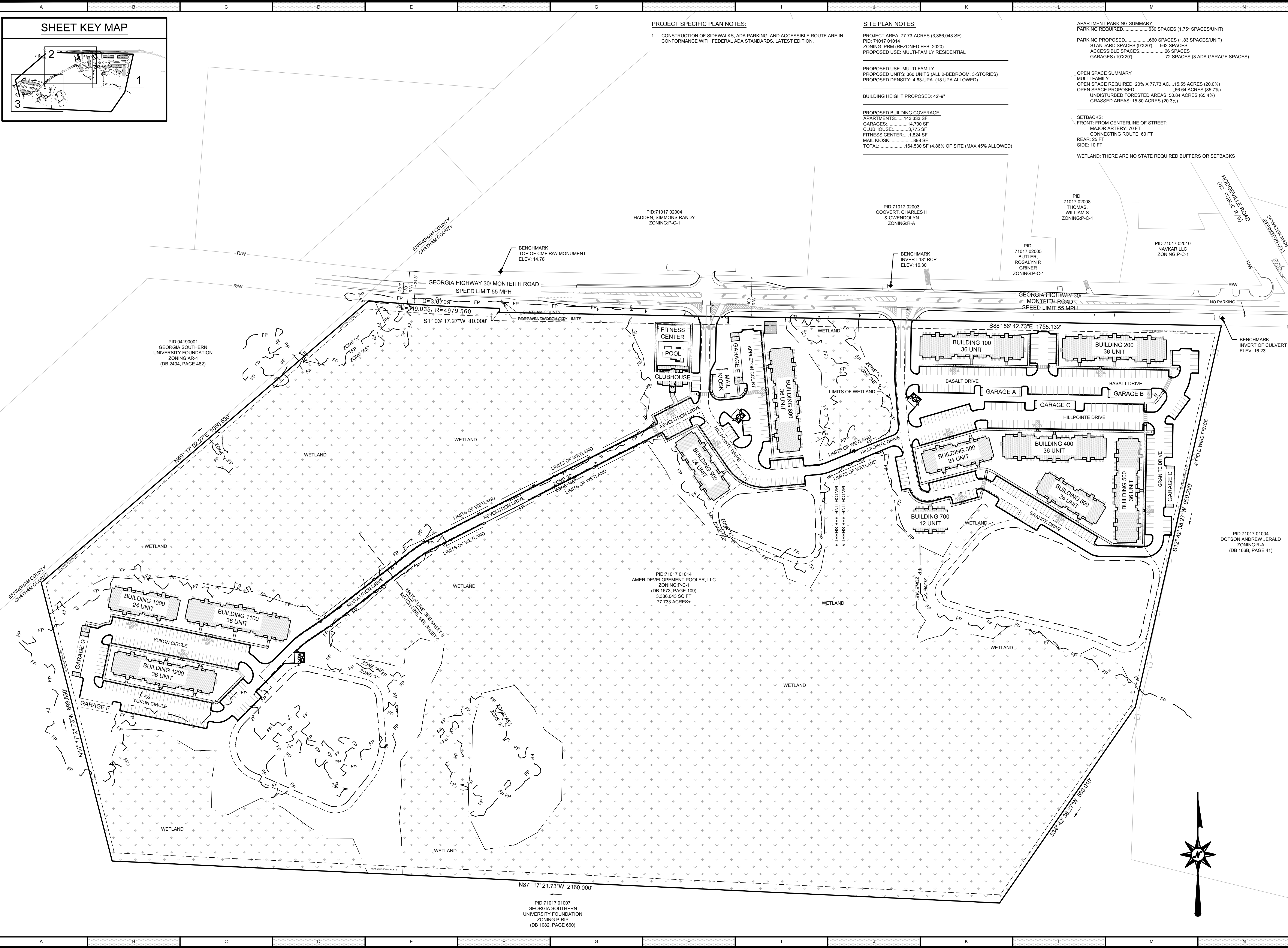
OPEN SPACE SUMMARY:

MULTI-FAMILY:
 OPEN SPACE REQUIRED: 20% X 77.73 AC... 15.55 ACRES (20.0%)
 OPEN SPACE PROPOSED: 86.84 ACRES (85.7%)
 UNDISTURBED FORESTED AREAS: 58.84 ACRES (65.4%)
 GRASSED AREAS: 15.80 ACRES (20.3%)

SETBACKS:

FRONT: FROM CENTERLINE OF STREET:
 MAJOR ARTERY: 70 FT
 CONNECTING ROUTE: 60 FT
 REAR: 25 FT
 SIDE: 10 FT

WETLAND: THERE ARE NO STATE REQUIRED BUFFERS OR SETBACKS



Office:
 8830 Macon Highway
 Building 300
 Athens, GA 30606

DEVELOPER:
 HILLPOINTE

Corporate Office:
 101 South New York Ave, Unit 211
 Winter Park, FL 32789
 PH: (407) 752-9004

Operations Office:
 8830 Macon Highway
 Building 300
 Athens, GA 30606
 PH: (407) 752-9004

Information: www.hillpointe.com

24- HOUR CONTACT:
 Marcus Wiedower
 P: (706) 254-3251
 Email: mwiedower@hillpointe.com

PROJECT:

MARION VILLAGE APARTMENTS
 PARCEL #: 71017 01014
 HIGHWAY 30
 PORT WENTWORTH, GA

SHEET TITLE:
SITE PLAN OVERALL

DRAWING SCALES:
 HORIZONTAL: 1" = 100'



DRAWING DATE: 12/05/2023

FOR REVIEW ONLY

SHEET REVISIONS

NO.	DESCRIPTION	DATE
1	PER CITY REVIEW COMMENTS	06/09/23
2	PER CITY REVIEW COMMENTS	10/10/23
3	PER CITY REVIEW COMMENTS	12/05/23
4		
5		
6		
7		
8		
9		
10		

SHEET C-200



City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 04/18/24 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID # 2973)

DOC ID: 2973

Consideration to approve the 2nd Reading of an application submitted by A Zoning Map Amendment City of Port Wentworth, requesting to rezone 18.65 of 20.85 acres from R-3 to PUD, to allow for residential development. PIN # 7-0014-06-001, located in the 4th Council District, between Coleraine Drive and Barnsley Road.

Issue/Item:

Consideration to approve the 2nd Reading of an application submitted by A Zoning Map Amendment City of Port Wentworth, requesting to rezone 18.65 of 20.85 acres from R-3 to PUD, to allow for residential development. PIN # 7-0014-06-001, located in the 4th Council District, between Coleraine Drive and Barnsley Road.

Background:

- The applicant proposes to create a residential PUD. The submitted concept plan shows up to 92 units with a mix of single-family dwellings and townhomes. Community features are shown to include open space, walking trails, a pond, and connectivity to Port Wentworth soccer fields.
- A portion of approximately 2 acres is to be separated to continue as undeveloped land for use by the adjacent police department.
- An Administrative Adjustment was approved on 2/22/2024, allowing deviation from the 20-acre minimum required for a residential PUD.
- The surrounding properties to the North, East, and South are within the R-3 (Old Town Residential) zoning district; their uses are single-family residential, and a City-owned parcel with recreation fields and a police station. The western side of the property borders a 30' strip of industrial land owned by Georgia Ports Authority, which could reasonably serve to expand the adjacent railway.
- Water and sewer are to be provided by City of Port Wentworth.
- Access to the PUD is proposed at two points (Barnsley Road and Coleraine Road) by means of extending Falkirk Street through the entirety of the development.
- The PUD will be developed by Habitat for Humanity.
- At a townhall meeting on January 24, 2024, neighboring residents expressed concerns about the proposed rezoning. The concerns specific to the rezoning request included:
 - Increased traffic
 - Potential drainage issues to surrounding properties
 - Loss of existing buffering from railway noise
 - Lack of existing commercial resources and local schools to support the residential development

Facts and Findings:

- Adjacent, non-industrial, properties are within the R-3 zoning district. The Port Wentworth Zoning Ordinance, Section 3.20c describes the R-3 district as "...intended for a range of detached single-family dwellings, two-family dwellings, and attached single-family townhomes within the Old Town area of Port Wentworth. This district recognizes the Old

Towns as a traditional urban village where infill or redevelopment projects may occur. Characteristics of lands zoned R-3 include established neighborhoods on traditional grid pattern street systems with sidewalks, or the feasibility of sidewalks, as it is a walkable traditional neighborhood."

- The proposed PUD is complimentary to surrounding zoning and is consistent with intended area use.
- The qualifying conditions for a PUD are stated in Section 5.20 of the Port Wentworth Zoning Ordinance. These conditions include the demonstration of at least 3 purposes as outlined in Section 5.10, including the following:
 - *"preserve existing natural assets, such as stands of trees, floodplains, open fields, marshes, rivers, streams, and the like"*
 - The submitted concept plan demonstrates preservation of wetlands, as well as the inclusion of widespread green space.
 - *"encourage the use of lands in ways that are most in accord with their character and adaptability"*
 - The proposed PUD is consistent with and complementary to surrounding zoning and use.
 - *"result in recognizable public benefits to the community-at-large"*
 - The submitted concept plan shows *"a complementary mix of land uses of housing types that address a demonstrated community need"*.
 - The Habitat for Humanity program may aid with the continual reduction of mortgaged cost burdened housing (as identified in Section 5.4 of the 2021-2021 Comprehensive Plan)
- The 2021-2041 Comprehensive Plan specifically identifies the addition of mixed-use housing in the vicinity of police and fire station, including under the Implementation Strategies component of the Traditional Village Character Area (in which this property is located) section.

Funding:

Recommendation:

The proposed rezoning meets applicable zoning criteria and is consistent with the City Comprehensive Plan. The PUD must continue to adhere, in all ways, to the City Ordinance during all stages of review and development. Council may wish to consider specific conditions for approval, to address appropriate buffering and/or screening of the nearby railway.

At the February 12, 2024 meeting, the Planning Commission voted to recommend approval.

ATTACHMENTS:

- Habitat for Humanity Project 2024-Application (PDF)
- Habitat for Humanity Project 2024-APO (PDF)
- Habitat for Humanity Project 2024-Deed (PDF)
- Berm Easement Agreement 10.03.2019 (PDF)
- Administrative Adjustment (PDF)
- Habitat Narrative (DOCX)
- Draft Declaration of Covenants (DOCX)
- Traffic Memo 2-1-2024 (PDF)
- Cost Estimate Hab4Hum - PWT SS Estimate (PDF)
- - Preliminary Schedule (PDF)

- Article 5 Section 5.20 (PDF)
- thumbnail_ABC9A86C8EF24B0F8288DFAB60D37FDC (JPG)
- 4_Plex_Townhomes (PDF)
- 2023-161 plat signed (PDF)
- berm land plan with trees (PDF)
- berm land plan-Model (PDF)
- DRAINAGE EASEMENT EXHIBIT (PDF)
- Draft Utility Layout (PDF)
- Existing-Utilities (PDF)
- Final Client Ver Letter - Habitat for Humanity.PPDF (1) (PDF)
- General-Location-Map (PDF)
- open space (2) (PDF)
- Topographic-Map (PDF)
- TYPICAL LOT DIMENSIONS (PDF)
- zoning (1) (PDF)

APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

Applicant: City of Port Wentworth Phone # 912-964-4379
Mailing Address: 7224 GA Hwy 21, Port Wentworth, GA 31407
Property Owner: City of Port Wentworth Phone #
Use back if more than one owner
Owner Address: Coleraine DR / Barnsley Rd., Port Wentworth, GA 314
PIN #(s): 7-0014-06-001 # of Acres 20.85

Zoning Classification: Present R-3 Requested PUD
Use of Property: Present Old Town Residential Requested Planned United Develop

If the requested change is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

X If the requested change is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

Property requested to Rezone is to be used for the Habitat for Humanity Housing Development Project.

Attach the following documents:

- 1. Written legal description of the property (e.g. copy of deed) - full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of property owners within 300 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale. Submit three (3) copies of in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
4. Site Plan of proposed use of property. Submit three (3) copies in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorizations of Attorney form.
8. Filing fee of \$500.00 + \$50.00 per acre + \$75.00 Administrative Fee, payable to the City of Port Wentworth.

APPLICATION MUST BE FILED 20 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 24 day of January, 2024.
Notary Public

Signature of Applicant

Attachment: Habitat for Humanity Project 2024-Application (2973 : 2nd Reading Habitat PUD)

PIN	Owner	Mailing Address	City	State	Zip
10729 01002	GEORGIA PORTS AUTHORITY	PO BOX 2406	SAVANNAH	GA	31402
70013 01001	DAVID W & KAREN M AYRES	901 BARNSLEY RD	PORT WENTWORTH	GA	31407
70013 01002	PORT WENTWORTH METHODIST CHURC	C/O REV VEAL 827 CROSSGATE RD	SAVANNAH	GA	31407
70013 01003	PORT WENTWORTH UNITED METHODIST CHURCH	201 TURNBERRY ST	PORT WENTWORTH	GA	31407
70013 02001	GARNASIA L & JERRY A BOGUS	908 BARNSLEY RD	SAVANNAH	GA	31407
70013 02002	PORT WENTWORTH ALLIANCE CHURCH	906 BARNSLEY RD	SAVANNAH	GA	31407
70013 02003	ANTHONY T & PATRICIA L DAVIS TRUSTEES	904 BARNSLEY RD	PT WENTWORTH	GA	31407
70013 02004	MAX DUNIGAN	902 BARNSLEY RD	SAVANNAH	GA	31407
70013 19006	JAMIE L COOMBE	314 CANTYRE STREET	PORT WENTWORTH	GA	31407
70013 19007	SARA ANN HARRELL BROWNING	316 CANTYRE STREET	PORT WENTWORTH	GA	31407
70013 19008	OLIVIA CONSTANCE BROWN	318 CANTYRE STREET	PORT WENTWORTH	GA	31407
70013 19009	JOHN BERRY	215 SHEAROUSE RD	GUYTON	GA	31312
70013 19010	DONNA LATHAM JACKSON	PO BOX 7244	GARDEN CITY	GA	31408
70013 19013	GARY G BRAZELL	PO BOX 4073	SAVANNAH	GA	31407
70013 21021	LIZABETH A GOODSON	832 BARNSLEY RD	PT WENTWORTH	GA	31407
70013 21022	FREDDIE PAUL SALTER	43 FARNSLEIGH AVE	BLUFFTON	SC	29910
70013 21023	EDDIE H & LINDA M SMITH	828 BARNSLEY RD	PORT WENTWORTH	GA	31407
70013 21024	SHIRLEY HARRELL WOODS	827 BARNSLEY RD	SAVANNAH	GA	31407
70013 21025	DERRICK R & STACI L POOLE	10 SHELBY RD	SAVANNAH	GA	31405
70013 21026	LAUREE M SANJUAN	831 BARNSLEY RD	PT WENTWORTH	GA	31407
70014 02010	LAURIE LEE NORMAN	400 CANTYRE STREET	PORT WENTWORTH	GA	31407
70014 02011	LESLIE R HARLEY	P O BOX 8755	SAVANNAH	GA	31412
70014 03015	BOARD OF EDUCATION	208 BULL ST	SAVANNAH	GA	31401
70014 03016	LULA MANN	201 COLERAINE DR	PT WENTWORTH	GA	31407
70014 03017	BRANDON LEE MILLER & CHRISTINA HAMPTON	203 COLERAINE DR	PORT WENTWORTH	GA	31407
70014 03018	BRENDA V HUBBARD	2 HORNE PLACE	PORT WENTWORTH	GA	31407
70014 04002	ANGEL C BROWN-HUTCHINSON	3 HORNE PL	PT WENTWORTH	GA	31407
70014 04003	BRENDA BOULWARE	1 HORNE PL	SAVANNAH	GA	31407
70014 04004	STEVEN H YOUNG	5 HORNE PL	SAVANNAH	GA	31407
70014 05001	TJ A BARNWELL	114 COLERAINE DR	SAVANNAH	GA	31407
70014 05002	BETTY SUE DAVIS	112 COLERAINE DR	SAVANNAH	GA	31407
70014 05012	DORIS WALLACE	409 PHILLIPS AVE	PORT WENTWORTH	GA	31407
70014 05013	GENE A BURN	406 CANTYRE ST	PT WENTWORTH	GA	31407
70014 06002	BRANDON WATERS LLC	PO BOX 23	GLENNVILLE	GA	30427
70014 06003	FAYE W LOVE	206 COLERAINE DR	SAVANNAH	GA	31407
70014 06004	MICHAEL W. MCDUGALD	202 COLERAINE DRIVE	PORT WENTWORTH	GA	31407
70014 06005	MICHAEL E QUINNEY	415 CANTYRE ST	PORT WENTWORTH	GA	31407
70014 06006	KENYATTA BRUEN	413 CANTYRE STREET	PORT WENTWORTH	GA	31407
70014 06007	GREGORY A WILLINGHAM	411 CANTYRE ST	PORT WENTWORTH	GA	31407
70014 06008	JAMES FREDERICK DUNIGAN JR	317 BIRKENHEAD RD	PORT WENTWORTH	GA	31407
70014 06009	ALICE C HOWARD	407 CANTYRE ST	PORT WENTWORTH	GA	31407
70014 06010	TPR INVESTMENTS LLC	28 CLARENDON ROAD	SAVANNAH	GA	31410
70014 06011	STEPHEN LEE PHILLIPS	403 CANTYRE ST	PORT WENTWORTH	GA	31407
70014 06012	VIRGINIA K JACKSON	401 CANTYRE STREET	PORT WENTWORTH	GA	31407
70014 06013	JOHN W & JACKIE R MCMILLAN	401 CANTYRE ST	SAVANNAH	GA	31407
70033 01004	LRE CROSSGATE SOUTH, LLC	TRIAD 1828 CENTRE 10TH FLR 2 COOPER STREET	CAMDEN	NJ	08102

Attachment: Habitat for Humanity Project 2024-APO (2973 : 2nd Reading Habitat PUD)



Doc ID: 033013880003 Type: WD
Recorded: 04/14/2021 at 04:00:50 PM
Fee Amt: \$25.00 Page 1 of 3
Chatham, Ga. Clerk Superior Court
Tammie Mosley Clerk Superior Court

BK **2325** PG **498-500**

Space Above This Line for Recorder's Use

After recording, please return to:
McCorkle & Johnson, LLP
319 Tattnell Street
Savannah, Georgia 31401
Attn: Phillip R. McCorkle

STATE OF PENNSYLVANIA

COUNTY OF PHILADELPHIA

GIFT DEED

THIS INDENTURE is made this 21st day of November, 2019, by and between L-A SAVANNAH-CROSSGATE, LLC, as "Grantor", and CITY OF PORT WENTWORTH, as "Grantee".

WITNESSETH:

THAT, for and in consideration of Grantor's charitable giving plans and goals, Grantor has given, granted and conveyed its entire interest in, and by these presents does give, grant and confirm unto the said Grantee the following described real property, to wit:

A certain parcel of land situate, lying and being south of Crossgate Road, approximately 900 feet southeast of the intersection of Crossgate Road and Norfolk Southern Railway Company (50-foot right-of-way), and being in the 8th G.M. District, City of Port Wentworth, Chatham County, Georgia, and further described as follows:

Commencing at a right-of-way concrete monument (found) at the intersection of the southerly right-of-way line of Crossgate Road (80-foot right-of-way) and the easterly right-of-way line of U. S. Highway 21 (Augusta Road 150-foot right-of-way); thence, with the southerly right-of-way line of Crossgate Road, North 58°09'48" East, a distance of 91.77 feet

Q:\DATA\WPDATA\6400\6422\6422-14 gift deed.docx

Attachment: Habitat for Humanity Project 2024-Deed (2973 : 2nd Reading Habitat PUD)

to a right-of-way concrete monument (found); thence, North 77°02'18" East, a distance of 140.05 feet to an iron pipe (set); thence, North 77°04'02" East, a distance of 2,648.88 feet to a point in the easterly right-of-way line of Norfolk Southern Railway Company and corner to Port Wentworth Church of Christ; thence; leaving the southerly right-of-way line of Crossgate Road with the easterly right-of-way line of Norfolk Southern Railway Company, South 27°37'47" East, a distance of 899.74 feet to a point; thence, leaving the easterly right-of-way line of Norfolk Southern Railway Company, North 77°02'46" East, a distance of 31.01 feet to an iron pipe (set) in the line of Tompkins Crossgate Subdivision which is the POINT OF BEGINNING;

Thence leaving the POINT OF BEGINNING with the line of Thompkins Crossgate Subdivision, North 77°02'46" East, a distance of 566.45 feet to a concrete monument (found) and corner to lands of the City of Port Wentworth; thence, with the line of Port Wentworth, South 12°49'51" East, a distance of 126.55 feet to an iron rebar (found); thence, South 77°02'46" West, a distance of 86.70 feet to an iron pipe (set); thence, South 12°56'12" East a distance of 120,77 feet to an iron pipe (set); thence, North 77°02'46" East, a distance of 123.10 feet to an iron rebar (found); thence, South 12°50'32" East, a distance of 147.89 feet to an iron pipe (set); thence, North 77°05'20" East, a distance of 313.12 feet to an iron rebar (found); thence, South 12°54'40" East, a distance of 274.99 feet to an iron pipe (set) in the line of John and Jackie McMillan; thence, North 77°05'20" East, a distance of 20.00 feet to an iron pipe (set); thence, leaving the line of Port Wentworth with the line of various owners, South 12°48'19" East, a distance of 69.72 feet to an iron rebar (found); thence, South 12°25'43" East, a distance of 190.23 feet to an iron pipe (found); thence, South 13°29'33" East, a distance of 59.91 feet to an iron pipe (found); thence, South 13°36'19" East, a distance of 159.77 feet to an iron rebar (found); thence, South 12°55'12" East, a distance of 60.09 feet to an iron rebar (found); thence, South 12°20'52" East, a distance of 100.64 feet to an iron rebar (found); thence, South 77°32'37" West, a distance of 129.20 feet to an iron pipe (set); thence, South 13°13'55" East, a distance of 146.30 feet to a concrete monument (found) in the northerly right-of-way line of Colleraine Drive (80-foot right-of-way); thence, with the northerly right-of-way line of Colleraine Drive, South 77°12'31" West, a distance of 425.04 feet to a point in the line of the Georgia Ports Authority; thence, with the line of the Georgia Ports Authority North 27°37'47" West, a distance of 1503.82 feet to an iron pipe (set) which is

the POINT OF BEGINNING, having an area of 908,052 square feet, or 20.846 acres.

TITLE NOT EXAMINED OR CERTIFIED BY AN ATTORNEY

TOGETHER WITH ALL AND SINGULAR, the improvements, easements, rights, members, hereditaments and appurtenances to the same belonging or in anywise appertaining.

TO HAVE AND TO HOLD the said property and premises above described and conveyed unto the said Grantee, its successors and assigns, forever, in fee simple.

IN WITNESS WHEREOF, the said Grantor has hereto set its hand and affixed its seal on the day and year first above written as the date hereof.

GRANTOR:

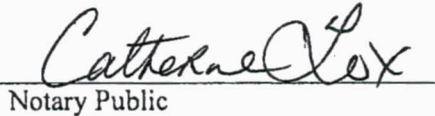
L-A SAVANNAH-CROSSGATE, LLC,
a Georgia limited liability company

By: L-A Savannah-Crossgate Manager, LLC,
a Georgia limited liability company
Its: Manager

Signed, sealed and delivered in the presence of:



Witness



Notary Public

My Commission Expires:
12/22/2024

[Notary Seal]

Commonwealth of Pennsylvania - Notary Seal
Catherine Fox, Notary Public
Philadelphia County
My commission expires December 22, 2024
Commission number 1212369
Member, Pennsylvania Association of Notaries

By:  (SEAL)
Name: _____
Title: R. Eric Errich
CFO, Treasurer & Principal



Doc ID: 031934620017 Type: EAS
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Fee Amt: \$42.00 Page 1 of 17
Chatham, Ga. Clerk Superior Ct
Tammie Mosley Clerk Superior C

BK **1736** PG **321-337**

AFTER RECORDING, RETURN TO:

Stravinski Development Group, LLC
Attn: Peter T. Stravinski
413 West Yosemite Avenue, Suite 105
Madera, California 93637

BERM EASEMENT AGREEMENT

THIS BERM EASEMENT AGREEMENT (the “**Agreement**”) is made and entered into this 30th day of September, 2019 (the “**Effective Date**”), by and between L-A SAVANNAH-CROSSGATE, LLC, a Georgia limited liability company (“**Crossgate**”), and STRAVINSKI DEVELOPMENT GROUP, LLC, a California limited liability company (“**SDG**”).

WITNESSETH:

WHEREAS, SDG is the owner in fee simple of certain real property (the “**SDG Property**”) consisting of approximately 82.171 acres in the City of Port Wentworth, Chatham County, Georgia, such SDG Property being more particularly shown on the site plan attached hereto as Exhibit A and made a part hereof (the “**Site Plan**”), and being more particularly described on Exhibit B attached hereto and made a part hereof;

WHEREAS, Crossgate is the owner in fee simple of a certain parcel of real property (the “**Berm Property**”, collectively with the SDG Property, the “**Property**”) consisting of approximately 20.85 acres in the City of Port Wentworth, Chatham County, Georgia, such Berm Property being more particularly shown on the Site Plan;

WHEREAS, Crossgate desires to grant to SDG that certain perpetual, non-exclusive Berm Easement, as defined in Section 1, below for the benefit of the SDG Property in, to, over, under, across and through that certain area (the “**Berm Easement Area**”) shown in Exhibit C, attached hereto and made a part hereof, and being more particularly described on Exhibit D attached hereto and made a part hereof; and

Attachment: Berm Easement Agreement 10.03.2019 (2973 : 2nd Reading Habitat PUD)

NOW, THEREFORE, in consideration of the premises, mutual promises and covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. Berm Easement.

a. Crossgate hereby grants to SDG, for the benefit of and as an appurtenance to the SDG Property, a perpetual, non-exclusive easement (the "**Berm Easement**") within the Berm Easement Area for the sole purposes of:

i. Constructing, reconstructing, extending, repairing, replacing, maintaining, operating, and inspecting a berm, sound wall, or such other similar structure with the Berm Easement Area (collectively, the "**Berm**").

ii. Excavating or changing the grade of the Berm Property within the Berm Easement Area as is reasonable, necessary, and proper for any and all purposes described in this Section 1.

iii. Passing and repassing along the Berm Property to and from the Berm Easement Area, as is reasonable and necessary in order to exercise to the fullest extent the Berm Easement rights.

b. SDG agrees to maintain and repair, at its sole cost and expense, the Berm. All such maintenance and repair work shall be (A) performed in a good, diligent and workmanlike manner, (B) performed in compliance with all applicable laws, rules, regulations and ordinances, (C) diligently pursued to completion as promptly as reasonably possible, and (D) performed in such a way as to minimize any interference with the operations on Berm Property.

2. Temporary Access Easement. Any obligations hereunder to be performed (whether they be related to maintenance, construction, or otherwise) or any rights to perform permitted pursuant to Section 4 below shall be construed to include the temporary right of such party required to perform said obligation to access over, under, upon, and across the Berm Property as is reasonably necessary for the purpose of performing said obligation.

3. Modification of Easement Areas. Upon completion of construction on the Berm, Crossgate and SDG shall execute a document further defining with particularity the area for the Berm Easement, provided that such area shall be large enough in scope that SDG shall be able to access, maintain, and utilize the Berm Easement.

4. Default.

a. Events of Default and Remedies. If any party (the "**Defaulting Party**") to this Agreement fails to perform any of its obligations hereunder,

then the other party (the "Non-Defaulting Party") shall have all remedies available at law or in equity (including, without limitation, the right to specific performance and injunctive relief). In the event of a default, the Non-Defaulting Party shall give the Defaulting Party written notice of such default, specifying the nature of the default except that no such notice shall be required in the case of an emergency. The Defaulting Party shall have thirty (30) days after receipt of such notice in which to cure the default; provided, however, that if the condition giving rise to such default, by its nature, cannot be cured within such 30-day period, but the Defaulting Party commences and diligently pursues a cure of such condition promptly within the initial 30-day cure period, then the Non-Defaulting Party shall not exercise its remedies hereunder unless such failure to perform remains uncured for more than sixty (60) days after the initial delivery of the default notice. If such default is not cured within the applicable cure period, the Non-Defaulting Party shall have the right, but not the obligation, to cure such default on behalf of the Defaulting Party and provide an invoice to the Defaulting Party for all reasonable costs and expenses incurred in connection with the cure of such default, provided that in the case where the Non-Defaulting Party is only responsible hereunder for payment of a certain percentage of the cost of an obligation which is the subject of the default, the Non-Defaulting Party shall remain responsible for said percentage of the cost, and the invoice shall be adjusted accordingly. The Defaulting Party shall reimburse the Non-Defaulting Party for such costs and expenses within ten (10) business days after the receipt of such invoice. In the event that the Defaulting Party fails to reimburse the Non-Defaulting Party within such time period, the amount due shall bear interest at the lesser of ten percent (10%) percent per annum or the highest rate allowed by law until paid. Any claim for payment hereunder, together with interest thereon, shall constitute a lien against the Defaulting Party's property; however, the lien shall not attach to such property or become effective until it has been filed of record in Chatham County, Georgia, and specifying therein: (i) the name of the lienor, (ii) the basis for the claim, including a reference to this Agreement, and the relevant recording information, (iii) the amount of such claim, (iv) the name of the Defaulting Party, (v) the legal description of the Defaulting Party's property against which the lien is to be filed and (vi) unless a Mortgage of the Defaulting Party has been given opportunity to cure pursuant to Section 21 below.

b. No Termination. Notwithstanding anything contained to the contrary in any other provision of this Agreement, no breach or default of the provisions of this Agreement shall entitle any party to cancel, rescind or otherwise terminate this Agreement.

c. Limitation of Liability. Notwithstanding anything contained in this Agreement to the contrary, no Defaulting Party shall have any personal liability with respect to any of the provisions of this Agreement. In seeking any recovery against the Defaulting Party, the Non-Defaulting Party shall look solely to the interest of the Defaulting Party and the Defaulting Party's successors and assigns, (a) in the SDG Property and the improvements thereon and rent and other income derived therefrom if SDG is the Defaulting Party or (b) in the Berm Property and the improvements thereon and rent and other income derived therefrom if Crossgate is the Defaulting Party. Further, and despite anything contained to the contrary in any other provision hereof, the monetary liability of any Defaulting Party for an event of default shall be limited to the actual costs of

maintaining, repairing or replacing any item for which such Defaulting Party is responsible hereunder, together with interest thereon as provided and all costs incurred in collecting such amounts, including reasonable attorneys' fees actually incurred. In no event shall either Crossgate or SDG, including their respective successors in title, be responsible for any special damages, consequential damages (other than those specifically contemplated in the immediately preceding sentence), exemplary damages, bad faith damages, punitive damages or attorneys' fees (other than as specifically contemplated herein).

5. Lien-Free Work. The parties to this Agreement shall perform, or cause to be performed, any construction, maintenance or repair work permitted or required to be performed under this Agreement in a good and workmanlike manner and shall keep the parcel on which such construction is being performed free of any mechanics or materialmen liens arising from any parties employed or engaged by the party causing such construction. If any liens are filed against any parcel hereto which are not released within thirty (30) days of the filing of such liens, then the owner of the parcel against which any lien is filed shall have all remedies against the owner requesting such construction, maintenance or repair work allowed at law or in equity.

6. Successors and Assigns. This Agreement shall be binding upon and inure to the benefit of Crossgate and SDG and their respective successors and assigns. The easements, rights, privileges, restrictions, benefits and obligations hereunder shall be covenants running with the land. Neither Crossgate or SDG, nor any successor in title to all or any portion of either the SDG Property or the Berm Property, shall be liable for any amounts which accrue and become due and payable hereunder after the date they no longer hold any interest in either the SDG Property or the Berm Property respectively.

7. Taxes and Assessments. The owner of the SDG Property and the owner of the Berm Property shall each be solely responsible for the payment of all taxes and assessments levied against their respective properties.

8. Entire Agreement. This Agreement constitutes the entire agreement and understanding between the parties hereto relating to the subject matter hereof and may not be amended, waived or discharged, except by instrument in writing executed by Crossgate and SDG (or their respective heirs, successors and assigns), and their respective mortgagees, as applicable.

9. Severability. If any provision of this Agreement or the application thereof to any person or circumstance shall for any reason and to any extent be invalid or unenforceable, the remainder of this Agreement and the application of such provisions which are not invalid to persons or circumstances shall not be affected thereby, but rather this Agreement shall be enforced to the greatest extent permitted by law. No breach or default of any provision of this Agreement shall entitle any party to cancel, rescind or otherwise terminate this Agreement.

10. Attorneys' Fees. In the event of any dispute hereunder or of any action to interpret or enforce this Agreement, any provision hereof or any matter arising

herefrom, the prevailing party shall be entitled to recover its actual and reasonable costs, fees and expenses, including but not limited to attorney, paralegal and legal assistant fees, costs and expenses, and other professional fees, costs and expenses, whether suit be brought or not and whether in any settlement, in any bankruptcy action, in any declaratory action, at trial or on appeal.

11. Caption and Paragraph Headings. The captions and paragraph headings set forth herein are for convenience only and are not intended to affect the provisions of this Agreement.

12. Not a Public Dedication. Unless otherwise provided herein, nothing contained herein shall be deemed to be a gift or dedication of any portion of the SDG Property or the Berm Property to or for the general public or for any public purposes whatsoever, it being the intention of the parties hereto that this Agreement shall be strictly limited to and for the purposes expressed herein, and no other easements shall be implied or assumed.

13. Indemnity. Crossgate and SDG (herein, individually, "Indemnitor") shall defend, indemnify, and hold harmless the other owner from all claims, losses, actions, proceedings, and costs (including reasonable attorney's fees actually incurred and court costs) resulting from any construction, maintenance, or repair work, including liens, or any accident, injury, loss, or damage occurring to any person or to the property of any person arising out of or resulting from the Indemnitor's exercise of the rights, privileges, and easements granted herein, including, without limitation, resulting from the use of rights, privileges, and easements by Indemnitor's guests, agents, invitee, tenants (provided, however, that the foregoing shall not be applicable to events or circumstances caused by the negligence or willful act or omission of the indemnified owner), or resulting from the Indemnitor's breach of this Agreement.

14. Liability Insurance. Crossgate and SDG shall obtain and at all times maintain in force and effect public liability insurance insuring against claims on account of death, bodily injury or property damage that may arise from or be occasioned by the condition or use of the easements created herein. Such insurance shall be obtained and maintained at a reputable insurance company or companies qualified to business in the State of Georgia and shall afford protection to limits consistent with sound business practices but in no event less than a combined single limit of liability in the amount of \$2,000,000.00 for bodily injury to or personal injury or death of any person and consequential damage therefrom, and for property damages arising out of any one occurrence. Crossgate and SDG each be responsible for the initial payment of the costs, expenses and premiums of all policies of insurance which they obtain pursuant to this Section 14, and each party shall cause the other party to be named as an additional insured under all such policies obtained.

15. Notices. Any notice or other communication by either party to the other shall be in writing and shall be given and deemed to have been given when delivered personally, delivered by overnight courier or three (3) days after being mailed

postage pre-paid, registered or certified addressed as follows (or to such other address or officer as either party may designate by written notice to the other party):

to Crossgate: L-A Savannah-Corssgate, LLC
 Attn: Chris Hayes
 1960 Satellite Blvd., Suite 3000
 Duluth, Georgia 30097
 Email: chayes@tpa-grp.com

With a copy to: Andersen, Tate & Carr, P.C.
 Attn: Thomas J. Andersen
 1690 Satellite Blvd., Suite 4000
 Duluth, Georgia 30097
 Email: tomandersen@atclawfirm.com

to SDG: Stravinski Development Group, LLC
 Attn: Peter T. Stravinski
 413 West Yosemite Avenue, Suite 105
 Madera, California 93637

With a copy to: Motschieder, Michaelides, Wishon,
 Brewer & Ryan, LLC
 Attn: J. Carl Motschieder, Esq.
 1690 West Shaw Avenue, Suite 200
 Fresno, California 93711

16. Law. This Agreement shall be interpreted, construed and enforced in accordance with the laws of the State of Georgia.

17. Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original and all of which together constitute one and the same instrument.

18. No Merger. If any dominant and servient estate or any estate therein shall become vested in the same person or entity, this Easement shall not merge in such title but shall continue as a valid Easement on the Crossgate Property for the amount secured hereby, unless expressly provided otherwise in writing executed by the person in whom such interests, title and estate are vested.

19. Time of Essence. Time shall be of the essence in this Agreement with respect to all matters of performance set forth herein.

20. Recitals. The recitals set forth at the beginning of this Agreement are hereby incorporated herein to the same extent as if herein fully set forth.

21. Mortgagees.

a. Mortgages Permitted: Mortgagee Right to Cure. Each of Crossgate and SDG shall be permitted to encumber its interest in the Property, subject to this Agreement. In the case of a default under this Agreement, the Non-Defaulting Party shall provide to a mortgagee (“**Mortgagee**”) of the Defaulting Party written notice of default under this Agreement at the same time as it provides written notice of default under this Agreement to the Defaulting Party; provided, however, in no event shall such written notice of default be given to said Mortgagee unless the Defaulting Party has previously informed the Non-Defaulting Party in writing of the name and address of said Mortgagee. A Mortgagee shall have the right to cure any default by its mortgagor under this Agreement, and Mortgagee shall have ten (10) extra consecutive days added to the applicable cure period set forth for said default in Section 4.a above (but in no event shall Mortgagee have any obligation to cure or be liable for any failure to cure). The Non-Defaulting Party shall have the right to pursue all default remedies hereunder in the event that Mortgagee fails to cure said default within the applicable time periods above. Any cure made by any such Mortgagee shall be deemed to be a cure by its mortgagor for purposes of the default provisions of this Agreement.

b. Priority of Mortgage Lien. No breach of the covenants, conditions or restrictions herein contained, nor the enforcement of any lien provision herein, shall affect, impair, defeat or render invalid the lien or charge of any mortgage made in good faith and for value encumbering any part of Property or any interest therein, but all of the covenants, conditions and restrictions shall be binding upon and effective against any owner of an interest in the Property or any leasehold or other interest therein whose title is derived through foreclosure or trustee's sale, or otherwise. Any lien hereunder shall be subordinate to the lien of any Mortgagee.

[signature follow]


IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first written above.

Signed, sealed and delivered in the presence of:

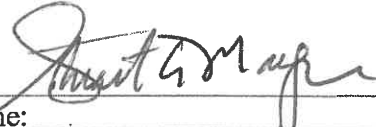
CROSSGATE:

L-A SAVANNAH-CROSSGATE, LLC,
a Georgia limited liability company

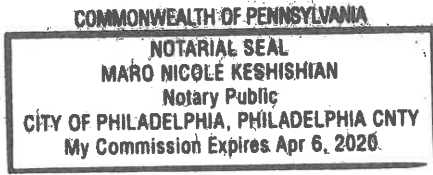


Unofficial Witness


Notary Public

By:  (SEAL)
Name: _____
Title: Stuart Margulies
Senior Managing Principal
[CORPORATE SEAL]

[AFFIX NOTARY SEAL]



Attachment: Berm Easement Agreement 10.03.2019 (2973 : 2nd Reading Habitat PUD)

Signed, sealed and delivered in the presence of:

SDG:

STRAVINSKI DEVELOPMENT GROUP, LLC, a California limited liability company

By: PETER T. STRAVINSKI & ASSOCIATES, INC., a California corporation
Its: Manager

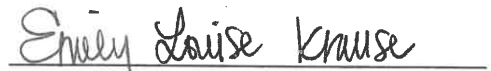
By: 

Peter T. Stravinski
Its: President

Dated: 9/24/2019



Unofficial Witness



Notary Public

[AFFIX NOTARY SEAL]

Attachment: Berm Easement Agreement 10.03.2019 (2973 : 2nd Reading Habitat PUD)

EXHIBIT A

SITE PLAN

[see attached]

Attachment: Berm Easement Agreement 10.03.2019 (2973 : 2nd Reading Habitat PUD)

EXHIBIT B**LEGAL DESCRIPTION FOR SDG PROPERTY**

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE 8TH G.M.D., CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A CONCRETE RIGHT OF WAY FOUND AT THE INTERSECTION OF THE SOUTHERN RIGHT OF WAY LINE OF CROSSGATE ROAD (R/W VARIES) AND THE EASTERN RIGHT OF WAY LINE OF JIMMY DELOACH PARKWAY (RIGHT OF WAY VARIES); THENCE ALONG THE AFORESAID RIGHT OF WAY LINE OF CROSSGATE ROAD N 77°04'02" E A DISTANCE OF 825.04 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE S 11°00'04" E A DISTANCE OF 9.96 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 76°30'01" E A DISTANCE OF 121.54 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE S 60°13'40" E A DISTANCE OF 170.22 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 77°14'17" E A DISTANCE OF 179.64 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 13°00'16" W A DISTANCE OF 124.73 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 77°04'02" E A DISTANCE OF 80.63 FEET TO A 3/4" IRON PIPE SET AT THE INTERSECTION OF THE WESTERN RIGHT OF WAY LINE OF NORFOLK SOUTHERN RAILWAY (50' R/W); THENCE ALONG THE AFORESAID RIGHT OF WAY LINE OF NORFOLK SOUTHERN RAILWAY S 27°37'47" E A DISTANCE OF 3,229.43 FEET TO A 5/8" IRON REBAR FOUND; THENCE LEAVE THE AFORESAID RIGHT OF WAY LINE OF NORFOLK SOUTHERN RAILWAY S 77°12'04" W A DISTANCE OF 845.87 FEET TO A 3"x3" CONCRETE MONUMENT FOUND ON THE NORTHERN RIGHT OF WAY LINE OF JIMMY DELOACH PARKWAY (RIGHT OF WAY VARIES); THENCE ALONG THE AFORESAID RIGHT OF WAY LINE OF JIMMY DELOACH PARKWAY S 77°12'04" W A DISTANCE OF 156.20 FEET TO A POINT ON THE EASTERN RIGHT OF WAY LINE OF JIMMY DELOACH PARKWAY; THENCE ALONG THE AFORESAID RIGHT OF WAY LINE OF JIMMY DELOACH PARKWAY N 31°24'08" W A DISTANCE OF 160.35 FEET TO A 3/4" IRON PIPE SET; THENCE 578.92 FEET ALONG THE ARC OF A CURVE TURNING TO THE LEFT, HAVING A RADIUS OF 10,155.00 FEET, A CHORD LENGTH OF 578.84 FEET, AND A CHORD BEARING N 29°39'36" W TO A POINT; THENCE S 58°42'31" W A DISTANCE OF 10.00 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE 76.09 FEET ALONG THE ARC OF A CURVE TURNING TO THE LEFT, HAVING A RADIUS OF 10,145.00 FEET, A CHORD LENGTH OF 76.09 FEET, AND A CHORD BEARING N 31°30'23" W TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 58°16'44" E A DISTANCE OF 10.00 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE 253.67 FEET ALONG THE ARC OF A CURVE TURNING TO THE LEFT, HAVING A RADIUS OF 10,155.00 FEET,

A CHORD LENGTH OF 253.67 FEET, AND A CHORD BEARING N 32°26'18" W TO A 3/4" IRON PIPE SET; THENCE N 33°09'15" W A DISTANCE OF 355.11 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE S 56°51'45" W A DISTANCE OF 15.00 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 33°09'15" W A DISTANCE OF 250.00 FEET TO A POINT; THENCE S 56°51'45" W A DISTANCE OF 50.00 FEET TO CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 33°08'15" W A DISTANCE OF 580.09 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE S 56°51'41" W A DISTANCE OF 10.00 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 33°08'19" W A DISTANCE OF 55.00 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 56°51'41" E A DISTANCE OF 10.00 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 33°08'15" W A DISTANCE OF 164.91 FEET TO A 3/4" IRON PIPE SET; THENCE N 30°16'30" W A DISTANCE OF 400.50 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 33°08'15" W A DISTANCE OF 330.07 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE S 56°51'41" W A DISTANCE OF 10.00 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 33°08'19" W A DISTANCE OF 55.00 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 56°41'41" E A DISTANCE OF 10.00 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND; THENCE N 33°08'15" W A DISTANCE OF 68.03 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 3,579,374 SQUARE FEET OR 82.171 ACRES OF LAND.

EXHIBIT C
BERM EASEMENT AREA

[see attached]

Attachment: Berm Easement Agreement 10.03.2019 (2973 : 2nd Reading Habitat PUD)

EXHIBIT D**LEGAL DESCRIPTION FOR BERM EASEMENT**

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE 8TH G.M.D., CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT AT THE NORTHWESTERN END OF NORTHERN RIGHT OF WAY LINE OF COLERAINE DRIVE (80' R/W); THENCE N 27°37'47" W A DISTANCE OF 1503.82 FEET TO A POINT; THENCE N 77°02'46" E A DISTANCE OF 72.36 FEET TO A POINT; THENCE S 27°37'47" E A DISTANCE OF 1504.03 FEET TO A POINT ON THE AFORESAID RIGHT OF WAY LINE OF COLERAINE DRIVE; THENCE ALONG THE AFORESAID RIGHT OF WAY LINE OF COLERAINE DRIVE S 77°12'31" W A DISTANCE OF 72.41 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 105,274 SQUARE FEET OR 2.42 ACRES OF LAND.

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

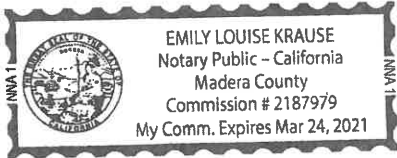
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of Madera }

On September 26, 2019 before me, Emily Louise Krause, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Peter T. Stravinski
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Emily Louise Krause
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Reciprocal Easement Agreement

Document Date: _____ Number of Pages: 21

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: Peter T. Stravinski Signer's Name: _____

Corporate Officer – Title(s): President Corporate Officer – Title(s): _____

Partner – Limited General Partner – Limited General

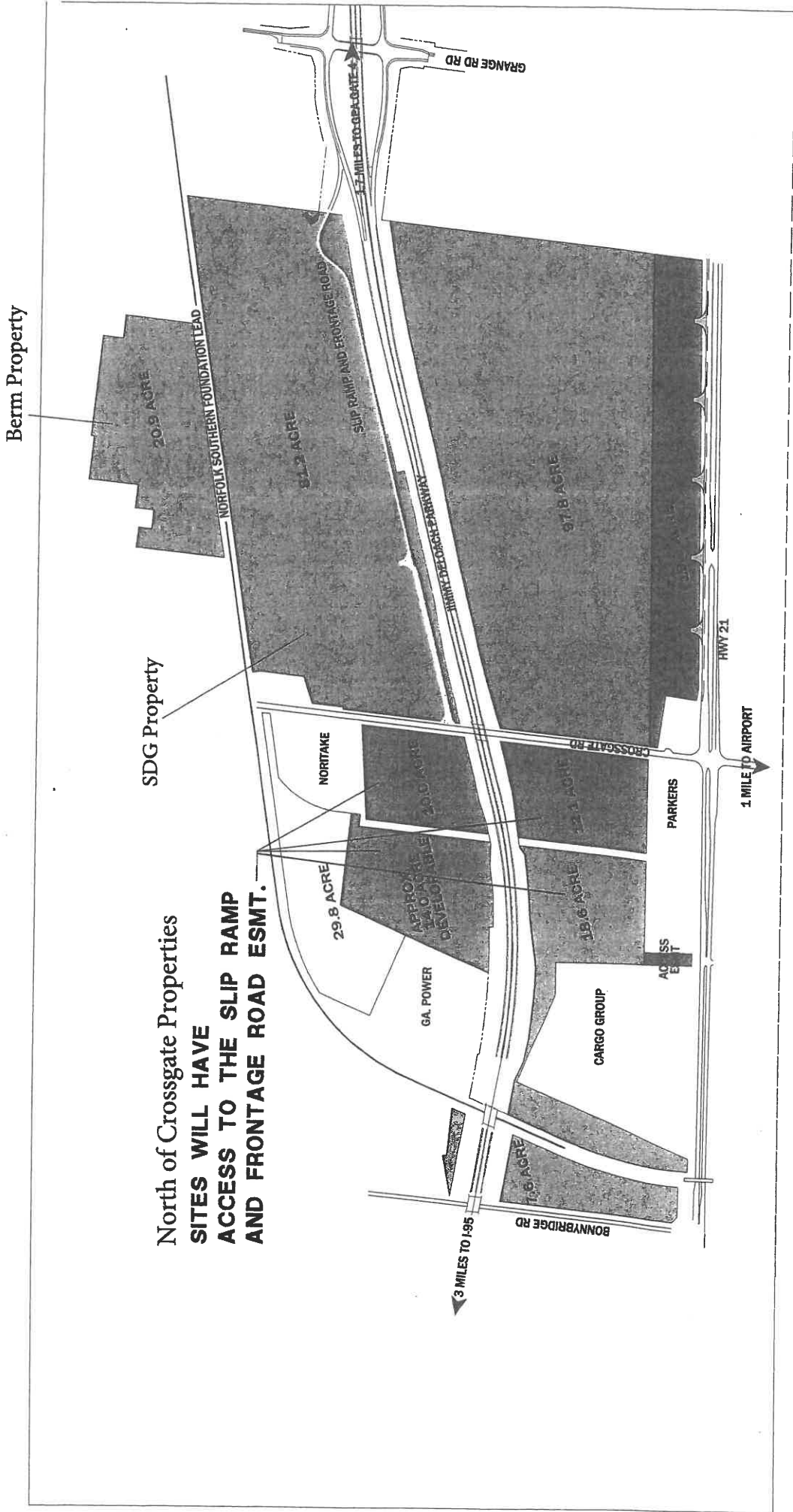
Individual Attorney in Fact Individual Attorney in Fact

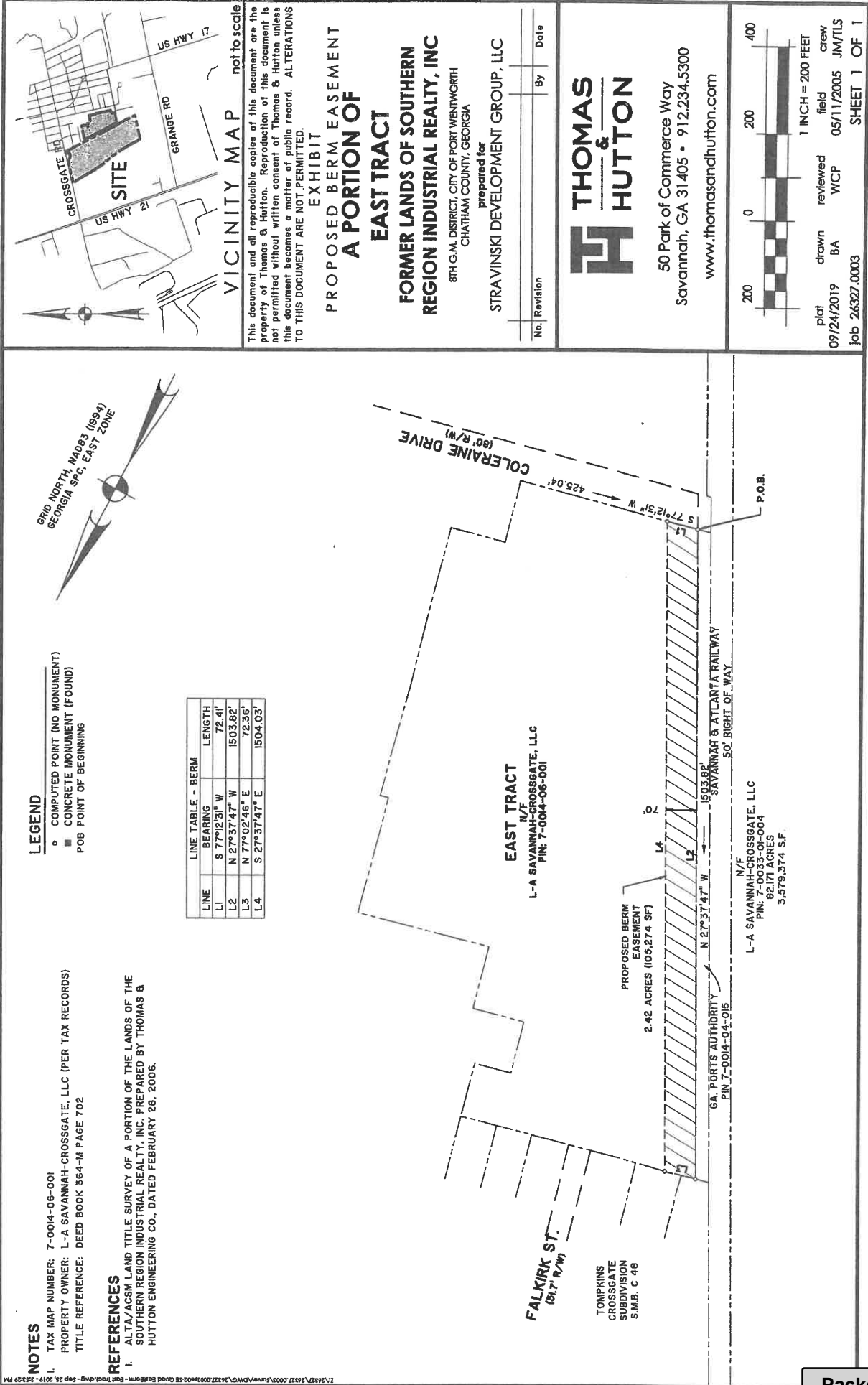
Trustee Guardian or Conservator Trustee Guardian or Conservator

Other: _____ Other: _____

Signer is Representing: _____ Signer is Representing: _____

Attachment: Berm Easement Agreement 10.03.2019 (2973 : 2nd Reading Habitat PUD)





NOTES

- 1. TAX MAP NUMBER: 7-0014-06-001
- PROPERTY OWNER: L-A SAVANNAH-CROSSGATE, LLC (PER TAX RECORDS)
- TITLE REFERENCE: DEED BOOK 364-M PAGE 702

REFERENCES

- 1. ALTA/ACSM LAND TITLE SURVEY OF A PORTION OF THE LANDS OF THE SOUTHERN REGION INDUSTRIAL REALTY, INC. PREPARED BY THOMAS & HUTTON ENGINEERING CO., DATED FEBRUARY 28, 2006.

LEGEND

- COMPUTED POINT (NO MONUMENT)
- CONCRETE MONUMENT (FOUND)
- POB POINT OF BEGINNING

LINE	BEARING	LENGTH
L1	S 77°12'31" W	72.41'
L2	N 27°37'47" W	1503.82'
L3	N 77°02'46" E	72.36'
L4	S 27°37'47" E	1504.03'



VICINITY MAP

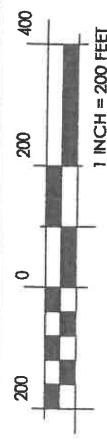
not to scale
 This document and all reproducible copies of this document are the property of Thomas & Hutton. Reproduction of this document is not permitted without written consent of Thomas & Hutton unless this document becomes a matter of public record. ALTERATIONS TO THIS DOCUMENT ARE NOT PERMITTED.

**PROPOSED BERM EASEMENT
 A PORTION OF
 EAST TRACT
 FORMER LANDS OF SOUTHERN
 REGION INDUSTRIAL REALTY, INC**
 8TH G.M. DISTRICT, CITY OF PORT WENTWORTH
 CHATHAM COUNTY, GEORGIA
 prepared for
 STRAVINSKI DEVELOPMENT GROUP, LLC

No.	Revision	By	Date



50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com



plot drawn reviewed field crew
 09/24/2019 BA WCP 05/11/2005 JMW/TLS
 Job 26327.0003 SHEET 1 OF 1



CITY OF PORT WENTWORTH

7224 GA Highway 21 | Port Wentworth, Georgia 31407

Phone (912) 964-4379 | Fax (912) 966-7429

www.cityofportwentworth.com

ELECTED OFFICIALS

MAYOR

Gary Norton

COUNCIL MEMBERS

Gabrielle Nelson

District 1

Mark Stephens

District 2

Rufus Bright

District 3

Nishant Randerwala

District 4

Thomas Barbee

Mayor Pro Tem

Artlise Alston-Cone

At-Large

City Manager

Steve Davis

Date: February 22, 2024

Pursuant to the powers of the Zoning Administrator under the City of Port Wentworth's Zoning Ordinance to consider and approve administrative variances, after consideration of the application request (Attached hereto as Exhibit A) for an administrative variance from the minimum acreage for a PUD development rezoning, the variance request is hereby GRANTED.

This administrative request is approved to allow consideration of the PUD rezoning for 18 or more acres. The current PUD rezoning request is for 18.85 acres, which does now qualify for PUD rezoning pursuant to this variance approval.

Jason Stewart

Assistant City Manager, Zoning Administrator

Attachment: Administrative Adjustment (2973 : 2nd Reading Habitat PUD)



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At-Large

City Manager

Steve Davis

Date: February 22, 2024

Subject: Request for Administrative Adjustment

Narrative

The City of Port Wentworth is requesting an administrative variance from Appendix B, Article 5, Section 5.20(c) of the City of Port Wentworth Code of Ordinances. Specifically, a variance from the required 20-acre minimum for a residential development PUD.

As background, the Habitat for humanity development did not specifically need a rezoning to achieve the levels of residential density sought and discussed throughout the planning process. In discussions with neighbors and nearby residents, after input and feedback Habitat’s plans were adjusted to accommodate their concerns in good faith. Such accommodations do require PUD zoning.

The subject property (PIN# 7-0014-06-001) was initially 20.85 acres, which exceeds the minimum threshold to rezone to PUD. However, after listening to the local community and future neighbors, the plans now call for the exclusion a 2-acre portion of the parcel. These two acres will continue in their current accessory use to the adjacent city owned property.

Variance Justification

It is the applicant’s wish that the following be considered as justification for this variance:

- That the removal of the 2 acres does not in any way impact the development, design, or use of the PUD as originally submitted, or as currently planned.
- That the exclusion of the 2 acres provides a clear distinction between city use and residential development by Habitat for Humanity.
- That, was it not within the scope of administrative adjustment, this request would meet the criteria for hardship justifying a formal variance request as described in Appendix B, Article 21, Section 21.30 (c) 2 which states that hardship may be “...the use or development of property immediately adjoining the property in question, the literal enforcement of the requirements of this ordinance would involve practical difficulties or would cause undue hardship.” In this case, adjacent institutional use and their future evolution due to currently unforeseen needs of the City of Port Wentworth

Attachment: Administrative Adjustment (2973 : 2nd Reading Habitat PUD)

makes eventual non-residential development of these 2 acres (which is disallowed in an all-residential PUD by Appendix B, Article 5, Section 5.20(c).

- That, based on the above hardship, this request would further conform to all criteria as stated in Appendix B, Article 21, Section 21.50(c).
- That it falls within the authority of the Zoning Administrator to grant an administrative adjustment (up to 10% of area), pursuant to Appendix B, Article 12, Section 12.80(f)

We, the City of Port Wentworth, request the administrative adjustment described herein.



Katie Dunnigan

City Planner, Development Services



CITY OF PORT WENTWORTH

7224 GA Highway 21 | Port Wentworth, Georgia 31407

Phone (912) 964-4379 | Fax (912) 966-7429

www.cityofportwentworth.com

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At-Large

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At-Large

City Manager

Steve Davis

PUD Project Narrative: PIN# 7-0014-06-001

General:

The proposed PUD identifies 2 acres as undeveloped land, for use by the City of Port Wentworth Police Department. The majority of acreage (18.65 acres) is planned as mixed residential development, to include both single-family and townhome units, up to 92 units in total. The residential component will offer amenities such as walking trails which connect to adjacent public recreation assets.

Property Owner Association:

A Property Owners Association shall be established to ensure proper use and maintenance of the PUD property.

Covenants shall include that future development within the property be required to first present the proposal to City of Port Wentworth Development Services in anticipation that an amendment of the PUD will be required prior to development. Installation of amenities (such as pools, playground equipment, dog parks) shall be at the discretion of the POA but must be properly evaluated and permitted prior to construction.

The POA shall accept responsibility for maintenance, appearance, repair, and improvement to all common areas, multi-unit building facades, drainage, landscaping, and all other community components. The right of way connecting points of access between Barnsley Road and Coleraine Drive is to be dedicated to the City of Port Wentworth at the time of final plat approval.

Deviations from Zoning Requirements:

There are no requested deviations. Residential development is to comply with the R-5 zoning district as described in Appendix B, Article III of the City of Port Wentworth Code of Ordinances.

Density of Residential Development:

Overall proposed density for residential development of this PUD is:

Gross Density: 4.9 dwelling units per acre

Net Density: Approximated at 10 dwelling units per acre.

Common Open Space:

Total: +/-11 acres, accounting for approximately 59% of residential development area.

Attachment: Habitat Narrative (2973 : 2nd Reading Habitat PUD)

Draft Declaration of Covenants, Conditions, and Restrictions for Habitat for Humanity PUD

This draft represents a requirement for the PUD zoning district as outlined in Section 15.20 of the Zoning Ordinance contained in the City of Port Wentworth Code of Ordinances. Upon the establishment of a Property Owners Association the expectations below shall be expanded to govern the full scope of responsibilities and requirements necessary to keep the community to a standard which promotes excellence in property maintenance and neighborhood satisfaction.

Requirements

“Covenants and restrictions for the property within any PUD district are required and must be recorded with the office of the county clerk prior to the approval of a plat or issuance of a building permit. These restrictions shall run with the land to ensure that, if subdivided or developed in phases, the covenants and restrictions shall still be enforced” (Section 15.20.6)

The full covenants shall adhere in all ways to Section 15.20.

Development and Maintenance

The POA shall accept responsibility for maintenance, appearance, repair, and improvement to all common areas, multi-unit building facades, drainage, landscaping, and all other community components. The right of way connecting points of access between Barnsley Road and Coleraine Drive is to be dedicated to the City of Port Wentworth at the time of final plat approval.

General and Future Use

Covenants shall include that future development within the property be required to first present the proposal to City of Port Wentworth Development Services in anticipation that an amendment of the PUD will be required prior to development. Installation of amenities (such as pools, playground equipment, dog parks) shall be at the discretion of the POA but must be properly evaluated and permitted prior to construction.

THOMAS & HUTTON

50 PARK OF COMMERCE WAY | SAVANNAH, GA 31405
912.234.5300 | WWW.THOMASANDHUTTON.COM

MEMORANDUM

TO: City of Port Wentworth
FROM: Michael S. Hughes, P.E.
DATE: February 1, 2024
RE: Traffic Estimate Memorandum

This memorandum shows the traffic generated for the approximately 20-acre tract PIN # 7-0014-06-001 located east of Georgia Ports Authority property, south of Barnsley Road and north of Coleraine Drive within the City of Port Wentworth, Chatham County, Georgia.

The newly proposed development includes as many as 97 single family residential homes with a mix of single family attached and single family detached homes. The highest density potential proposed is five (5) single family detached homes and 92 single family attached homes.

Two points of connection are proposed. One at the end of Coleraine Drive and the other at the intersection of Falkirk and Barnsley Road.

The below trip calculations are based on the ITE Trip Generation Manual, 11th edition.

Single Family Attached Land Use 215 : 92 dwelling units

Daily = 92 units x 7.2 trips/unit = 663 trips

AM peak = 92 units x 0.48 trips/unit = 44 trips (11 entering, 33 exiting)

PM peak = 92 units x 0.57 trips/unit = 53 trips (31 entering, 22 exiting)

Single Family Detached Housing Land Use 210 - 5 dwelling units

Daily = 5 units x 9.43 trips/unit = 48 trips

AM peak = 5 units x 0.7 trips/unit = 4 trips (1 entering, 3 exiting)

PM peak = 5 units x 0.94 trips/unit = 5 trips (3 entering, 2 exiting)

Total 97 Housing Units

Daily = 411 trips

AM peak = 48 trips (12 entering, 36 exiting)

PM peak = 58 units (34 entering, 24 exiting)

Attachment: Traffic Memo 2-1-2024 (2973 : 2nd Reading Habitat PUD)

HABITAT FOR HUMANITY

Port Wentworth (Barnsley Road & Colerain Drive)

Description	Unit	Quantity	Unit Price	Total
Mobilization	Lump	_____	\$ 100,000.00	\$ 100,000.00
E&S BMPs	Lump	_____	\$ 100,000.00	\$ 100,000.00
Lift Station & Force Main	Lump	_____	\$ 450,000.00	\$ 450,000.00
PW Utility service fee	ea.	80	\$ 100.00	\$ 8,000.00
PW ERUs	ea.	80	\$ 3,042.00	\$ 243,360.00
8" Water Main	lf.	2,300	\$ 36.00	\$ 82,800.00
8" SDR 26 Sanitary Sewer Pipe (6'-8')	ea.	1,600	\$ 40.00	\$ 64,000.00
8" SDR 26 Sanitary Sewer Pipe (8'-10')	ea.	800	\$ 45.00	\$ 36,000.00
4' Standard Sanitary Sewer Manhole (6-8')	ea.	4	\$ 6,000.00	\$ 24,000.00
4' Standard Sanitary Sewer Manhole (8'-10')	ea.	2	\$ 6,500.00	\$ 13,000.00
Connect to existing PW Sanitary Sewer System	Lump	_____	\$ 10,000.00	\$ 10,000.00
Fire Hydrant Assembly	ea.	5	\$ 5,000.00	\$ 25,000.00
Water Main Vavles in Manholes/Vaults	ea.	3	\$ 6,000.00	\$ 18,000.00
Connections to existing PW Water System	ea.	2	\$ 10,000.00	\$ 20,000.00
Traffic Control	LUMP	1	25000	\$ 25,000.00
Grading Complete	Lump	1	500000	\$ 500,000.00
Conc curb and gutter, 6in x 30in, TP 2	LF	3400	32.3	\$ 109,820.00
ROW Markers	EA	15	199	\$ 2,985.00
GAB, 8 in	SY	4600	25.75	\$ 118,450.00
Aggr Surf Crs	TN	725	45.93	\$ 33,299.25
9.5 mm Superpave	TN	350	135.67	\$ 47,484.50
19 mm Superpave	TN	475	140.87	\$ 66,913.25
Tack Coat	GAL	1000	2.78	\$ 2,780.00
Mill Asph Conc Pvmt, Variable Depth	SY	1475	8.08	\$ 11,918.00
Conc Sidewalk, 4 in	SY	950	71.36	\$ 67,792.00
Flared End Section, 24 in, Storm Drain	EA	1	1379.24	\$ 1,379.24
Storm Drain Pipe 24 in, Class III	LF	1500	279.52	\$ 419,280.00
Catch Basin, GP 1	EA	4	5037.38	\$ 20,149.52
Temporary Grassing	AC	18	733.15	\$ 13,196.70
Construct and Remove Silt Fence, TP A	LF	5000	1.31	\$ 6,550.00
Permanent Grassing	AC	18	2094.8	\$ 37,706.40
Fertilizer Mixed Grade	TN	20	1558.95	\$ 31,179.00
Highway Signs, TP 1, Refl Sheeting Tp 11	SF	25	24.01	\$ 600.25
Thermo plasting striping, 24 in, white	LF	24	10.88	\$ 261.12
Lighting Std, 11-15 Ft	EA	8	4003.99	\$ 32,031.92
Luminaire, TP 3, LED	EA	8	1492.72	\$ 11,941.76

SUBTOTAL		\$ 2,754,877.91
CONTINGENCY	10% of Subtotal	\$ 275,487.79
Engineering and Inspections	10% of subtotal	\$ 275,487.79
TOTAL		\$ 3,305,853.49

Attachment: Cost Estimate Hab4Hum - PWT SS Estimate (2973 : 2nd Reading Habitat PUD)

Falkirk Street - CEHFH
City of Port Wentworth, Georgia

ID	Task Name	Duration	Start	Finish	Predecessors	Half 2, 2023					Half 1, 2024					Half 2, 2024					Half 1, 2025					Half 2, 2025									
						A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J
1	Due Diligence	254 days	Fri 8/18/23	Wed 8/7/24		[Summary bar]																													
2	Wetland Jurisdiction Determination	94 days	Fri 8/18/23	Wed 12/27/23		[Task bar]																													
3	Phase 1 ESA	36 days	Wed 9/13/23	Wed 11/1/23		[Task bar]																													
4	Conceptual Master Plan	0 days	Mon 9/18/23	Mon 9/18/23		◆ 9/18																													
5	Land Plan Revisions	145 days	Mon 9/18/23	Fri 4/5/24		[Task bar]																													
6	Tree and Topographic Survey	18 days	Tue 3/5/24	Thu 3/28/24							[Task bar]																								
7	Assemble all updated PUD Documents	5 days	Mon 4/8/24	Fri 4/12/24	5						[Task bar]																								
8	Geotechnical Assessment	40 days	Thu 4/18/24	Wed 6/12/24	14						[Task bar]																								
9	Nationwide Wetland Permit	80 days	Thu 4/18/24	Wed 8/7/24	14						[Task bar]																								
10	Rezoning	104 days	Wed 1/24/24	Tue 6/18/24		[Summary bar]																													
11	Public Meeting	0 days	Wed 1/24/24	Wed 1/24/24		◆ 1/24																													
12	Planning Commission	0 days	Mon 2/12/24	Mon 2/12/24		◆ 2/12																													
13	City Council First Reading	0 days	Thu 2/15/24	Thu 2/15/24		◆ 2/15																													
14	City Council Second Reading	0 days	Thu 4/18/24	Thu 4/18/24		◆ 4/18																													
15	Inter governmental Agreement	30 days	Thu 4/18/24	Wed 5/29/24	14						[Task bar]																								
16	RFQ for Engineering Design Services	30 days	Thu 4/18/24	Wed 5/29/24	14						[Task bar]																								
17	Close on Property	0 days	Wed 6/5/24	Wed 6/5/24	14FS+35 days						◆ 6/5																								
18	Symbolic Groundbreaking	0 days	Tue 6/18/24	Tue 6/18/24							◆ 6/18																								
19	Site Design and Permit	130 days	Thu 6/6/24	Wed 12/4/24		[Summary bar]																													
20	Engineering Design	30 days	Thu 6/6/24	Wed 7/17/24	16,17						[Task bar]																								
21	Port Wentworth/GSWCC/EPD Permitting	100 days	Thu 7/18/24	Wed 12/4/24	20						[Task bar]																								
22	Construction Period	245 days	Thu 12/5/24	Wed 11/12/25		[Summary bar]																													
23	Bid Process	30 days	Thu 12/5/24	Wed 1/15/25	21						[Task bar]																								
24	Bid Award	10 days	Thu 1/16/25	Wed 1/29/25	23						[Task bar]																								
25	City Pre-Construction Conference	0 days	Wed 1/29/25	Wed 1/29/25							◆ 1/29																								
26	Site Construction	180 days	Thu 1/30/25	Wed 10/8/25	25,24	[Task bar]																													
27	Record Drawings	15 days	Thu 9/11/25	Wed 10/1/25	26FS-20 days						[Task bar]																								
28	Final Acceptance Process	30 days	Thu 10/2/25	Wed 11/12/25	27						[Task bar]																								
29	Home Construction	0 days	Wed 11/12/25	Wed 11/12/25	28						◆ 11/12																								

Task	[Green Bar]	Summary	[Black Arrow]	External Milestone	◆	Inactive Summary	[Grey Arrow]
Split	[Dotted Line]	Project Summary	[Grey Arrow]	Inactive Task	[Grey Bar]	Progress	[Black Arrow]
Milestone	◆	External Tasks	[Grey Bar]	Inactive Milestone	◇	Deadline	↓



Article 5. Planned Unit Development District




Section 5.10 Intent and Purpose

It is recognized that traditional zoning, with its segregation of uses and rigid dimensional requirements, may not be suitable in all situations to best achieve the objectives of the City relative to desired land use and preservation of its resources and character. In order to permit and encourage more creative and innovative land development for the benefit of the community as a whole and in furtherance of the vision and goals of the City of Port Wentworth Comprehensive Plan, planned unit development (PUD) may be permitted as a zoning district to achieve the following purposes:

- A. provide for flexibility in development that will result in a better project for the developer, residents, and users, as well as for the City in general.
[Redacted]
- B. preserve existing natural assets, such as stands of trees, floodplains, open fields, marshes, rivers, streams, and the like.
[Redacted]
- C. accomplish a more desirable and sustainable residential environment than would be possible through the strict application of minimum requirements of this ordinance.
[Redacted]
- D. encourage the utilization of open space and development of recreational amenities generally located within walking distance of all living units.
[Redacted]
- E. encourage the use of trails to connect to nearby/adjacent City open space.
[Redacted]
- F. [Redacted]
- G. [Redacted]

Section 5.20 Qualifying Conditions

At a minimum, all proposed PUDs shall meet the following qualifying conditions, as applicable, to be considered for approval:

-  **Location.** PUDs may be located in any part of the City, subject to meeting all other applicable requirements.
-  **PUD Purpose.** The applicant shall demonstrate that the PUD will achieve three (3) or more of the purposes listed in Section 5.10.
-  **Size.** The minimum site size for a PUD shall be based on the type of development, as shown in the following table. Churches, public or private schools, public buildings, and residential subdivision amenities such as golf courses and health clubs, and their ancillary commercial uses, such as clubhouses and pro shops, shall not be considered non-residential uses for purposes of this condition.

Attachment: Article 5 Section 5.20 (2973 : 2nd Reading Habitat PUD)

Table 5.20: Minimum Site Size

PUD Type	Minimum Required Site Size
Residential	20 acres
Mixed residential/non-residential	30 acres
All non-residential*	10 acres
* Where more than 10 percent of the PUD site area is to be devoted to industrial, warehousing, and/or distribution, the minimum required site size shall be 80 acres	

- ✓ D. **Housing Variety.** Any PUD containing residential uses shall include a variety of housing types and/or lot sizes to provide for varying lifestyles, diversity, and affordability.
- ✓ E. **Utilities.** The PUD shall be served by public water and sanitary sewer facilities.
- ✓ F. **Ownership and Control.** The tract(s) of land for which a PUD application is submitted must be either in single ownership or the subject of an application filed collectively by all owners of the property. Each property owner, or their agent, must sign the PUD application.
- ✓ G. **Recognizable Public Benefit.** The PUD shall achieve recognizable and substantial benefits that may not be possible under the existing zoning classification(s). At least two (2) of the following benefits shall be accrued to the community as a result of the proposed PUD:
 1. preservation of significant natural features not otherwise required by this ordinance;
 2. a complementary mix of land uses or housing types that address a demonstrated community need;
 3. incorporation of infrastructure improvements or other means to mitigate existing and future traffic congestion in the vicinity of the PUD site;
 4. preservation of common open space beyond the minimum required;
 5. connectivity of preserved open space with adjacent open space, greenways, or public trails;
 6. coordinated redevelopment of multiple lots or parcels; or
 7. removal or renovation of deteriorating buildings, sites, or contamination clean-up.

Section 5.30 Permitted Uses






Any land use or combination of land uses may be considered for inclusion within a PUD.

Section 5.40 PUD Development Requirements

- A. **Minimum Lot Size and Zoning Requirements.** Lot area, width, setbacks, height, building coverage, minimum floor area, parking, landscaping, lighting, and other requirements for the district specified in the following table for the proposed use shall apply to all such uses within a PUD unless modified in accordance with the provisions of Section 5.40 B. Within a PUD, the minimum buffer requirements specified in Section 10.40 between uses shall not apply, provided the Planning Commission or City Council may require separation or buffering of uses as a condition of concept plan approval.

Table 5.40: Zoning Requirements by Use Type	
Land Use Type	Applicable Zoning District
Single-family residential	R-2
Two-family residential	R-5
Townhouses	
Multiple-family residential	
Commercial	C-2
Industrial	I-1
Public/Quasi-public	R-1

- B. Modification of Minimum Requirements.** Regulations applicable to a land use in the PUD district may be altered from the requirements specified in Table 5.40, including the following: modification from the lot area and width, building setbacks, height, building coverage, signs, and parking. However, a reduction in lot size shall not result in an increase in the number of parcels or dwellings otherwise permitted by the applicable zoning district unless a density bonus is also granted in accordance with Section 5.40 C. In the absence of a density bonus, land gained by the reduction in lot sizes shall be added to the open space required within the PUD. The applicant for a PUD shall identify, in writing, all proposed deviations from the zoning district requirements. Modifications may be approved by the City Council during the concept plan review stage after Planning Commission recommendation. Adjustments to the minimum requirements may be permitted only if they will result in higher quality and more sustainable development, consistent with the purpose of the PUD district, as expressed in Section 5.10.
- C. Residential Density Bonus.** In addition to the modification of minimum requirements permitted in Section 5.40 B, the City Council, after Planning Commission recommendation, may permit an increase, not to exceed 20 percent, in the total number of residential units otherwise allowed within a PUD, according to the requirements in Table 5.40, where it is demonstrated that:

-  The appearance and construction will result in a development of high quality, as evidenced by the innovative design and predominant use of building materials such as stone, masonry, wood, and hardie-plank;
-  2. Amenities beyond the minimum required open space will be provided to create a more sustainable community and desirable living environment; and
- 3. At least four (4) of the following will be included within the development:
 -  a. Dedicated common open space is provided in excess of the minimum required, per Section 5.40 D.
 - b. One (1) or more parking structures are proposed within a mixed-use or non-residential PUD to meet the minimum parking requirements of this code.
 - c. One (1) or more LEED-certified buildings will be constructed.
 -  d. Significant natural features, in addition to those required, will be preserved and/or substantial landscaping beyond the minimum requirements will be incorporated into the development.
 - e. Decorative pavers and/or aesthetic enhancements (e.g., plazas, boulevards, round-a-bouts, ornamental lighting, fountains, and street furniture) will be incorporated into the vehicular and pedestrian circulation system throughout the PUD.
 -  f. A commercial and/or office component, comprising not less than 15 percent of the PUD site is

Article 5. Planned Unit Development District

proposed within the development.



g. Property is to be conveyed to and accepted by the City or school district for a future public use.



h. Three (3) or more public benefits, as identified in Section 5.20 G., will be achieved.

D. **Common Open Space.** For purposes of the PUD requirements, "common open space" is defined as an area of land or water, or a combination of land and water, designed and intended for the perpetual use and enjoyment of the users of the development and/or the general public. Common open space may contain accessory structures and improvements necessary or desirable for educational, noncommercial, recreational, or cultural uses. A variety of open space and recreational areas is encouraged, such as: children's informal play areas in close proximity to neighborhoods or dwelling unit clusters; formal parks, picnic areas, and playgrounds; pathways and trails; scenic open areas and communal, noncommercial recreation facilities; and natural conservation areas. At a minimum, the following regulations shall apply to all common open space within a PUD:

1. The area of common open space shall not be less than 25 percent of the total land area of a PUD containing any residential units and not less than 10 percent of the total land area in non-residential developments. Land dedicated for recreation, in accordance with Section 5.40 D.2., shall count toward the common open space requirement.
2. All common open space shown on the final development plan must be reserved or dedicated by conveyance of title to a corporation, association, or other legal entity by means of a restrictive covenant, easement, or through other legal instrument. The terms of such legal instrument must include provisions guaranteeing the continued use in perpetuity of such open space for the purposes intended and for continuity of proper maintenance of those portions of the open space requiring maintenance.
3. The open space shall meet the following minimum dimensions, contiguity, and connectivity requirements:
 - a. The required open space shall be centrally located along the street frontage of the development to protect or enhance views, located to preserve significant natural features, adjacent to dwellings, and/or located to interconnect other open spaces throughout the development or on contiguous properties.
 - a. Required open space areas shall be of sufficient size and dimension and located, configured, or designed in such a way as to achieve the applicable purposes of these regulations and enhance the quality of the development. The open space shall neither be perceived nor function simply as an extension of the rear yard of those lots abutting it.
 - b. If the site contains a river, stream, or other body of water, the City may require that a portion of the required open space shall abut the body of water.
 - c. All required open space areas shall be configured so the open space is reasonably accessible to and usable by residents, visitors, and other intended users of the development. The minimum size of a required open space area shall be 15,000 square feet; provided, however, that the required open space abutting a public street may be less than 15,000 square feet; and, further provided, that the City Council, upon recommendation of the Planning Commission, may approve other open space areas of less than 15,000 square feet if these areas are designed and established as pedestrian or bicycle paths or are otherwise determined to be open space reasonably usable by residents, visitors and other intended users of the development. The minimum average dimension of a required open space area shall be 100 feet.

12.D.I

Attachment:

Packet Pg. 115





Attachment: 4_Plex_Townhomes (2973 - 2nd Reading Habitat PUD)



Habitat for Humanity of Charlotte, Inc. Townhomes at CITISIDE

929, 929, 933, 929 Plaza Walk Drive
Charlotte, NC 28215

MECKLENBURG COUNTY
CODE ENFORCEMENT

Residential Plan Review Disclaimer:
A limited plan review for compliance
with the NC State Residential Code
was performed on these plans.
It is the Responsibility Of The
Contractor to construct this project
using good engineering practice and
in full compliance with the North
Carolina Residential Code, local
ordinances, and State regulations.



TOWNHOUSE RESIDENTIAL PROJECTS 2018 BUILDING CODE SUMMARY (Except for common areas)

Name of Project: Habitat Townhomes at CITISIDE
Address: 925, 929, 933, 937 Plaza Walk Drive - Charlotte, NC 28215
Proposed Use: Residential
Owner: Habitat for Humanity of Charlotte, Inc. Phone #: 704-376-2054
Contact Person: Carrie Masto Phone #: 980-253-1352
Owned By: City/County Private State
Code Enforcement Jurisdiction: Charlotte/ETJ Cornelius/ETJ Davidson/ETJ
 Huntersville/ETJ Matthews/ETJ Mecklenburg/ETJ
 Mint/ETJ Pineville/ETJ

LEAD DESIGN PROFESSIONAL: Habitat for Humanity of Charlotte, Inc.

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #
Architectural				()
Civil				()
Electrical				()
Fire Alarm				()
Plumbing				()
Mechanical				()
Sprinkler-Standpipe				()
Structural	<u>Gavel & Dorn Engineering, PLLC</u>	<u>Kirk T. Gavel</u>		<u>(704) 919-1900</u>
Retaining Walls >5' High				()
Other				()

YEAR EDITION OF CODE: 2018 NC Residential Code

New Construction Renovation (Existing Bldg) Upfit Alteration

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION
Party/Fire Wall Separation	S.04	U336	N/A
4-hr. Division Wall	N/A	N/A	N/A

GROSS BUILDING AREA

UNIT DESIGN NAME	ADDRESS	AREA HEATED (SF)	AREA UNHEATED (SF)	FOUNDATION FOOTPRINT (SF)	GARAGE?	BLDG. HEIGHT IN STORIES	TOTAL CONSTRUCTION COST OF UNIT
VICTORIA LEFT	925 Plaza Walk Drive	1131 SF	45 SF	609.45 SF	NO	2	\$69,900
SUTTON LEFT	929 Plaza Walk Drive	1147 SF	45 SF	626.6 SF	NO	2	\$71,750
ROBINSON RIGHT	933 Plaza Walk Drive	1131 SF	45 SF	609.45 SF	NO	2	\$69,900
VICTORIA RIGHT	937 Plaza Walk Drive	1131 SF	45 SF	609.45 SF	NO	2	\$69,900

BUILDING DATA:

Construction Type: I-A I-B II-A II-B III-A III-B
 IV V-A V-B
Mixed construction: No Yes Types _____

Sprinklers: No Yes NFPA 13 NFPA 13R NFPA 13D

Standpipes: No Yes Class I II III Wet Dry

Fire District: No Yes

Building Height: 25 Feet 2 Number of Stories

STRUCTURAL DESIGN

DESIGN LOADS:

Importance Factors: Wind (Iw) 1.0
Snow (Is) 1.0
Seismic (Ie) 1.0

Live Loads: Roof 20 psf
Mezzanine N/A psf
Floor 40 psf

Snow Load: 14 psf

Wind Load: Basic Wind Speed 115 mph (ASCE-7-10)
Exposure Category B
Wind Base Shears (for MWFRS) Vx= 28.1 kips Vy= 12.7 kips

SEISMIC DESIGN CATEGORY A

Compliance with Section 1616.4 only? Yes No

SEISMIC DESIGN CATEGORY B, C, & D

Provide the following Seismic Design Parameters:

Seismic Use Group I

Spectral Response Acceleration Sms 23 %g Smi 10 %g

Site Classification B

Basic structural system (check one)

Bearing Wall Dual w/ Special Moment Frame
 Building Frame Dual w/ Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum

Seismic Base Shear Vx= 9.5 kips Vy= 9.5 kips

Analysis Procedure Simplified Equivalent Lateral Force Modal

Architectural, Mechanical, Components anchored? _____

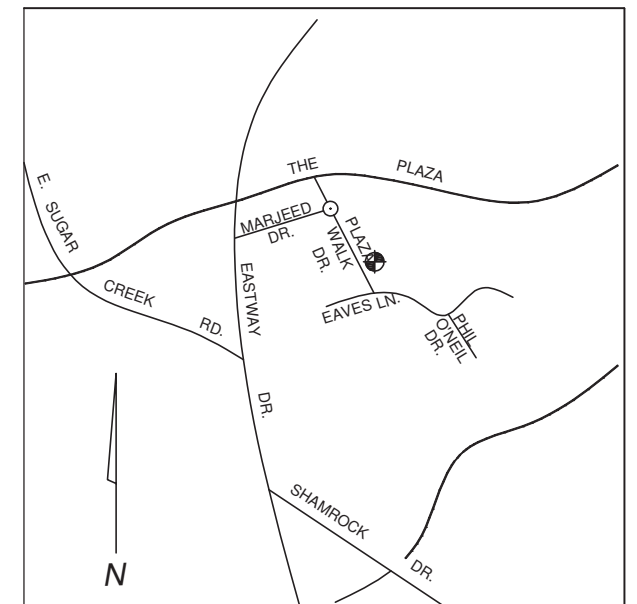
LATERAL DESIGN CONTROL: Earthquake _____ Wind

SOIL BEARING CAPACITIES:

Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity 2000 psf
Pile size, type, and capacity _____

Project #: 402787 Addr: 925 Plaza Walk Dr, Charlotte
Approved as Noted

Sheet 1:
-U336 two-hour fire-rated area-separation wall utilized between units and at roof offsets with frame wall on each side of roof offsets. FRT roof sheathing used 4 ft. each way off demising wall in lieu of a parapet.
-Electrical, mechanical, fuel gas and plumbing are not part of review. -R310 Egress requirements met through recorded plat
-Field inspector verify #1 SP header lumber -Field inspector verify the opening of attic access 20" x 30" minimum net clear opening per R807.1 (TYP.) -Field inspector verify access hatches and door insulation per N1102.2.4 (TYP.) -Field inspector verify riser height, tread depth, nosing and headroom height details per R311 -Field inspector verify under-stair protection per R302.7
-Field inspector verify concrete and masonry foundation slab shall extend above the finished grade adjacent to the foundation at all points a minimum 6" per R404.1.6
-Field inspector verify Handrail Height shall be 34"-38" -Field inspector verify saw cut for roof sheathing on U336



VICINITY MAP

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APPENDIX B/TITLE	T.01
SITE UTILITY PLAN	A.01
FRONT/REAR EXTERIOR ELEVATIONS	A.02
SIDE EXTERIOR ELEVATIONS	A.03
FOUNDATION PLAN	A.04
BUILDING FIRST FLOOR PLAN	A.05
BUILDING SECOND FLOOR PLAN	A.06
ROOF PLAN	A.07
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ROBINSON RIGHT FLOOR PLAN/NOTES	A.10
VICTORIA RIGHT FLOOR PLAN/NOTES	A.11
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WALL DETAILS	S.02
TENANT PARTITION DETAILS	S.03
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ROOF FRAMING PLAN	S.10
ROOF FRAMING DETAILS	S.11
ROOF FRAMING DETAILS	S.12

APPROVED AS NOTED
20-Nov-2019

UNDER A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS APPROVAL SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS.

PLANS REVIEWED BY:
Fiona

Packet Pg. 117

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

TELEPHONE: 704-376-20
FAX: 704-342-1797

DWN. BY: CARRIE MAST
cmasto@habitatcharlotte.c

ENGINEER:
Gavel and Dorn Engineeri
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 201

SHEET #:

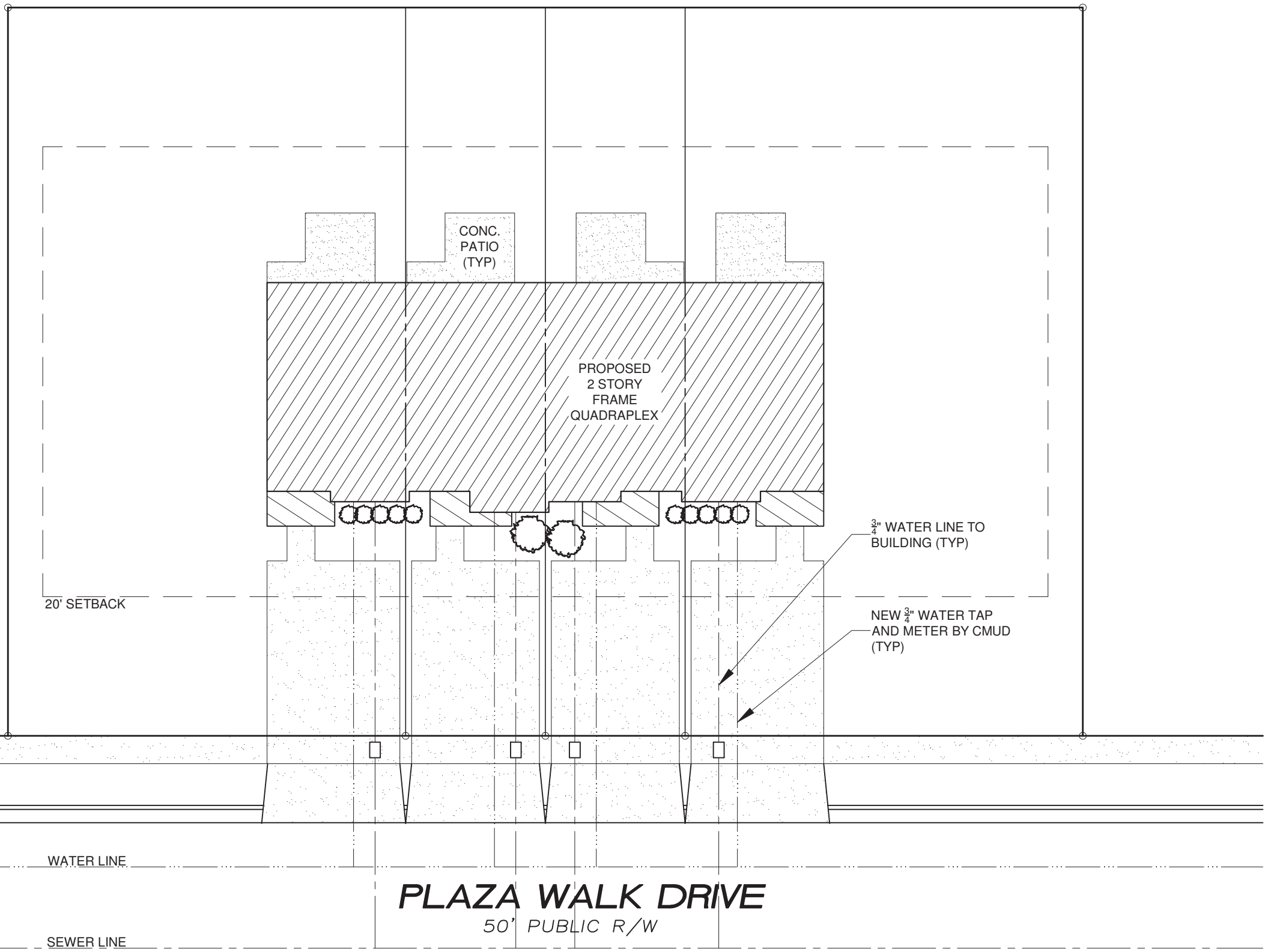
A.01

SANITARY SEWER NOTES:

1. Contractor to locate lateral tie-ins.
2. Maintain minimum 10' horizontal separation between water line and other utility lines.
3. Place cleanouts on sanitary lines per plumbing code requirements.
4. Contractor to provide as-built record drawings to owner.
5. All sanitary sewer connections per city of Charlotte standard.
6. Contractor responsible for obtaining encroachment agreement required to construct utility lines.

MECKLENBURG COUNTY
CODE ENFORCEMENT

Residential Plan Review Disclaimer:
A limited plan review for compliance with the NC State Residential Code was performed on these plans. It is the responsibility of the contractor to construct this project in full compliance with the North Carolina Residential Code, local ordinances, and State regulations.



FIRE HYDRANT LOCATED AT
INTERSECTION OF PLAZA
WALK DRIVE AND CITISIDE
DRIVE

EXISTING CITY WATER
AND SEWER

WATER LINE

SEWER LINE

PLAZA WALK DRIVE

50' PUBLIC R/W

1 SCHEMATIC SITE PLAN
NOT TO SCALE



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

TELEPHONE: 704-376-20-
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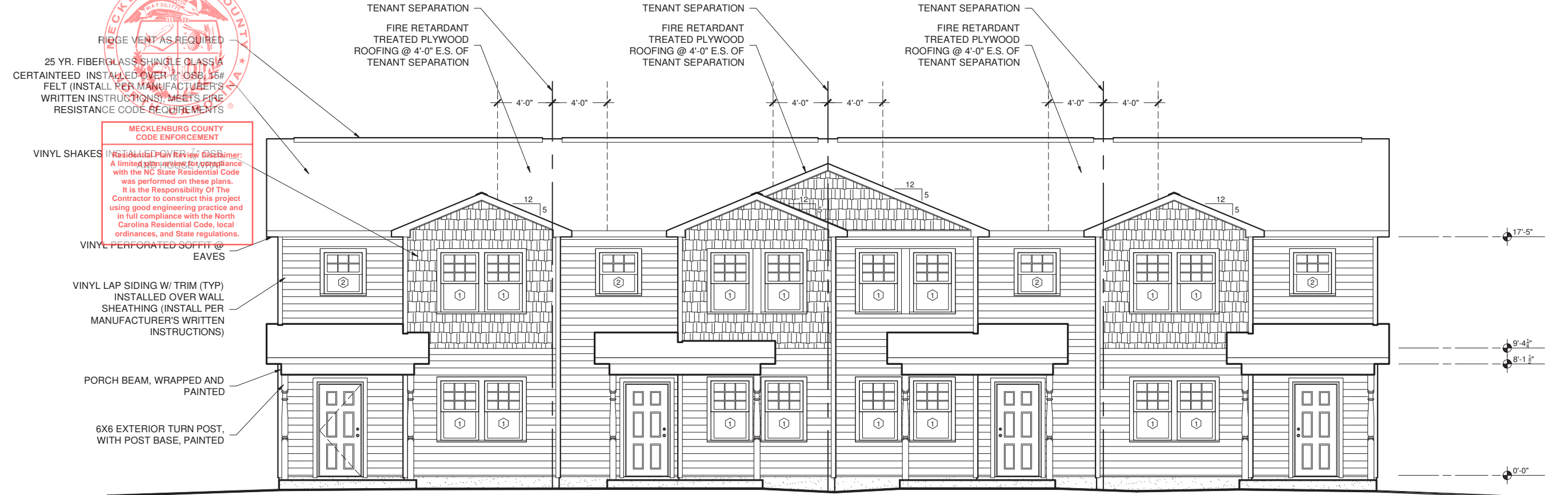
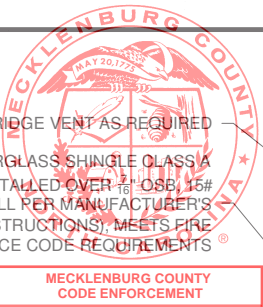
Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITSIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 2015

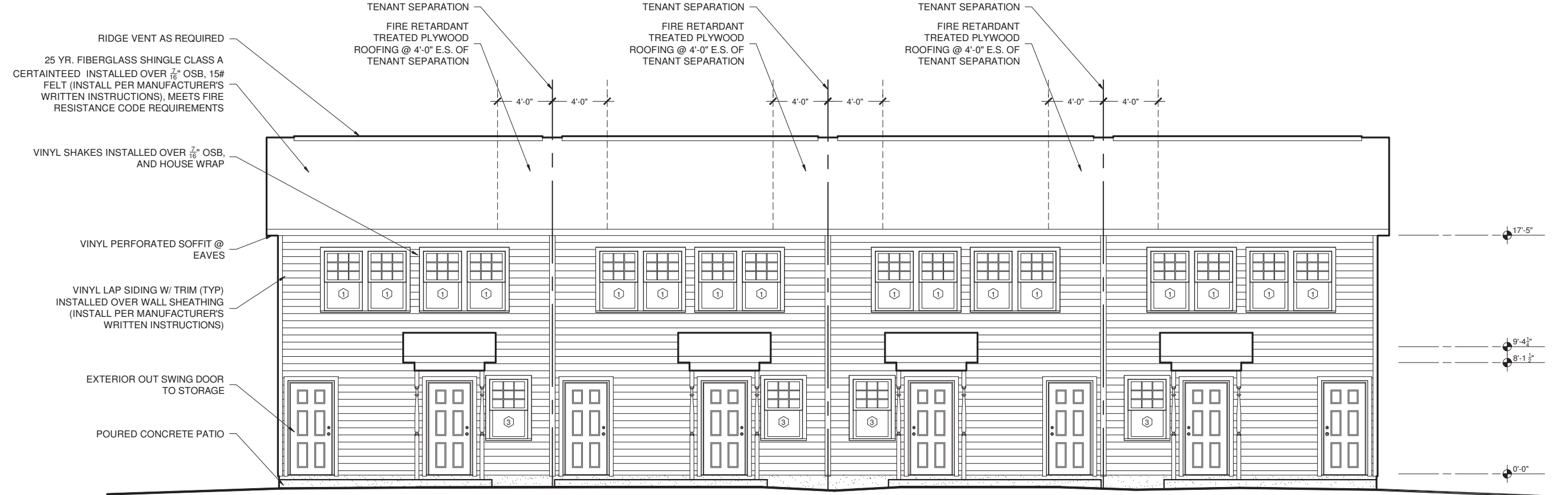
SHEET #:

A.02



*PROVIDE HANDRAILS/GUARDRAILS PER NCRC 2018 SECTION(S) R311 & R312, MUST MEET CODE

1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



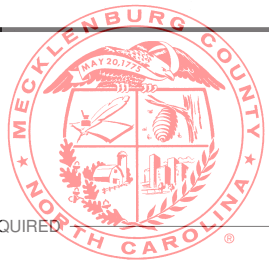
2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

HABITAT FOR HUMANITY OF CHARLOTTE TOWNHOMES AT CITESIDE 925, 929, 933, 937 PLAZA WALK DRIVE CHARLOTTE, NC 28215

DATE: NOVEMBER 4, 201 SHEET #:

A.03

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)



RIDGE VENTS AS REQUIRED

VINYL SHAKES INSTALLED OVER 7/16" OSB

MECKLENBURG COUNTY CODE ENFORCEMENT Residential Plan Review Disclaimer: A limited plan review for compliance with the NC State Residential Code was performed on these plans. It is the responsibility of the Contractor to construct this project using good engineering practice and in full compliance with the North Carolina Residential Code, local ordinances, and State regulations.

17'-5"

9'-4 1/2" 8'-1 1/2"

4X4 EXTERIOR TURN POST, WITH POST BASE, PAINTED

0'-0"

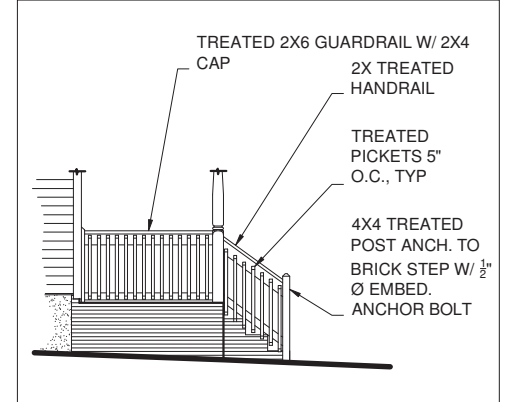
25 YR. FIBERGLASS SHINGLE CLASS A CERTAINTEED INSTALLED OVER 7/16" OSB, 15# FELT (INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS), MEETS FIRE RESISTANCE CODE REQUIREMENTS

VINYL PERFORATED SOFFIT @ EAVES

VINYL LAP SIDING W/ TRIM (TYP) INSTALLED OVER WALL SHEATHING (INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS)

PORCH BEAM, WRAPPED AND PAINTED

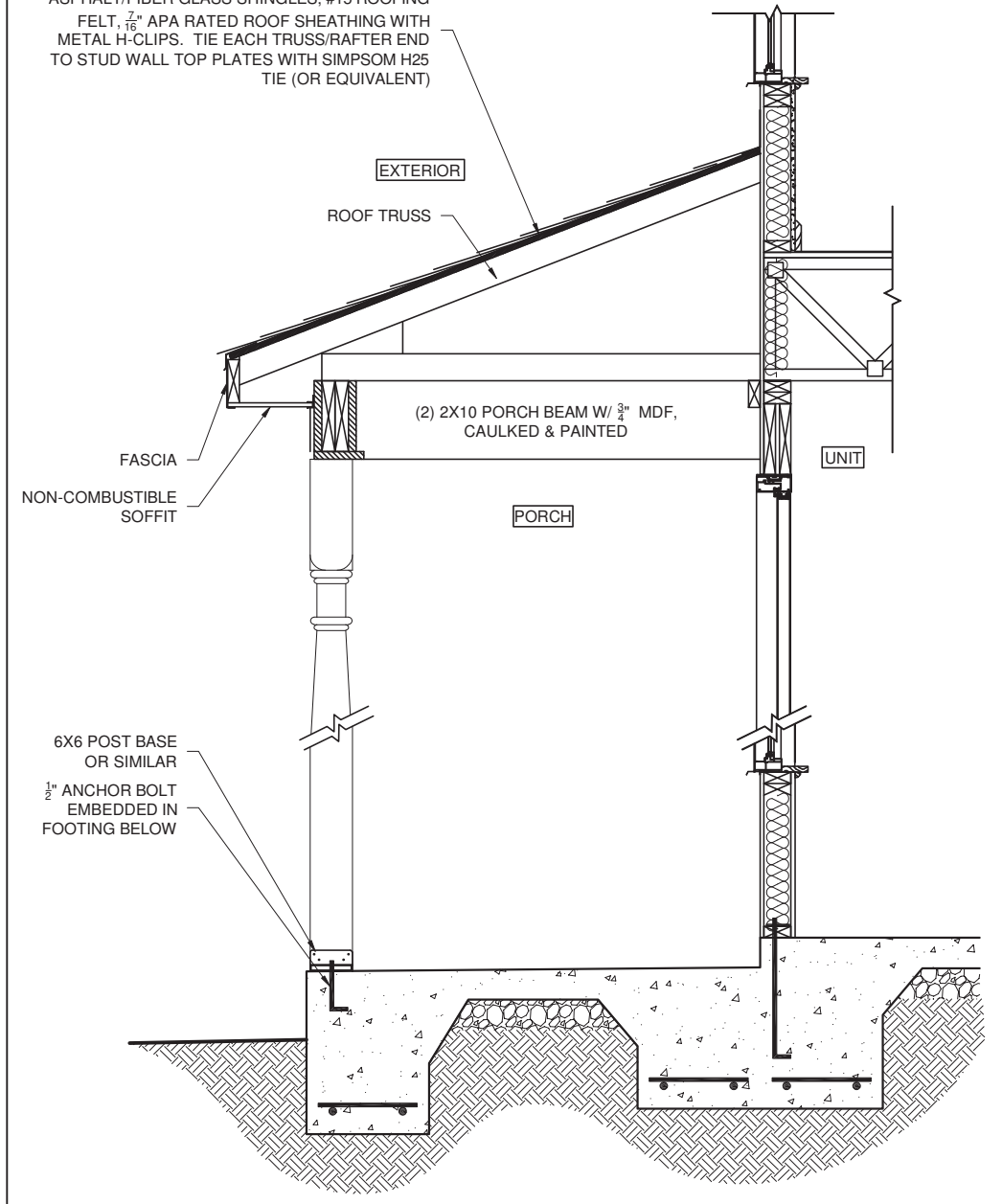
6X6 EXTERIOR TURN POST, WITH POST BASE, PAINTED



4 HANDRAIL/GUARDRAIL IF APPLICABLE

1 SIDE ELEVATION SCALE: 1/8"=1'-0"

TYPICAL ROOF CONSTRUCTION: ASPHALT/FIBER GLASS SHINGLES, #15 ROOFING FELT, 7/16" APA RATED ROOF SHEATHING WITH METAL H-CLIPS. TIE EACH TRUSS/RAFTER END TO STUD WALL TOP PLATES WITH SIMPSOM H25 TIE (OR EQUIVALENT)



3 TYP. SECTION @ FRONT PORCH SCALE: 1/2"=1'-0"

2 SIDE ELEVATION SCALE: 1/8"=1'-0"

4X4 EXTERIOR TURN POST, WITH POST BASE, PAINTED

17'-5"

9'-4 1/2" 8'-1 1/2"

0'-0"



3815 LATROBE DRIVE CHARLOTTE, NC 28211

TELEPHONE: 704-376-20 FAX: 704-342-1797

DWN. BY: CARRIE MAST cmasto@habitatcharlotte.o

ENGINEER: Gavel and Dorn Engineer 6730 Freedom Drive Charlotte, NC 28214 (704)-919-1900

HABITAT FOR HUMANITY OF CHARLOTTE TOWNHOMES AT CITSIDE 925, 929, 933, 937 PLAZA WALK DRIVE CHARLOTTE, NC 28215

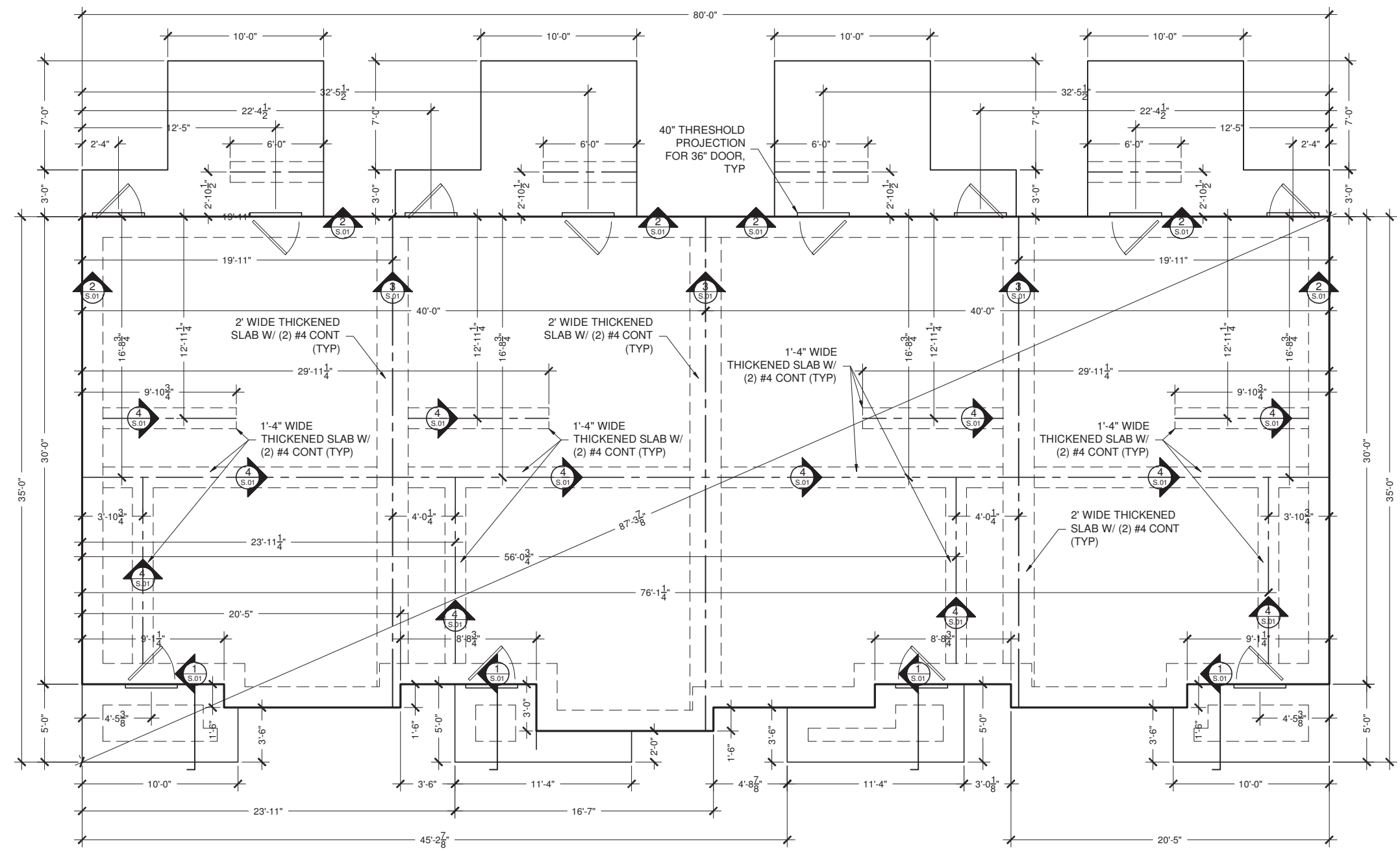
DATE: NOVEMBER 4, 201

SHEET #:

A.04

FOUNDATION NOTES:

- 1. Dig continuous footing under all foundation walls; 8" minimum thickness, with (2) #4 rebar, continuous, on supports, @ 4'-0" O.C. maximum.
2. All walls, including porches, must be inside set back lines.
3. See plan for thickened slab bearing interior wall locations.
3.1. 10" deep X (2) #4 continuous rebar with (2) #4 continuous rebar.
4. 4" of 3000 PSI concrete barrier with minimum 4" rigid-5 insulation.
5. Strap Anchors: Per NCRC 2018 R403.1.6, Foundation Anchorage
5.1. Locate Simpson MAB15 strap anchors or equiv. within 12" of each corner, both sides of exterior doors, and a minimum of 46" O.C.
5.2. 6.5" minimum embedment; see details Sheet S.01
6. Termite Treatment: Structure to be treated for termites when framing is complete.



1 FOUNDATION FLOOR PLAN SCALE: 1/8" = 1'-0"

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

TELEPHONE: 704-376-20
FAX: 704-342-1797

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HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITSIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

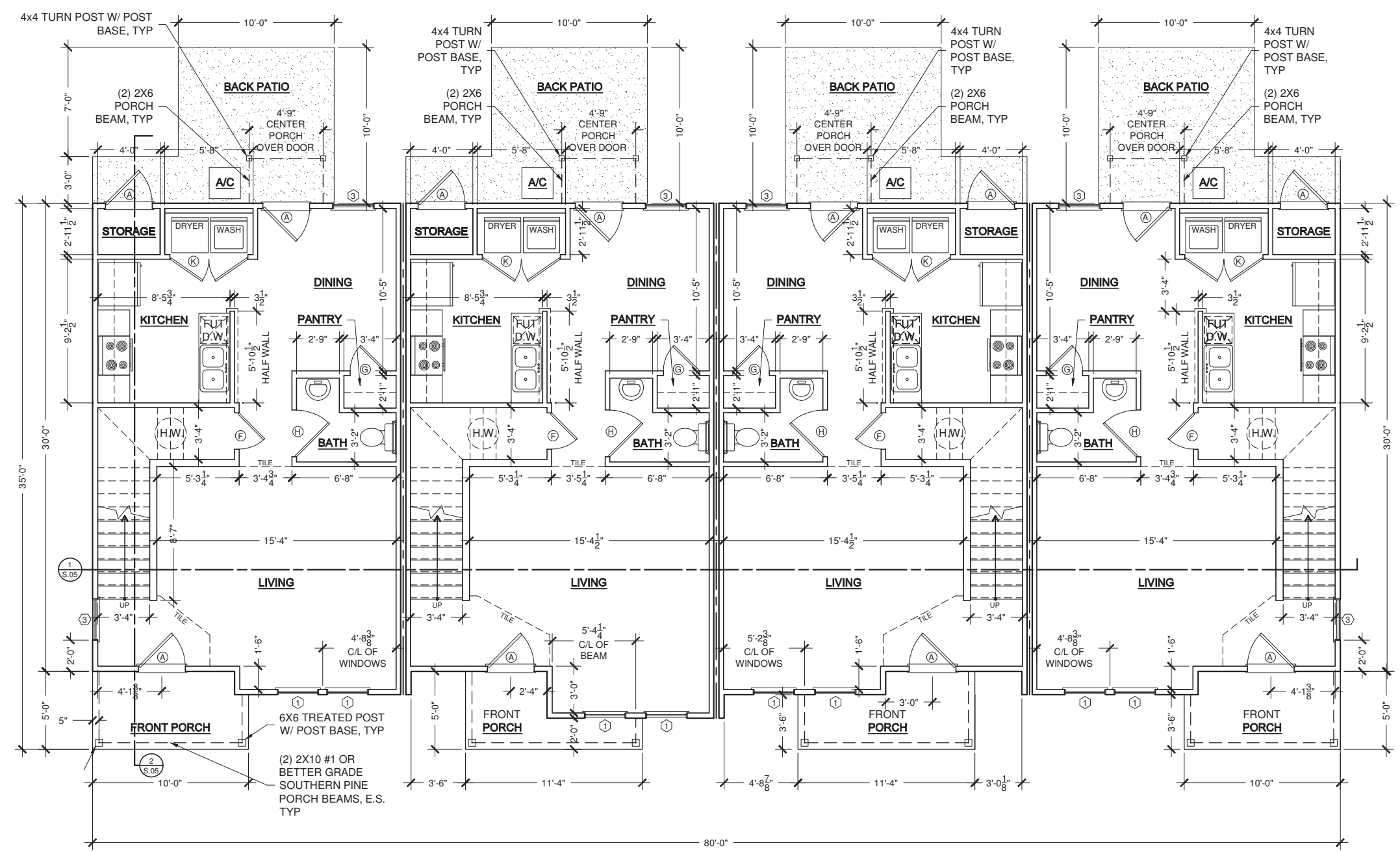
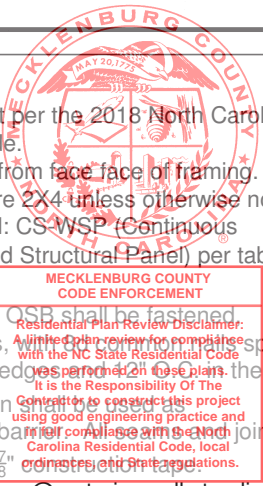
DATE:
NOVEMBER 4, 201

SHEET #:

A.05

GENERAL NOTES:

1. Plans to be built per the 2018 North Carolina Residential Code.
2. All dimensions from face of framing.
3. All wall studs are 2X4 unless otherwise noted.
4. Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
- 4.1. 1/2" X 4' X 8' OSB shall be fastened continuous at edges and spaced 6" O.C. at edges of the field.
5. 1/2" rigid insulation water-resistive barrier joints to be taped with 2" construction tape.
6. Face of sheathing @ exterior walls to align with face of masonry below.
7. All window locations to be determined on site unless otherwise dimensioned.
8. All windows and doors to be covered by porches and flashed.
9. All windows and doors shall have an overall U-Factor of .35 or less, and a SHGC of .30 or less.
10. Water resistant flooring shall be used in kitchen, bathroom(s), and laundry areas AND w/in 3 feet of all exterior doors.
11. Clothes dryer shall be exhausted directly to outdoors.
12. Drain and drain pan -OR- single throw supply valve shall be installed for clothes washer.
13. Water heater to be located in designated closet as shown; drain and drain pan shall be installed; drain shall lead directly to outdoors.
14. HVAC attic return to be located in hall ceiling.
15. Engineered roof trusses (by others) shall be installed 2'-0" O.C., in-line with framing below, shall bear on exterior walls ONLY (unless otherwise noted), have a raised heel, and 12" overhangs.
16. Any building face within 10' of property line requires protection behind aluminum & vinyl soffits per NCRC 2018 Section R302.1.1.
17. TERMITE TREATMENT: Treatment of all framing within 3' of foundation.
18. Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
19. Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
20. Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

See notes on cover sheet

WINDOW SCHEDULE:	DOOR SCHEDULE:	WALL HEADERS:	STUD SPACING:
1. 2'-8"X4'-4"	(A) 36" Exterior Metal Entry Door	Windows 1st (2) 2X10	Exterior Walls - 2X4s @ 16" O.C.
2. 2'-8" X 3'0"	(B) 32" Exterior Metal Entry Door	Ext Doors 1st (2) 2X10	Interior Walls - 2X4s @ 24" O.C.*
3. 2'-8"X4'-4" Tempered	(C) 24" Interior Door	Windows 2nd (2) 2X6	*unless otherwise noted
Meets all egress and glazing requirements per 2018 NC RES BLDG Code	(D) 32" Interior Door	#1 or better grade	UNIT SQUARE FOOTAGE:
	(E) 18" Interior Door	Southern Pine lumber per NCRC 2018 Table R602.7(1)	Heated
	(F) 30" Interior Door		Unheated
	(G) 28" Interior Door	JACK STUD REQ:	Victoria Left
	(H) 36" Interior Door	First floor (2)	Sutton Left
	(I) 36" Bi-hung Interior Door	Second floor (1)	Robinson Right
(J) 48" Bi-hung Interior Door	Per Table R602.7(1) of the 2018 NC RES BLDG Code	Victoria Right	
(K) 60" Bi-hung Interior Door			



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

TELEPHONE: 704-376-20-
FAX: 704-342-1797

DWN. BY: CARRIE MAST
cmasto@habitatcharlotte.org

ENGINEER:
Gavel and Dorn Engineer
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITSIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

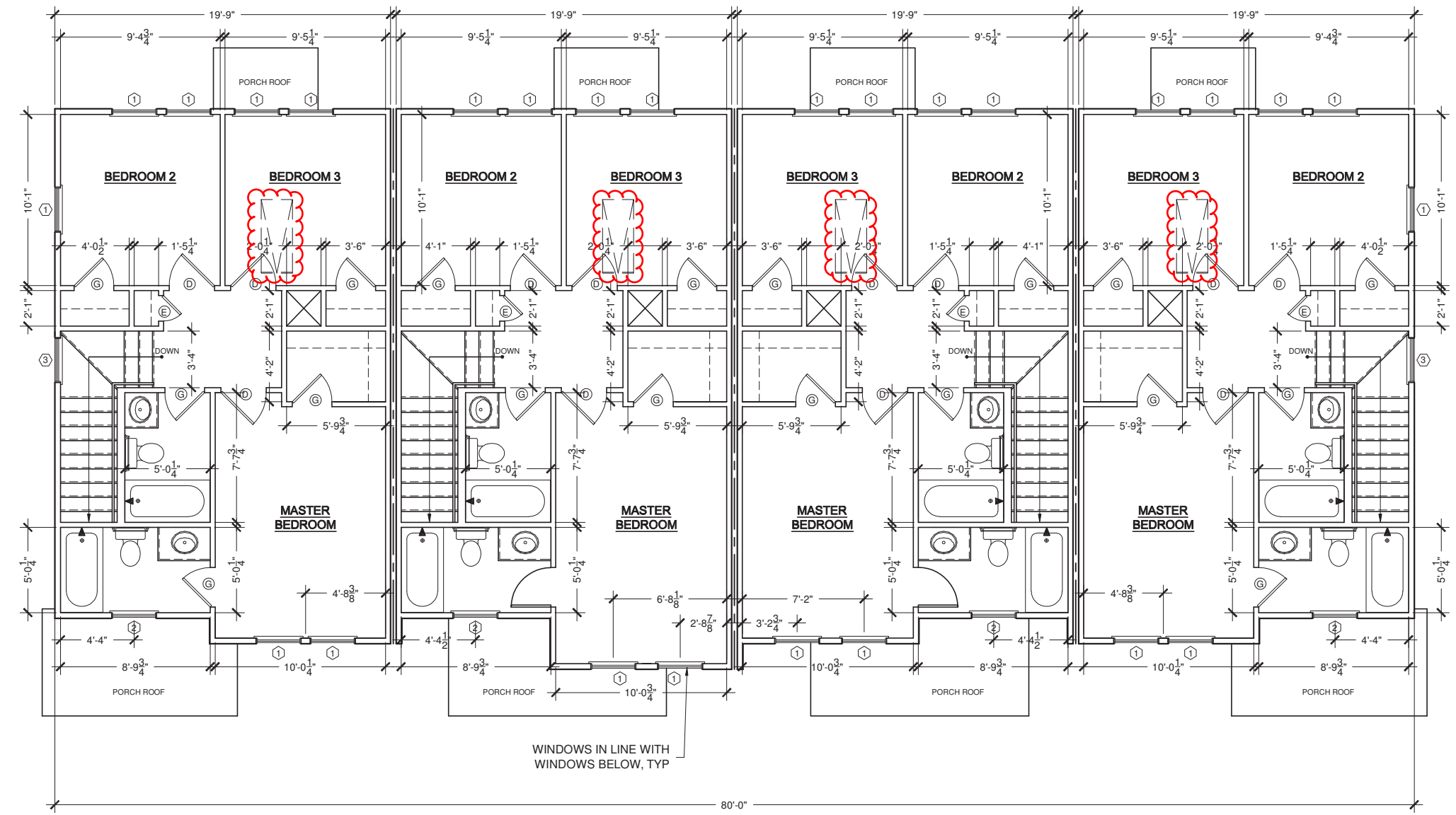
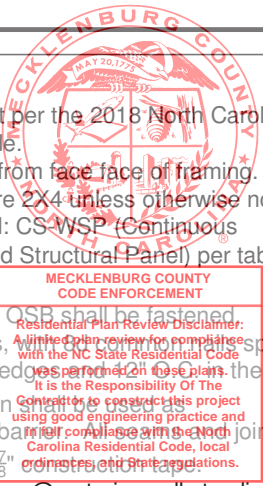
DATE:
NOVEMBER 4, 201

SHEET #:

A.06

GENERAL NOTES:

1. Plans to be built per the 2018 North Carolina Residential Code.
2. All dimensions from face face of framing.
3. All wall studs are 2X4 unless otherwise noted.
4. Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
- 4.1. 1/2" X 4' X 8' OSB shall be fastened continuous, spaced 6" O.C. at edges of the field.
5. 1/2" rigid insulation water-resistive barrier joints to be taped with 2" construction tape.
6. Face of sheathing @ exterior walls to align with face of masonry below.
7. All window locations to be determined on site unless otherwise dimensioned.
8. All windows and doors to be covered by porches and flashed.
9. All windows and doors shall have an overall U-Factor of .35 or less, and a SHGC of .30 or less.
10. Water resistant flooring shall be used in kitchen, bathroom(s), and laundry areas AND w/in 3 feet of all exterior doors.
11. Clothes dryer shall be exhausted directly to outdoors.
12. Drain and drain pan -OR- single throw supply valve shall be installed for clothes washer.
13. Water heater to be located in designated closet as shown; drain and drain pan shall be installed; drain shall lead directly to outdoors.
14. HVAC attic return to be located in hall ceiling.
15. Engineered roof trusses (by others) shall be installed 2'-0" O.C., in-line with framing below, shall bear on exterior walls ONLY (unless otherwise noted), have a raised heel, and 12" overhangs.
16. Any building face within 10' of property line requires protection behind aluminum & vinyl soffits per NCRC 2018 Section R302.1.1.
17. TERMITE TREATMENT: Treatment of all framing within 3' of foundation.
18. Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
19. Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
20. Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.



See notes on cover sheet

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE:	DOOR SCHEDULE:	WALL HEADERS:	STUD SPACING:	
1. 2'-8"X4'-4"	(A) 36" Exterior Metal Entry Door	Windows 1st (2) 2X10	Exterior Walls - 2X4s @ 16" O.C.	
2. 2'-8" X 3'0"	(B) 32" Exterior Metal Entry Door	Ext Doors 1st (2) 2X10	Interior Walls - 2X4s @ 24" O.C.*	
3. 2'-8"X4'-4" Tempered	(C) 24" Interior Door	Windows 2nd (2) 2X6	*unless otherwise noted	
Meets all egress and glazing requirements per 2018 NC RES BLDG Code	(D) 32" Interior Door	#1 or better grade Southern Pine lumber per NCRC 2018 Table R602.7(1)	UNIT SQUARE FOOTAGE:	
	(E) 18" Interior Door		Heated	Unheated
	(F) 30" Interior Door	JACK STUD REQ: First floor (2) Second floor (1) Per Table R602.7(1) of the 2018 NC RES BLDG Code	Victoria Left	
	(G) 28" Interior Door		Sutton Left	
	(H) 36" Interior Door		Robinson Right	
	(I) 36" Bi-hung Interior Door		Victoria Right	
	(J) 48" Bi-hung Interior Door			
	(K) 60" Bi-hung Interior Door			



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

TELEPHONE: 704-376-20
FAX: 704-342-1797

DWN. BY: CARRIE MAST
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ENGINEER:
Gavel and Dorn Engineer
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900

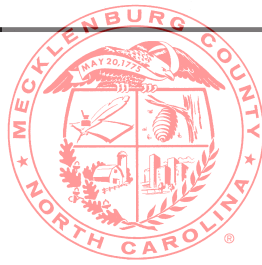
Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITESIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 2015

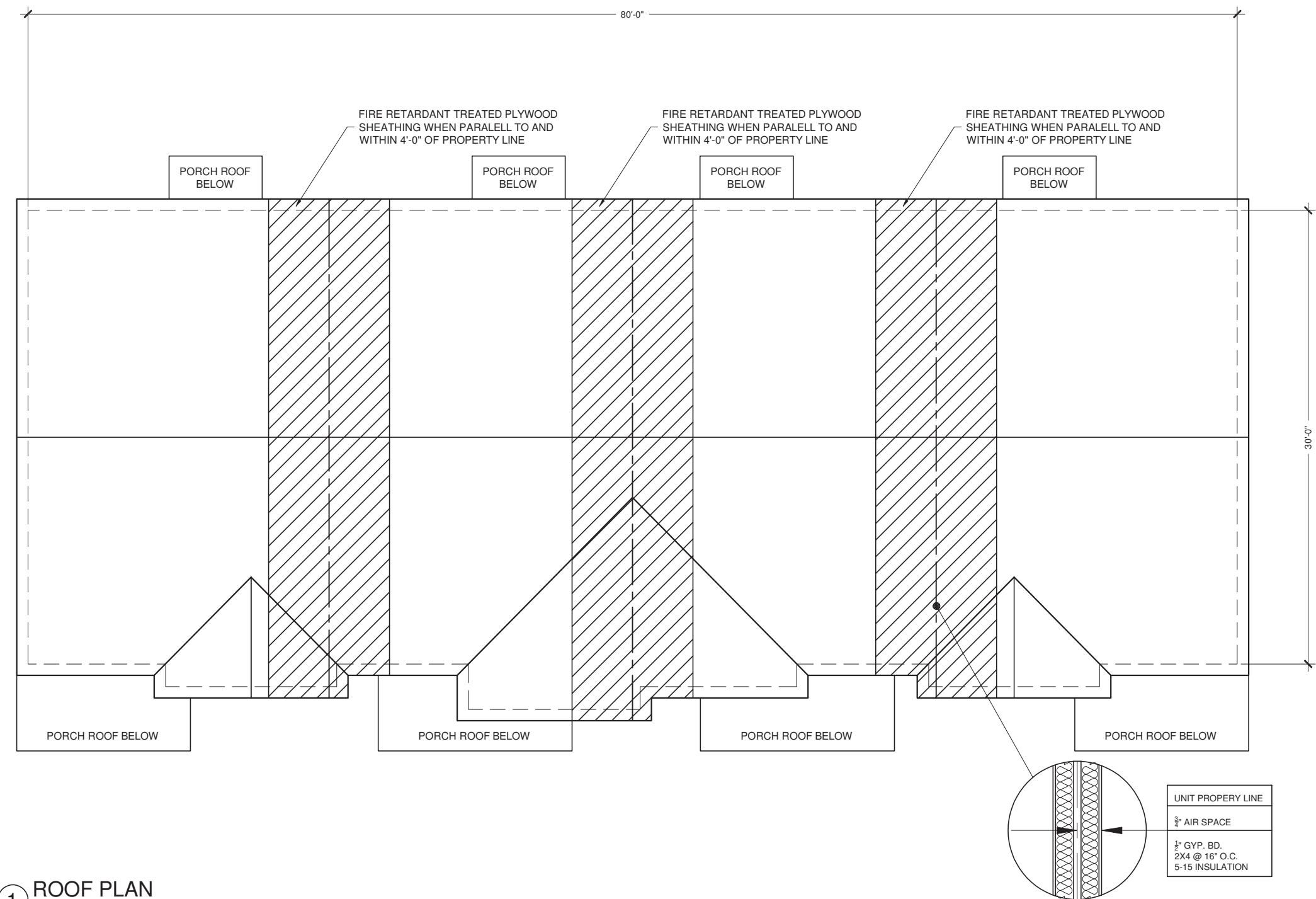
SHEET #:

A.07



MECKLENBURG COUNTY
CODE ENFORCEMENT

Residential Plan Review Disclaimer:
A limited plan review for compliance
with the NC State Residential Code
was performed on these plans.
It is the Responsibility Of The
Contractor to construct this project
using good engineering practice and
in full compliance with the North
Carolina Residential Code, local
ordinances, and State regulations.



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

ATTIC VENTILATION	
500 SQ. FT. OF CEILING/300	= 2.0 SQ. FT. REQ.
RIDGE VENTS = 2.0 X 0.5 0.083 SQ. FT. VENT/LN. FT. (1.0 / .083 = 12.1)	= 1.0 SQ. FT. REQ. = 12.1 LN. FT. REQ.
SOFFIT VENTS = 2.0 X 0.5 0.062 SQ. FT. VENT/LN. FT. (1.0 / .062 = 16.13)	= 1.0 SQ. FT. REQ. = 16.3 LN. FT. REQ.

*NOTE: CALCULATIONS ARE PER UNIT (19'-9" X 30'-0")



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

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ENGINEER:
Gavel and Dorn Engineer
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITSIDE
 925, 929, 933, 937 PLAZA WALK DRIVE
 CHARLOTTE, NC 28215

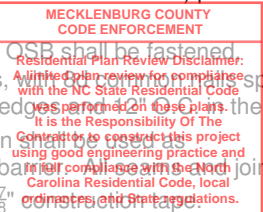
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NOVEMBER 4, 201*

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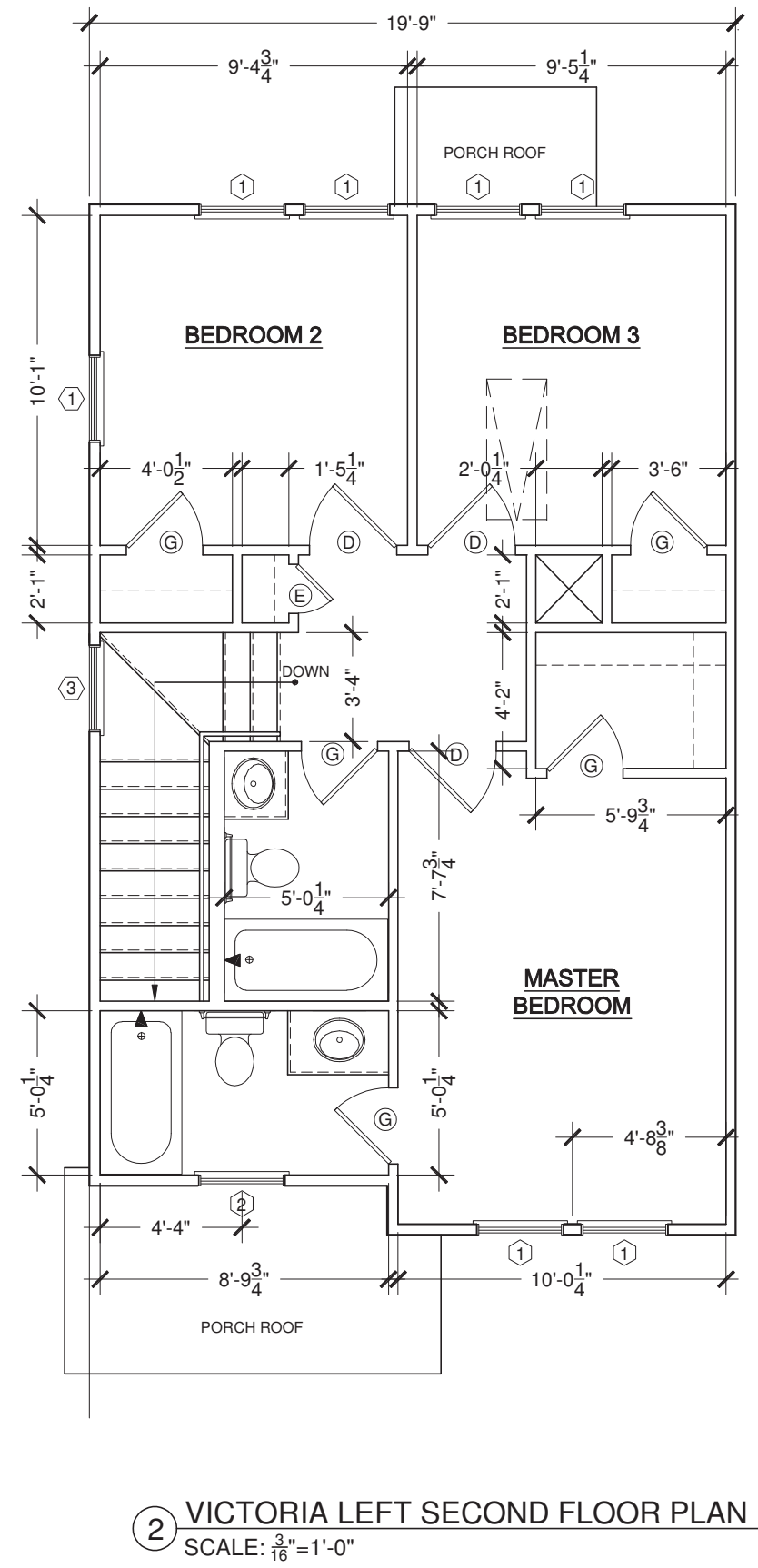
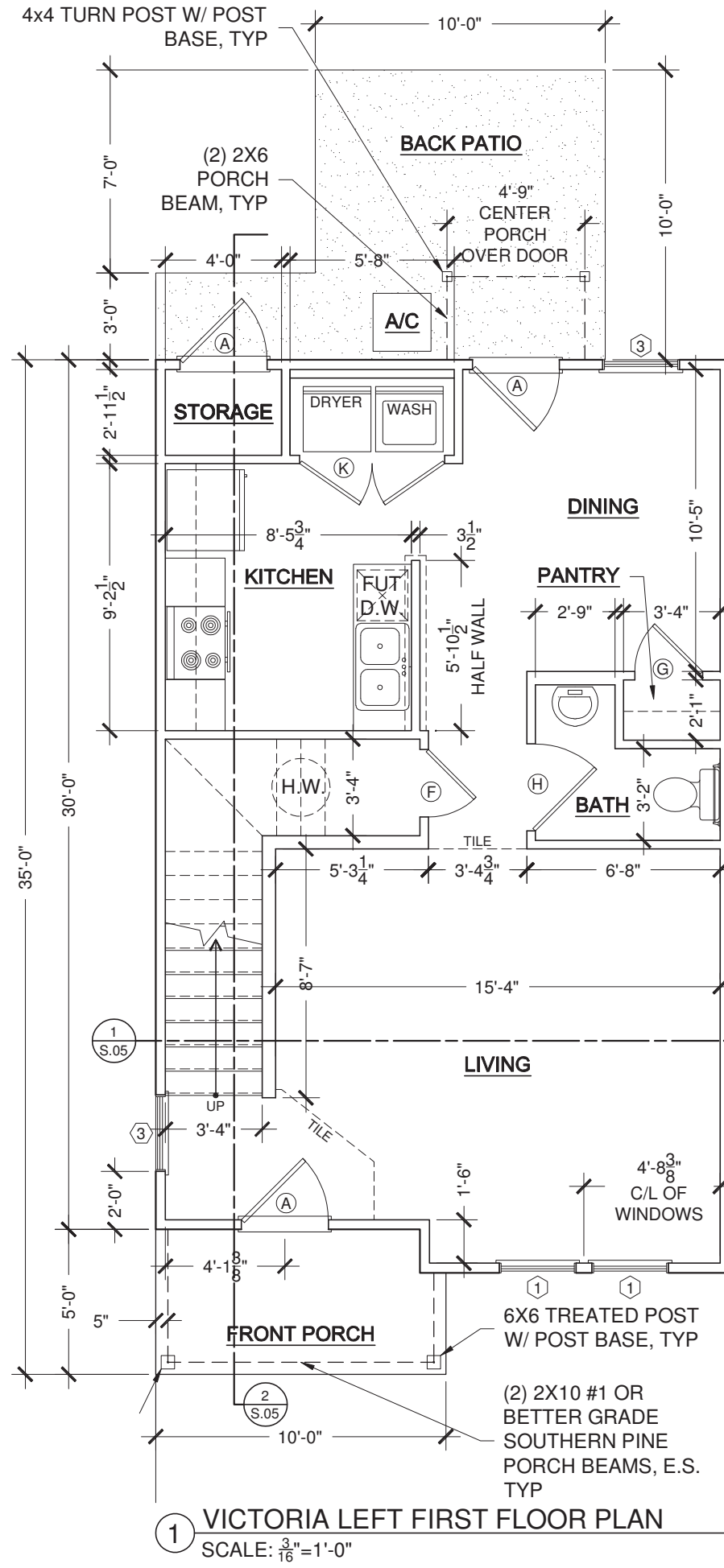
A.03

GENERAL NOTES:

1. Plans to be built per the 2018 North Carolina Residential Code.
2. All dimensions from face face of framing.
3. All wall studs are 2X4 unless otherwise noted.
4. Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
- 4.1. 1/2" X 4' X 8' OSB shall be fastened continuous, spaced 6" O.C. at edges of the field.
5. 1/2" rigid insulation water-resistive barrier joints to be taped with 2" construction tape.
6. Face of sheathing @ exterior walls to align with face of masonry below.
7. All window locations to be determined on site unless otherwise dimensioned.
8. All windows and doors to be covered by porches and flashed.
9. All windows and doors shall have an overall U-Factor of .35 or less, and a SHGC of .30 or less.
10. Water resistant flooring shall be used in kitchen, bathroom(s), and laundry areas AND w/in 3 feet of all exterior doors.
11. Clothes dryer shall be exhausted directly to outdoors.
12. Drain and drain pan -OR- single throw supply valve shall be installed for clothes washer.
13. Water heater to be located in designated closet as shown; drain and drain pan shall be installed; drain shall lead directly to outdoors.
14. HVAC attic return to be located in hall ceiling.
15. Engineered roof trusses (by others) shall be installed 2'-0" O.C., in-line with framing below, shall bear on exterior walls ONLY (unless otherwise noted), have a raised heel, and 12" overhangs.
16. Any building face within 10' of property line requires protection behind aluminum & vinyl soffits per NCRC 2018 Section R302.1.1.
17. TERMITE TREATMENT: Treatment of all framing within 3' of foundation.
18. Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
19. Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
20. Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.



WINDOW SCHEDULE:	DOOR SCHEDULE:	WALL HEADERS:
1. 2'-8"X4'-4"	(A) 36" Exterior Metal Entry Door	Windows 1st (2) 2X10
2. 2'-8" X 3'0"	(B) 32" Exterior Metal Entry Door	Ext Doors 1st (2) 2X10
3. 2'-8"X4'-4" Tempered	(C) 24" Interior Door	Windows 2nd (2) 2X6
Meets all egress and glazing requirements per 2018 NC RES BLDG Code	(D) 32" Interior Door	#1 or better grade Southern Pine lumber per NCRC 2018 Table R602.7(1)
STUD SPACING:	(E) 18" Interior Door	JACK STUD REQ:
Ext. Walls - 2X4s @ 16" O.C.	(F) 30" Interior Door	First floor (2)
Int. Walls - 2X4s @ 24" O.C.*	(G) 28" Interior Door	Second floor (1)
UNIT SQUARE FOOTAGE:	(H) 36" Interior Door	Per Table R602.7(1)
Heated	(I) 36" Bi-hung Interior Door	
Unheated	(J) 48" Bi-hung Interior Door	
	(K) 60" Bi-hung Interior Door	





3815 LATROBE DRIVE CHARLOTTE, NC 28211

TELEPHONE: 704-376-20- FAX: 704-342-1797

DWN. BY: CARRIE MAST cmasto@habitatcharlotte.o

ENGINEER: Gavel and Dorn Engineeri 6730 Freedom Drive Charlotte, NC 28214 (704)-919-1900

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

HABITAT FOR HUMANITY OF CHARLOTTE TOWNHOMES AT CITIESIDE 925, 929, 933, 937 PLAZA WALK DRIVE CHARLOTTE, NC 28215

DATE: NOVEMBER 4, 201

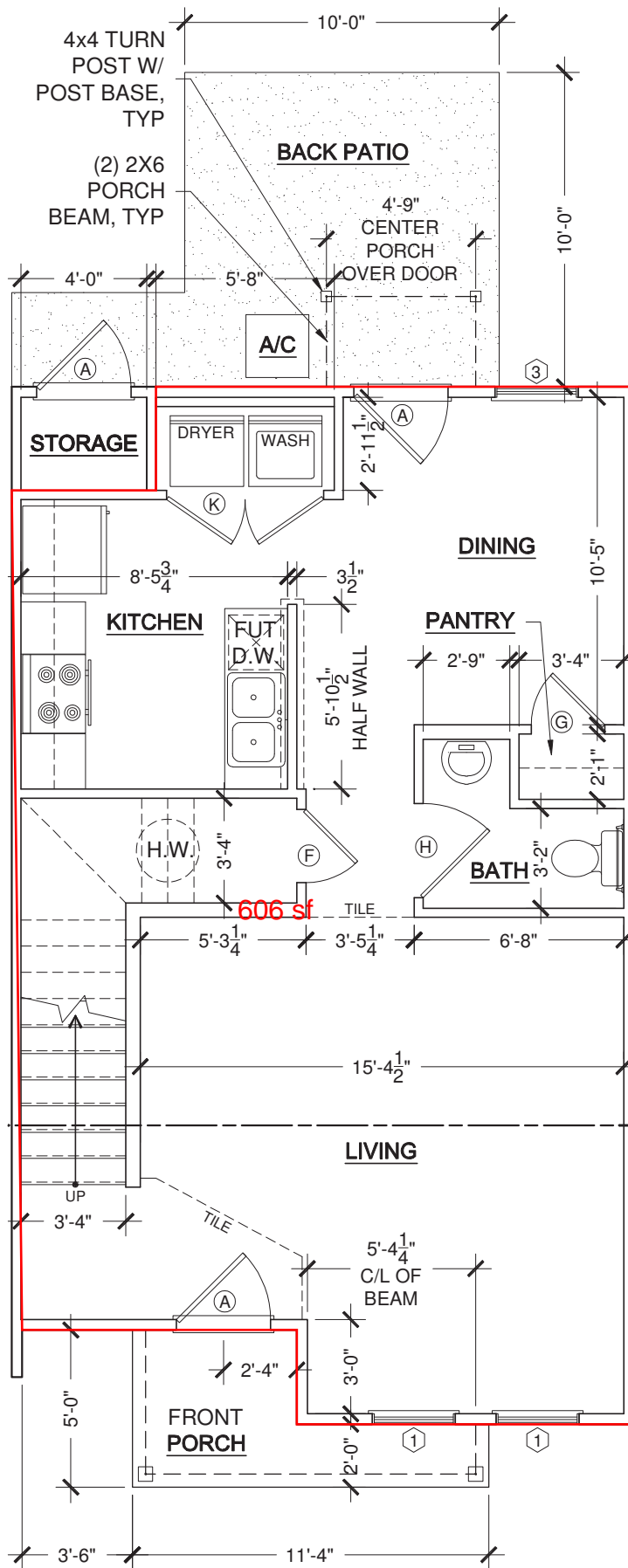
SHEET #:

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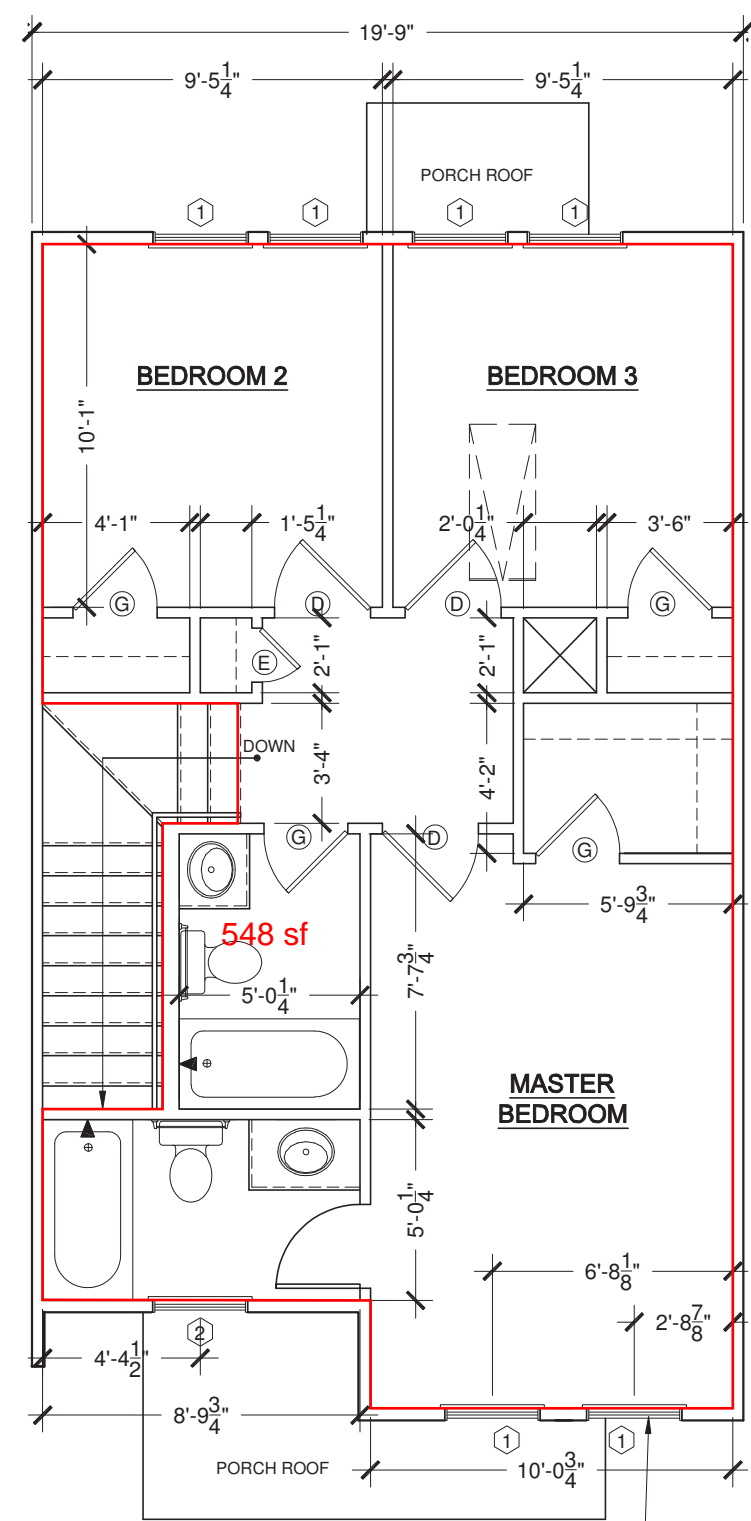
GENERAL NOTES:

- 1. Plans to be built per the 2018 North Carolina Residential Code.
2. All dimensions from face face of framing.
3. All wall studs are 2X4 unless otherwise noted.
4. Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
...
20. Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.

MECKLENBURG COUNTY CODE ENFORCEMENT OSB shall be fastened continuous spaced 6" O.C. at edges of the field.
It is the Responsibility Of The Contractor to provide this project using good engineering practice and meet all applicable North Carolina Residential Code, local ordinances and other regulations.



1 SUTTON LEFT FIRST FLOOR PLAN SCALE: 3/16" = 1'-0"



2 SUTTON LEFT SECOND FLOOR PLAN SCALE: 3/16" = 1'-0"

Table with columns: WINDOW SCHEDULE, DOOR SCHEDULE, WALL HEADERS, JACK STUD REQ, and UNIT SQUARE FOOTAGE. Includes details for window types, door types, header sizes, stud requirements, and heating/cooling status.



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

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ENGINEER:
Gavel and Dorn Engineer
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

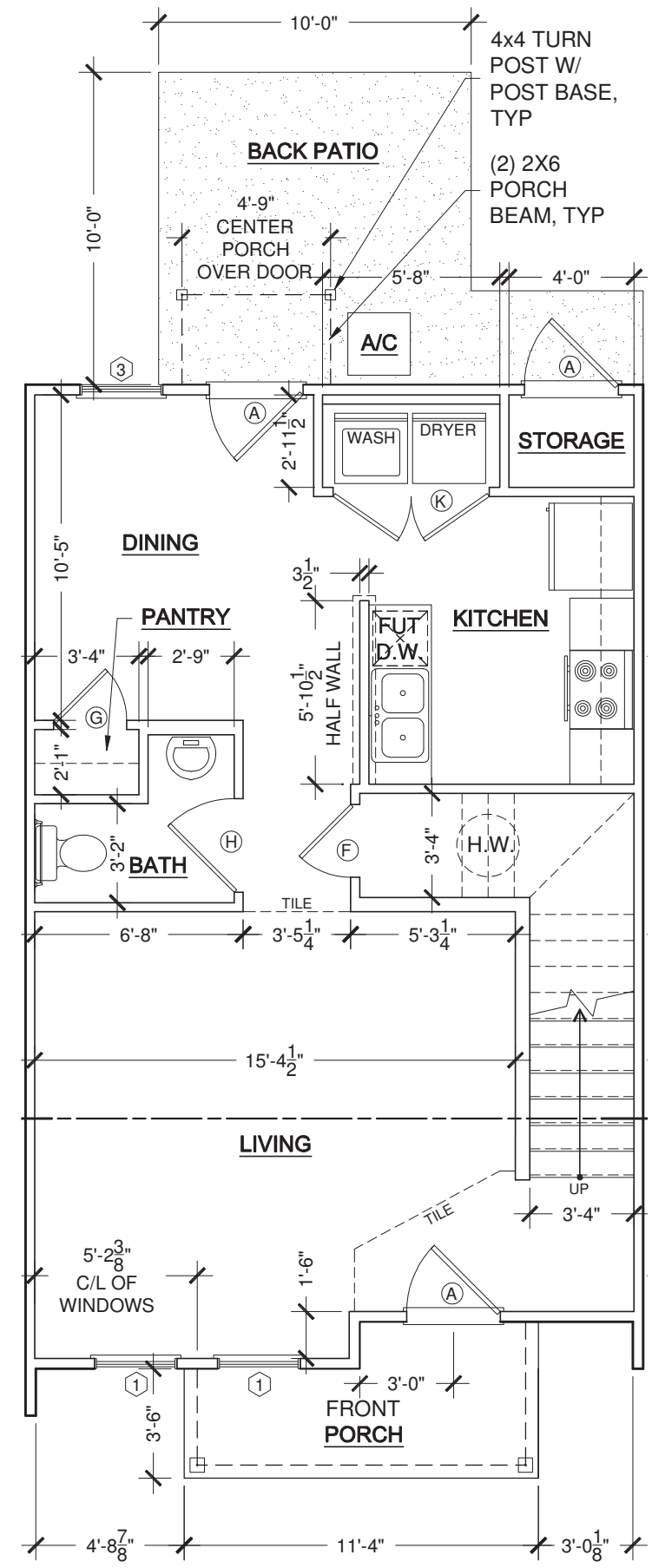
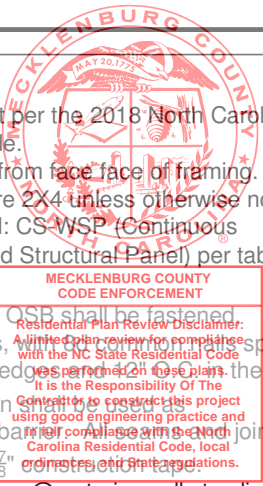
HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITSIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 201*

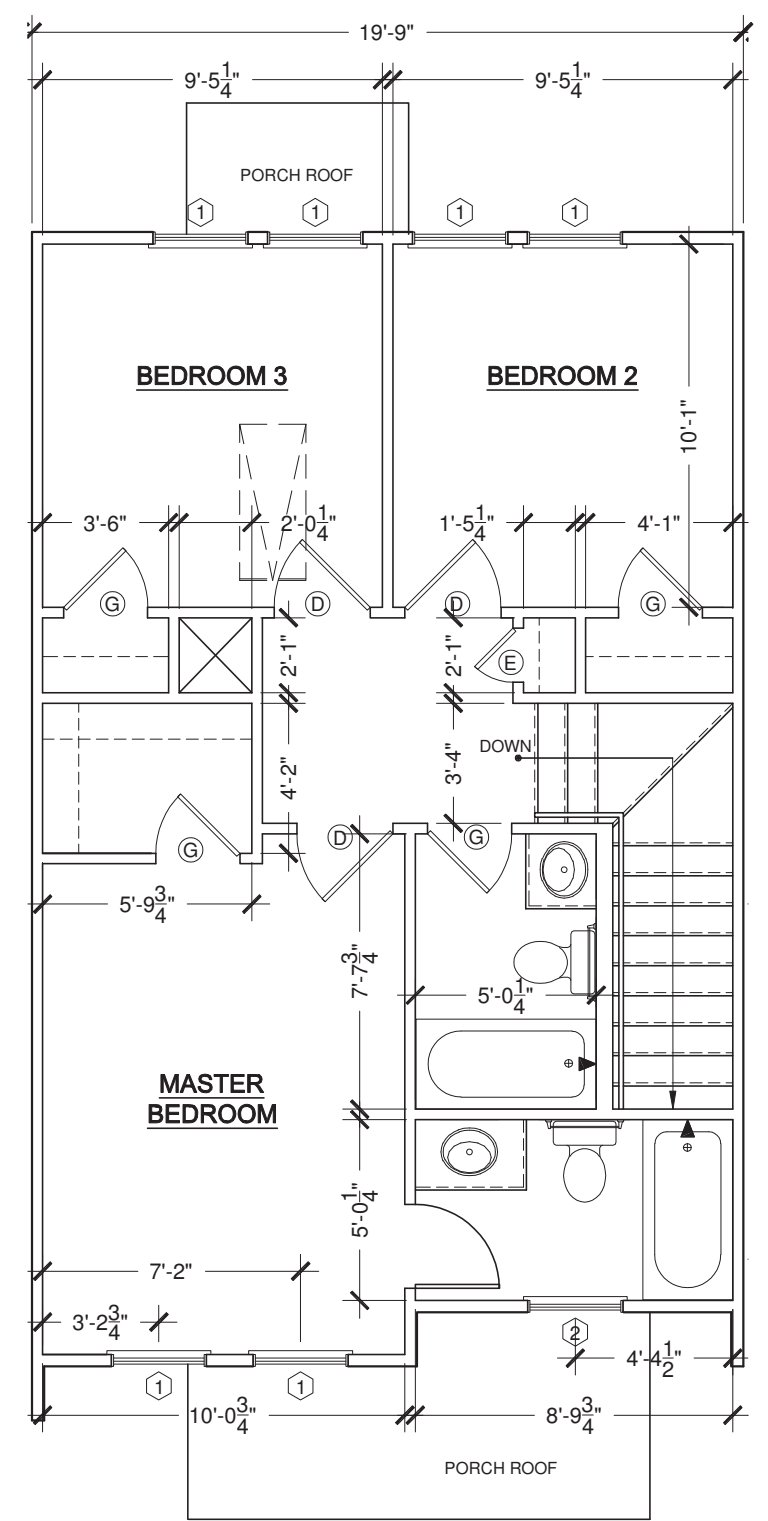
SHEET #:

A.1C

- GENERAL NOTES:**
- Plans to be built per the 2018 North Carolina Residential Code.
 - All dimensions from face face of framing.
 - All wall studs are 2X4 unless otherwise noted.
 - Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
 - 1/2" X 4' X 8' OSB shall be fastened continuous, spaced 6" O.C. at edges of the field.
 - 1/2" rigid insulation shall be applied to exterior walls and water-resistive barrier shall be applied to all joints to be taped with 2" construction tape.
 - Face of sheathing @ exterior walls to align with face of masonry below.
 - All window locations to be determined on site unless otherwise dimensioned.
 - All windows and doors to be covered by porches and flashed.
 - All windows and doors shall have an overall U-Factor of .35 or less, and a SHGC of .30 or less.
 - Water resistant flooring shall be used in kitchen, bathroom(s), and laundry areas AND w/in 3 feet of all exterior doors.
 - Clothes dryer shall be exhausted directly to outdoors.
 - Drain and drain pan -OR- single throw supply valve shall be installed for clothes washer.
 - Water heater to be located in designated closet as shown; drain and drain pan shall be installed; drain shall lead directly to outdoors.
 - HVAC attic return to be located in hall ceiling.
 - Engineered roof trusses (by others) shall be installed 2'-0" O.C., in-line with framing below, shall bear on exterior walls ONLY (unless otherwise noted), have a raised heel, and 12" overhangs.
 - Any building face within 10' of property line requires protection behind aluminum & vinyl soffits per NCRC 2018 Section R302.1.1.
 - TERMITE TREATMENT: Treatment of all framing within 3' of foundation.
 - Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
 - Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
 - Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.



1 ROBINSON RIGHT FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 ROBINSON RIGHT SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

WINDOW SCHEDULE:	DOOR SCHEDULE:	WALL HEADERS:
1. 2'-8"X4'-4"	(A) 36" Exterior Metal Entry Door	Windows 1st (2) 2X10
2. 2'-8" X 3'0"	(B) 32" Exterior Metal Entry Door	Ext Doors 1st (2) 2X10
3. 2'-8"X4'-4" Tempered	(C) 24" Interior Door	Windows 2nd (2) 2X6
Meets all egress and glazing requirements per 2018 NC RES BLDG Code	(D) 32" Interior Door	#1 or better grade Southern Pine lumber per NCRC 2018 Table R602.7(1)
STUD SPACING:	(E) 18" Interior Door	JACK STUD REQ:
Ext. Walls - 2X4s @ 16" O.C.	(F) 30" Interior Door	First floor (2)
Int. Walls - 2X4s @ 24" O.C.*	(G) 28" Interior Door	Second floor (1)
UNIT SQUARE FOOTAGE:	(H) 36" Interior Door	Per Table R602.7(1)
Heated	(I) 36" Bi-hung Interior Door	
Unheated	(J) 48" Bi-hung Interior Door	
	(K) 60" Bi-hung Interior Door	



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

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FAX: 704-342-1797

DWN. BY: CARRIE MAST
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ENGINEER:
Gavel and Dorn Engineeri
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

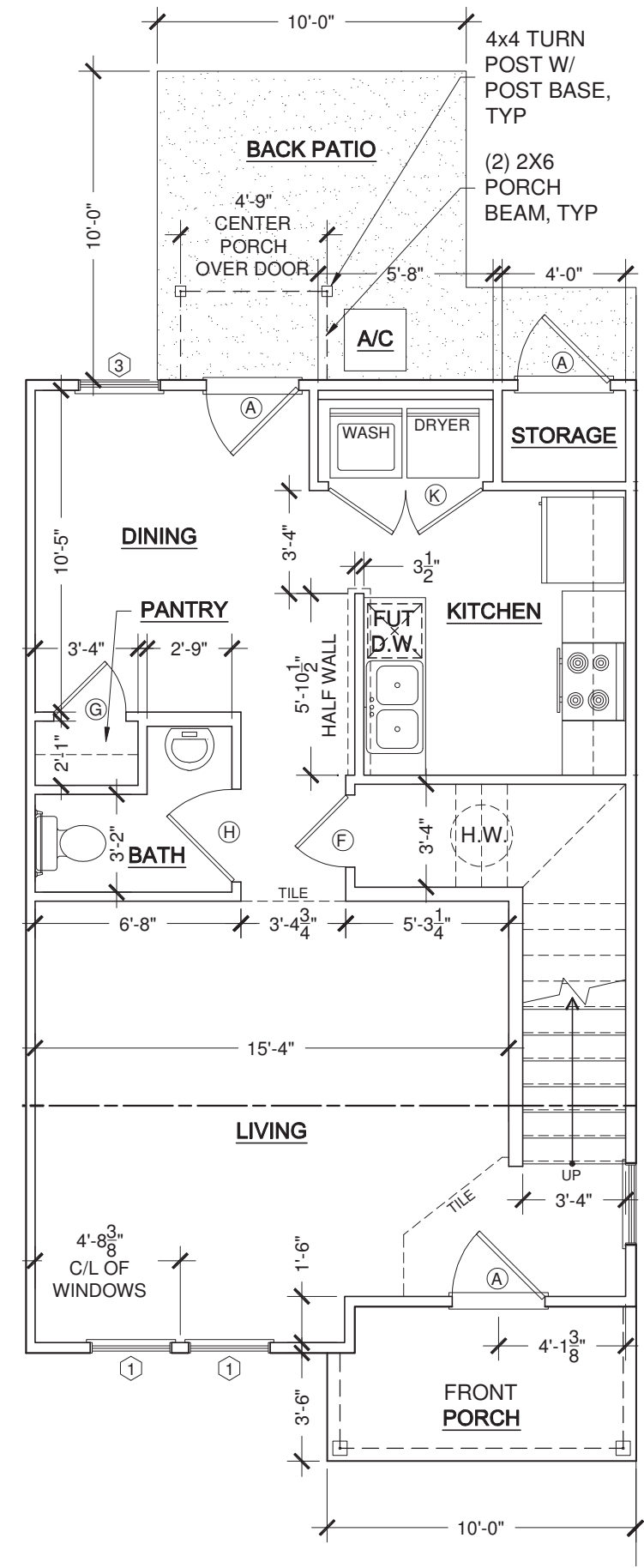
DATE:
NOVEMBER 4, 201

SHEET #:

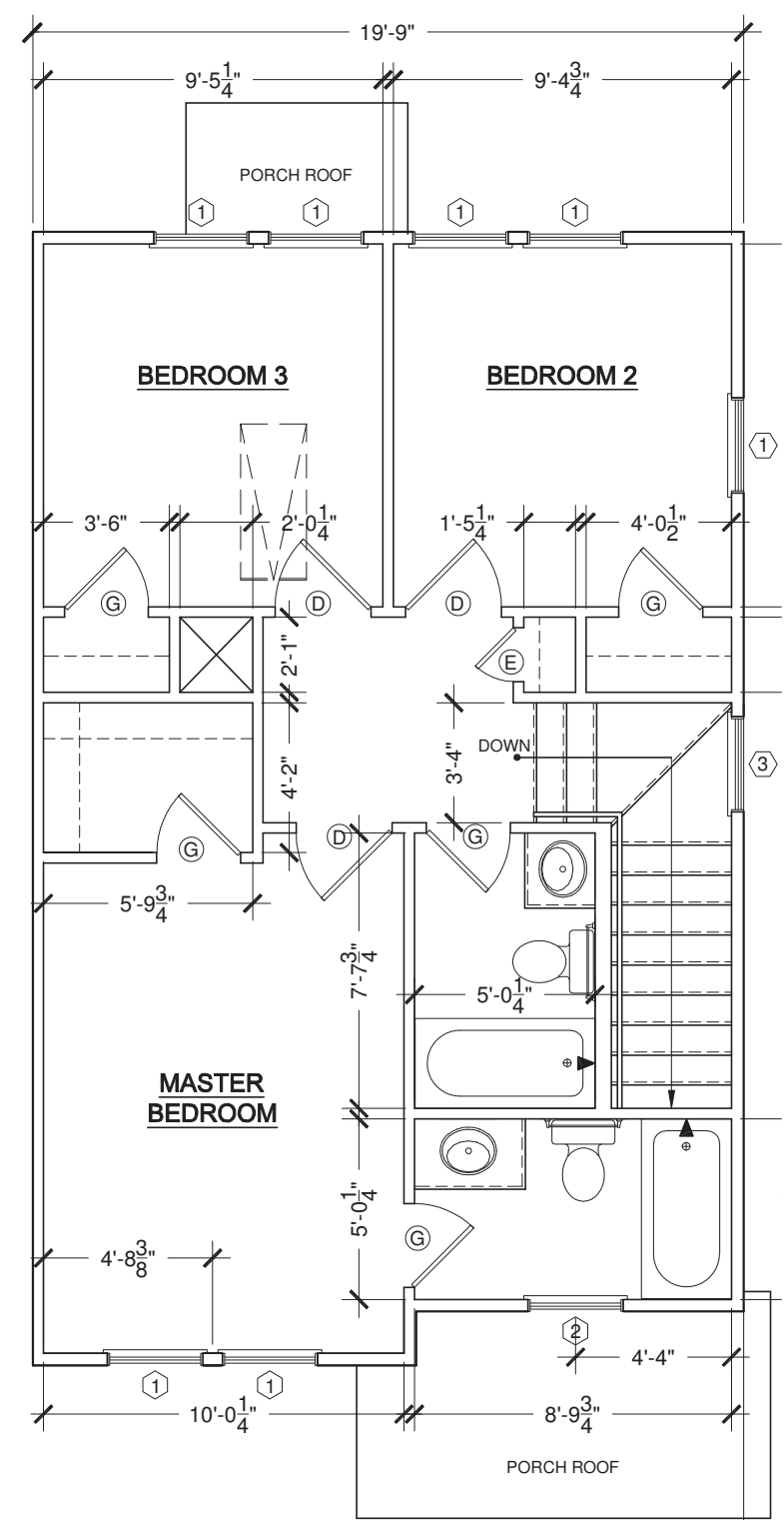
A.11

- GENERAL NOTES:**
- Plans to be built per the 2018 North Carolina Residential Code.
 - All dimensions from face of framing.
 - All wall studs are 2X4 unless otherwise noted.
 - Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
 - 1/2" X 4' X 8' OSB shall be fastened continuous, spaced 6" O.C. at edges of the field.
 - 1/2" rigid insulation water-resistive barrier joints to be taped with 2" construction tape.
 - Face of sheathing @ exterior walls to align with face of masonry below.
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 - All windows and doors to be covered by porches and flashed.
 - All windows and doors shall have an overall U-Factor of .35 or less, and a SHGC of .30 or less.
 - Water resistant flooring shall be used in kitchen, bathroom(s), and laundry areas AND w/in 3 feet of all exterior doors.
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 - Drain and drain pan -OR- single throw supply valve shall be installed for clothes washer.
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 - Engineered roof trusses (by others) shall be installed 2'-0" O.C., in-line with framing below, shall bear on exterior walls ONLY (unless otherwise noted), have a raised heel, and 12" overhangs.
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 - TERMITE TREATMENT: Treatment of all framing within 3' of foundation.
 - Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
 - Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
 - Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.

WINDOW SCHEDULE:	DOOR SCHEDULE:	WALL HEADERS:
1. 2'-8"X4'-4"	(A) 36" Exterior Metal Entry Door	Windows 1st (2) 2X10
2. 2'-8" X 3'0"	(B) 32" Exterior Metal Entry Door	Ext Doors 1st (2) 2X10
3. 2'-8"X4'-4" Tempered	(C) 24" Interior Door	Windows 2nd (2) 2X6
Meets all egress and glazing requirements per 2018 NC RES BLDG Code	(D) 32" Interior Door	#1 or better grade Southern Pine lumber per NCRC 2018 Table R602.7(1)
STUD SPACING:	(E) 18" Interior Door	JACK STUD REQ:
Ext. Walls - 2X4s @ 16" O.C.	(F) 30" Interior Door	First floor (2)
Int. Walls - 2X4s @ 24" O.C.*	(G) 28" Interior Door	Second floor (1)
UNIT SQUARE FOOTAGE:	(H) 36" Interior Door	Per Table R602.7(1)
Heated	(I) 36" Bi-hung Interior Door	
Unheated	(J) 48" Bi-hung Interior Door	
	(K) 60" Bi-hung Interior Door	



1 VICTORIA RIGHT FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

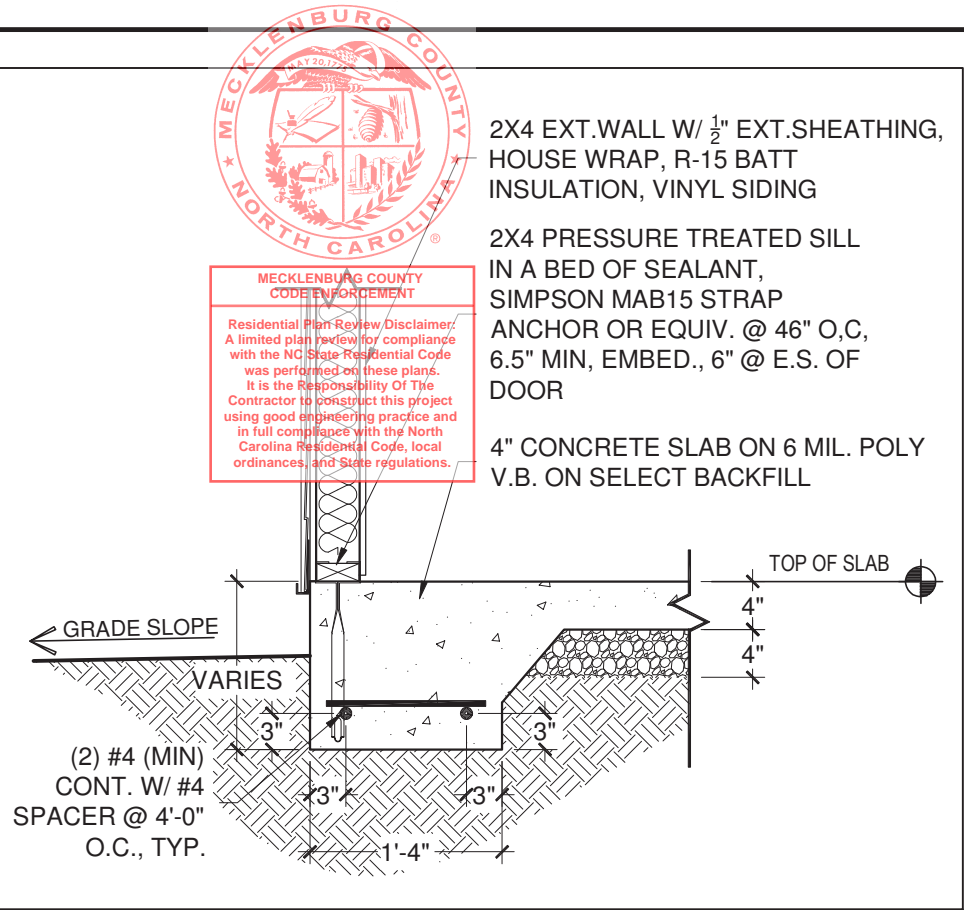


2 VICTORIA RIGHT SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

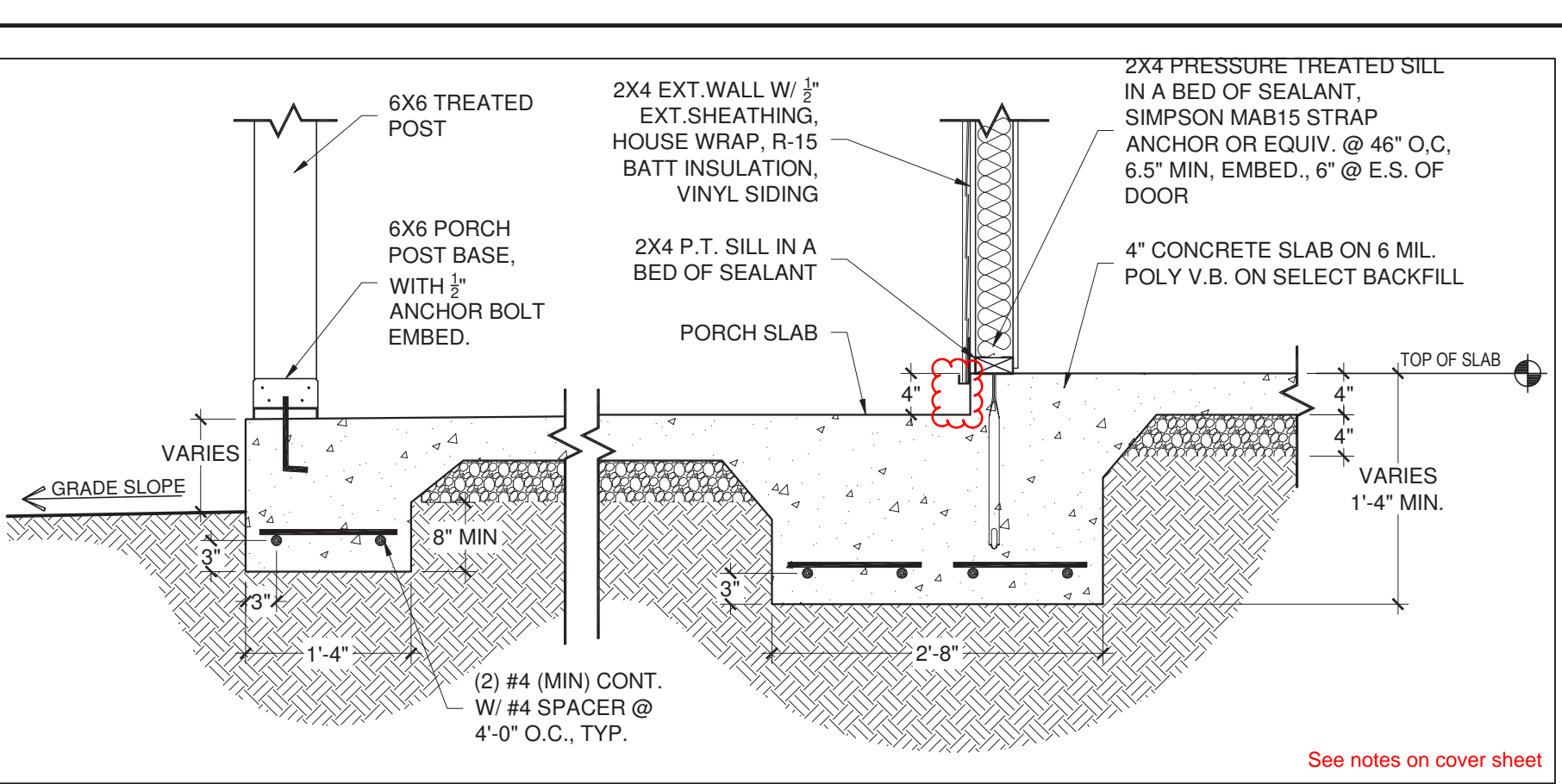
HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 2019
SHEET #:

S.01

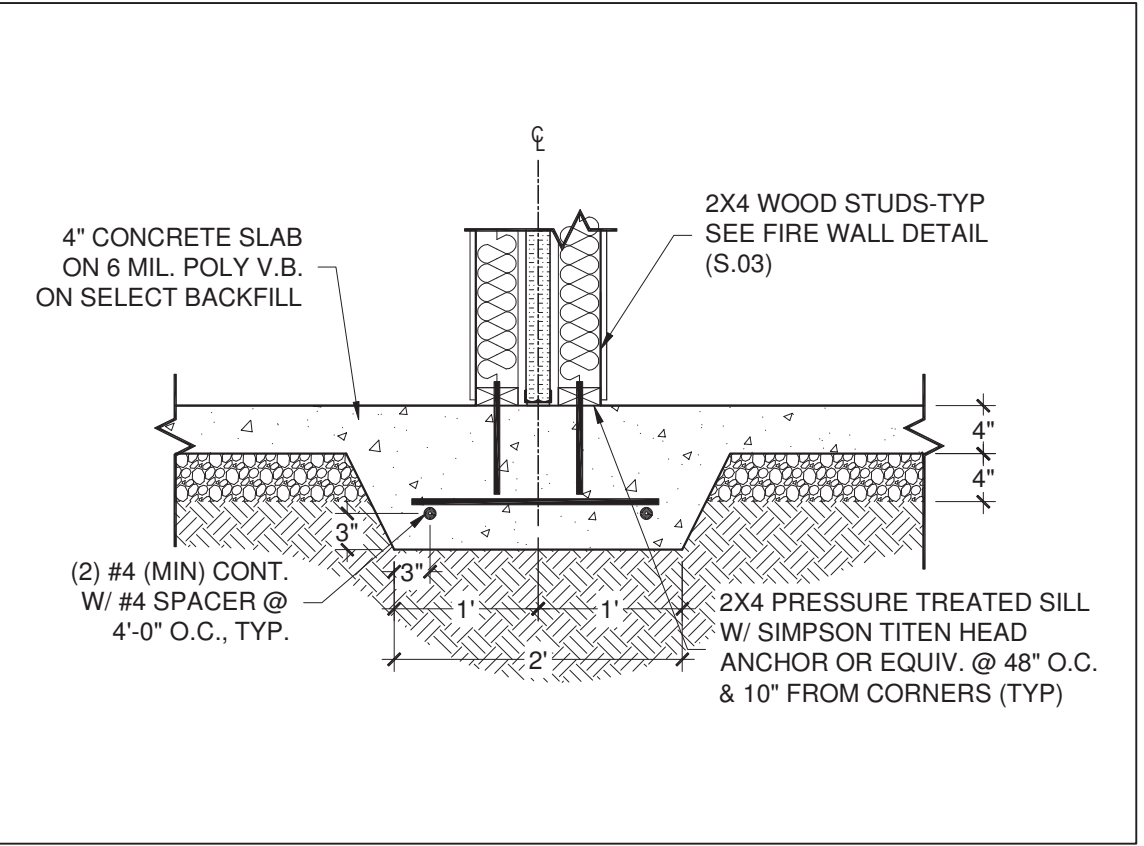


1 FOUNDATION WALL (TYP.)
SCALE: 3/4"=1'-0"

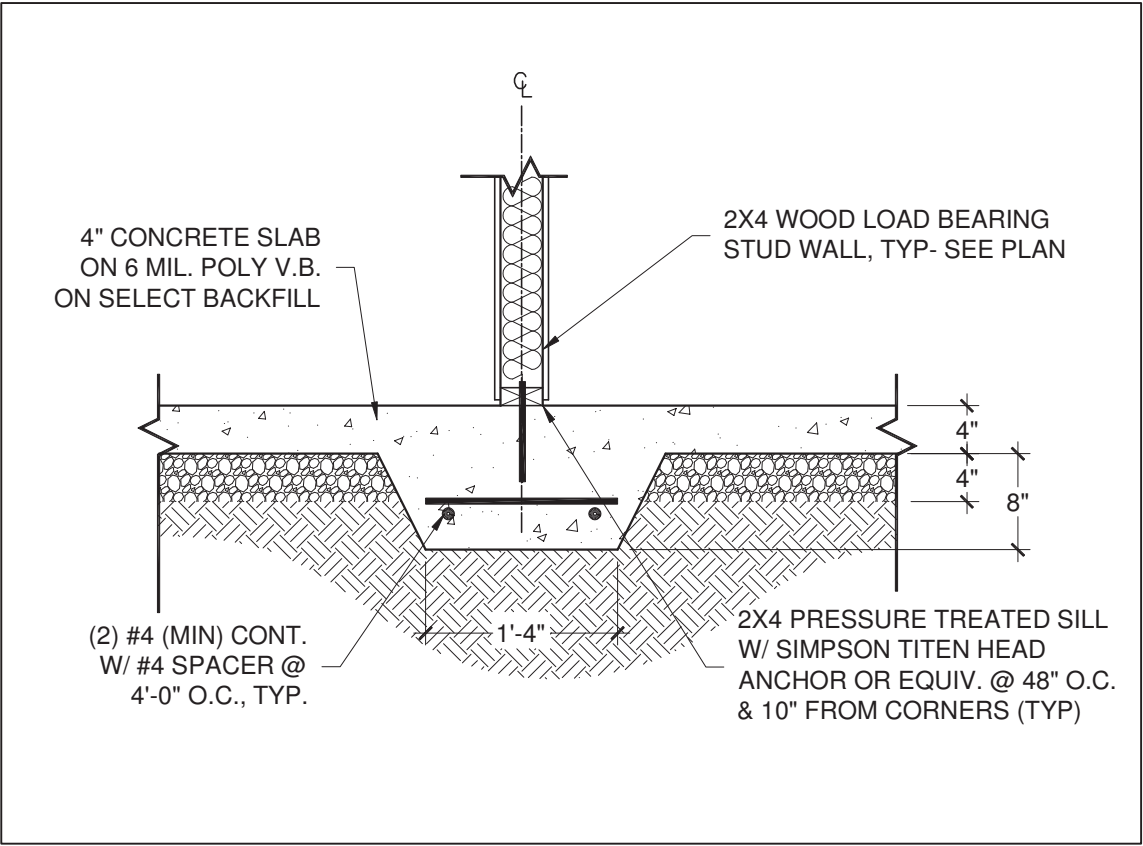


2 TYPICAL SECTION @ FRONT PORCH
SCALE: 3/4"=1'-0"

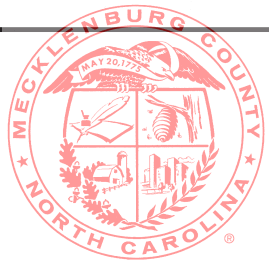
See notes on cover sheet



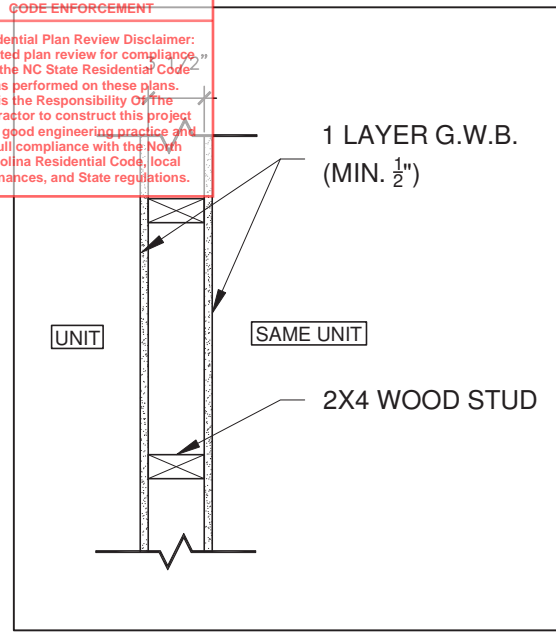
3 THICKENED SLAB @ TENANT PARTITION WALL
SCALE: 3/4"=1'-0"



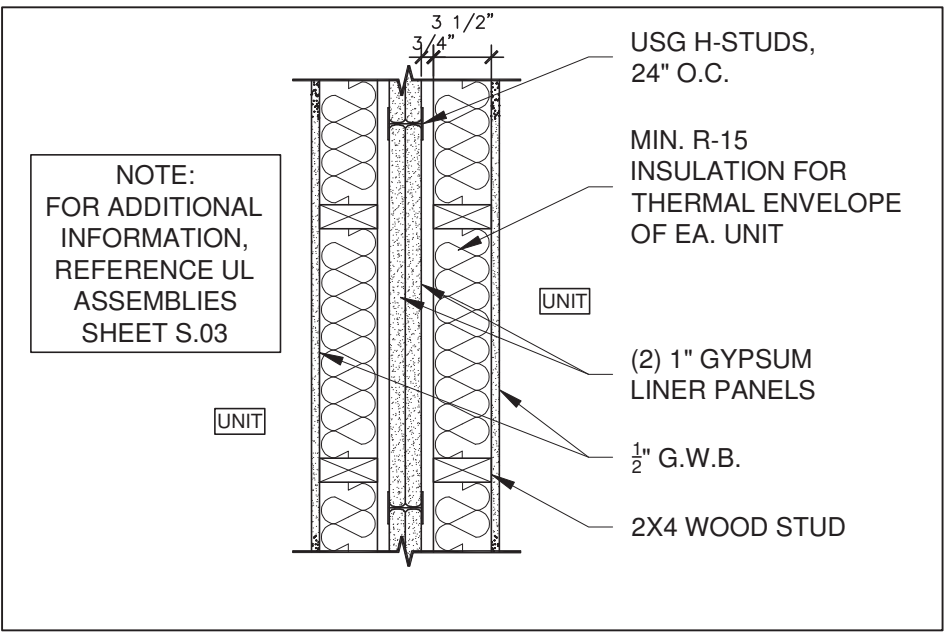
4 THICKENED SLAB @ INTERIOR LOAD BEARING WALL
SCALE: 3/4"=1'-0"



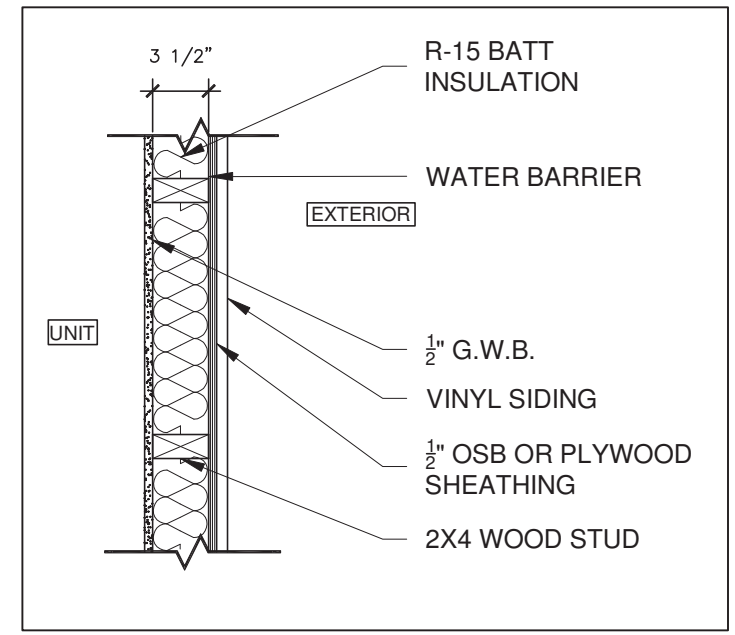
MECKLENBURG COUNTY CODE ENFORCEMENT Residential Plan Review Disclaimer: A limited plan review for compliance with the NC State Residential Code was performed on these plans. It is the responsibility of the Contractor to construct this project using good engineering practice and in full compliance with the North Carolina Residential Code, local ordinances, and State regulations.



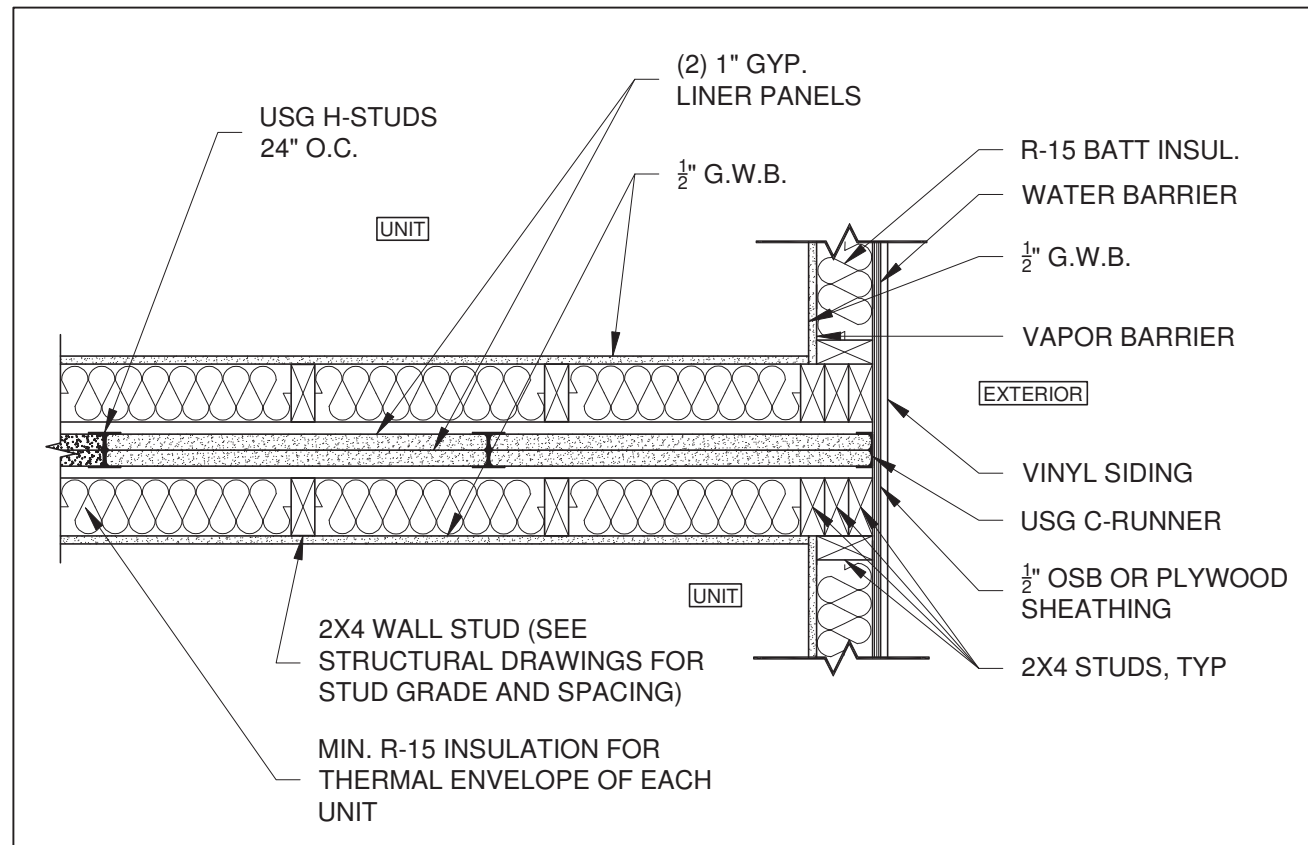
1 PARTITION WALL NO RATING SCALE: 1"=1'-0"



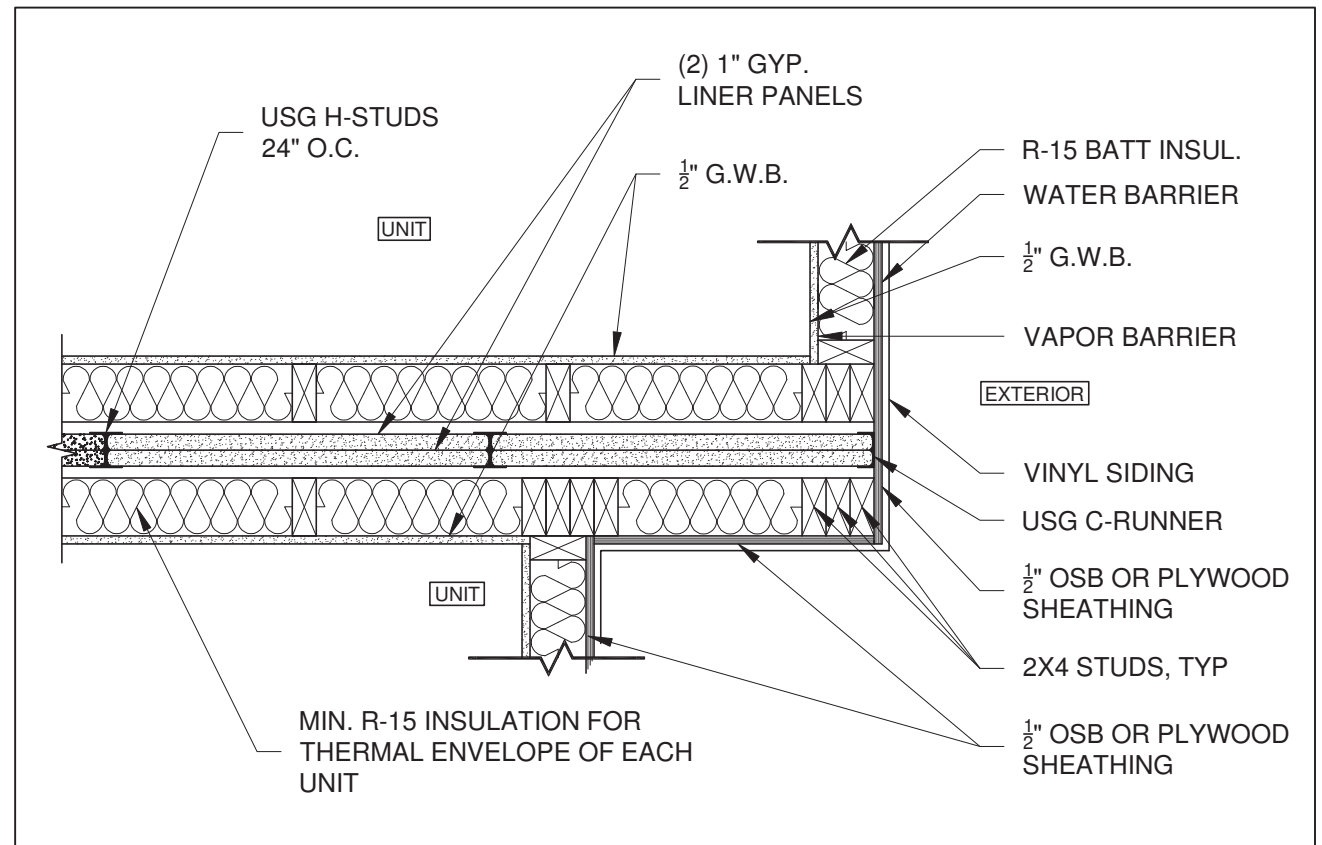
2 TENANT PARTITION 2 HR. RATING SCALE: 1"=1'-0"



1 EXTERIOR WALL NO RATING SCALE: 1"=1'-0"



4 EXTERIOR WALL INTERSECTION W/O BAY U336 (2 HR. RATING) SCALE: 1"=1'-0"



5 EXTERIOR WALL INTERSECTION W/ BAY U336 (2 HR. RATING) SCALE: 1"=1'-0"

HABITAT FOR HUMANITY OF CHARLOTTE TOWNHOMES AT CITIESIDE 925, 929, 933, 937 PLAZA WALK DRIVE CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

DATE: NOVEMBER 4, 201 SHEET #:

S.02



3815 LATROBE DRIVE
CHARLOTTE, NC 28211
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cmasto@habitatcharlotte.org

ENGINEER:
Gavel and Dorn Engineer
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900



For Structural Commentary 0

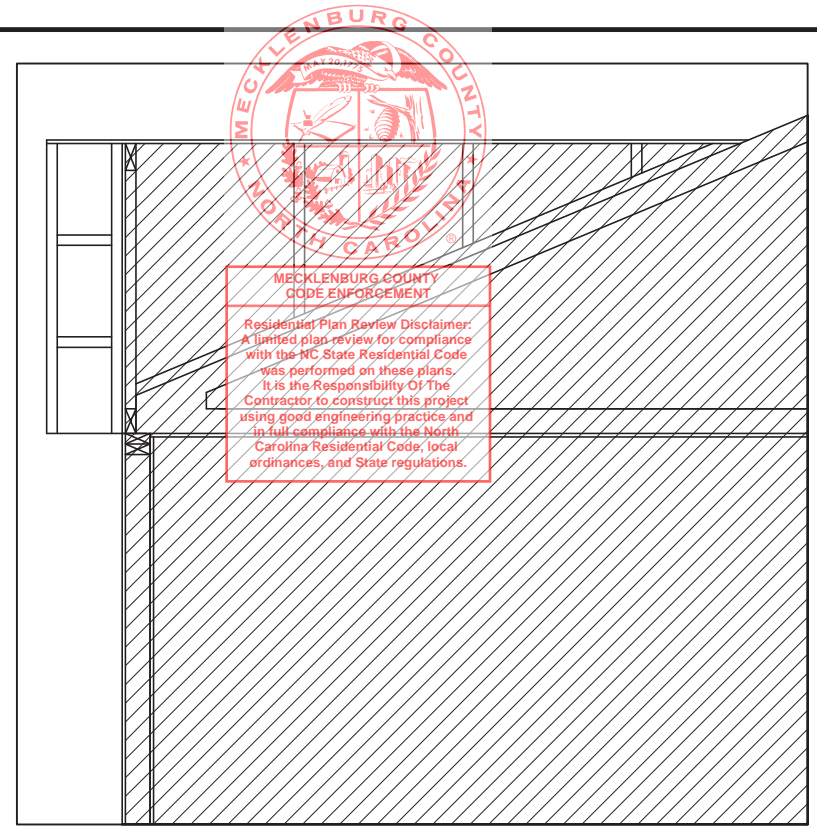
HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITSIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

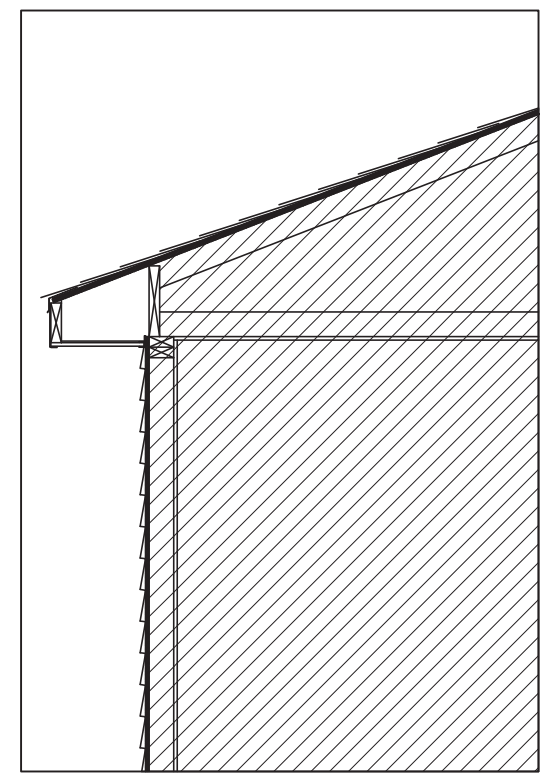
DATE:
NOVEMBER 4, 201

SHEET #:

S.03

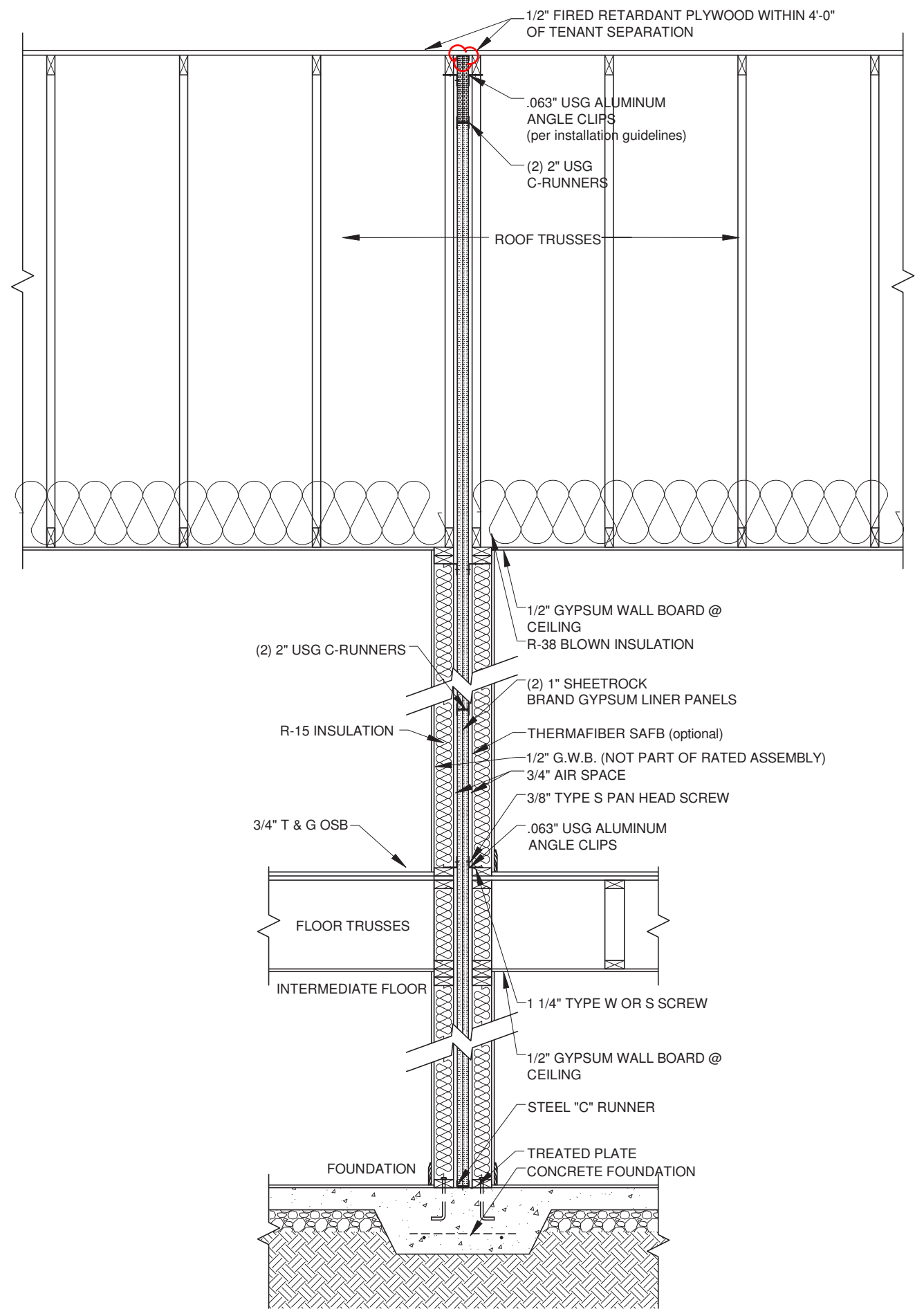


1 2-HR CONTINUATION
@ TURNED GABLE; NOT TO SCALE



2 2-HR CONTINUATION
@ EAVE; NOT TO SCALE

AREA SEPARATION WALLS			
GA FILE NO. ASW 1000	PROPRIETARY	2 HOUR FIRE	60 to 64 STC SOUND
GYPSUM WALLBOARD, STEEL H STUDS			
Two layers 1" x 24" proprietary type X gypsum panels inserted between 2" floor and ceiling runners with 2" steel H studs between adjacent pairs of gypsum panels. (NLB)			
A 3/4" minimum air space must be maintained between steel components and adjacent framing (as indicated by dashed lines in sketch). As an alternate to an air space, the steel components are covered with 6" wide battens of 1/2" gypsum board or 1" mineral fiber insulation. As an alternate to battens, one or both faces of separation wall are covered with 1" mineral fiber insulation stapled to the gypsum liner panels or 1/2" regular gypsum board screw attached to the steel components.			
Sound tested with 2 x 4 stud wall faced with 1/2" regular gypsum wallboard each side of assembly and 3" mineral fiber in stud space on both sides.			
PROPRIETARY GYPSUM BOARD United States Gypsum Compant		1" SHEETROCK® Brand Gypsum Liner Panels	
Thickness:	3 1/2"	Approx. Weight:	9 psf
Fire Test:	UL R1319, 89NK28786, 5-14-90, UL Design U336	Sound Test:	RAL TL88-350, 9-12-88



3 AREA SEPARATION WALL
(GA File no. ASW1000; 2-HR RATING) SCALE: 1/2" = 1'-0"

HABITAT FOR HUMANITY OF CHARLOTTE TOWNHOMES AT CITESIDE 925, 929, 933, 937 PLAZA WALK DRIVE CHARLOTTE, NC 28215

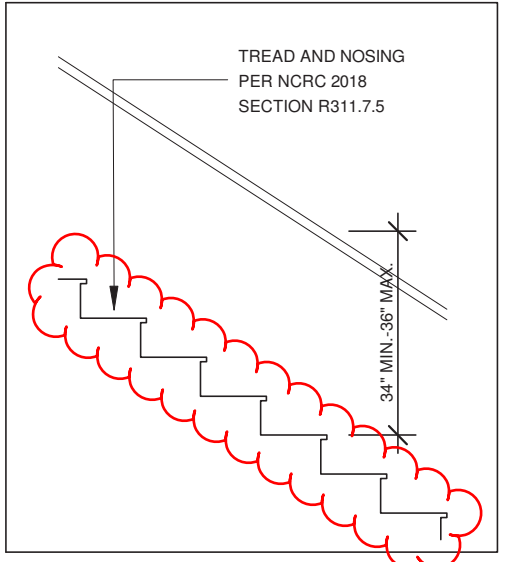
Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

DATE: NOVEMBER 4, 201

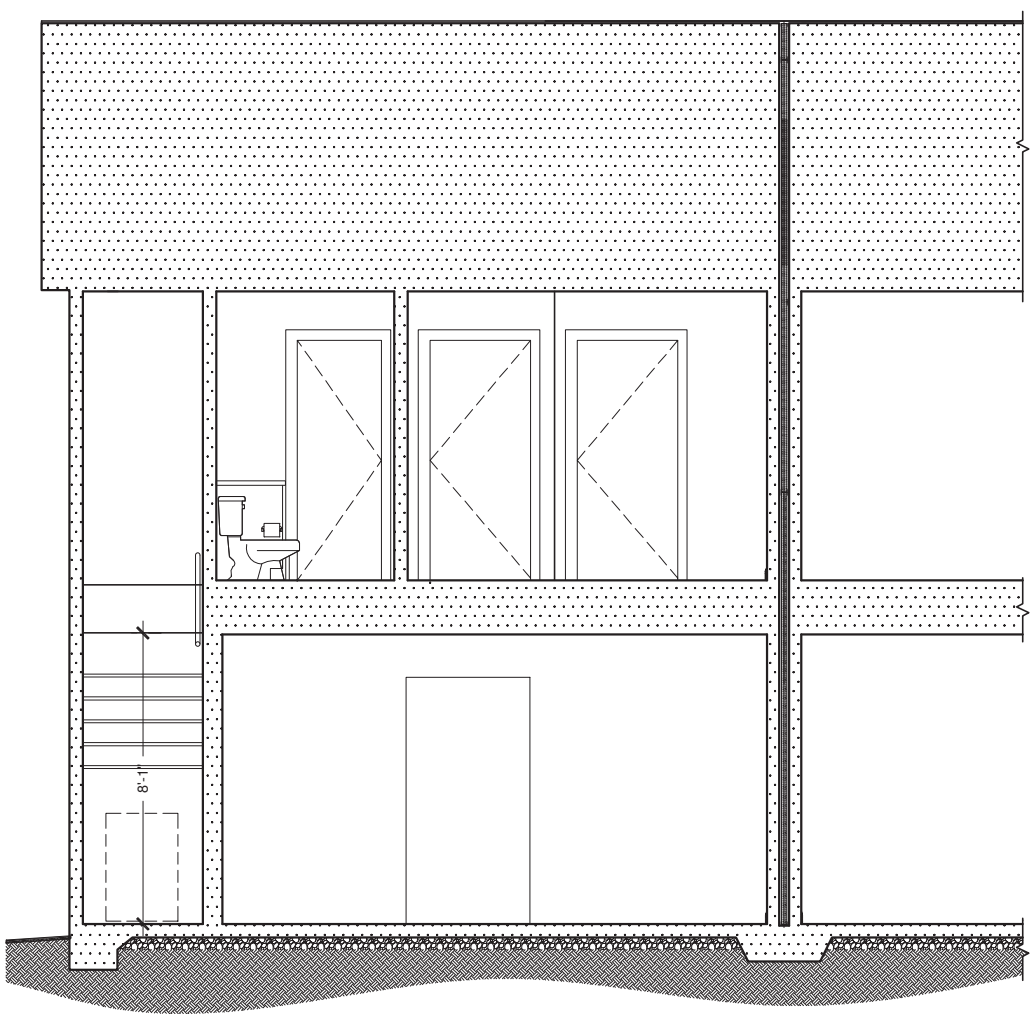
SHEET #:

S.04

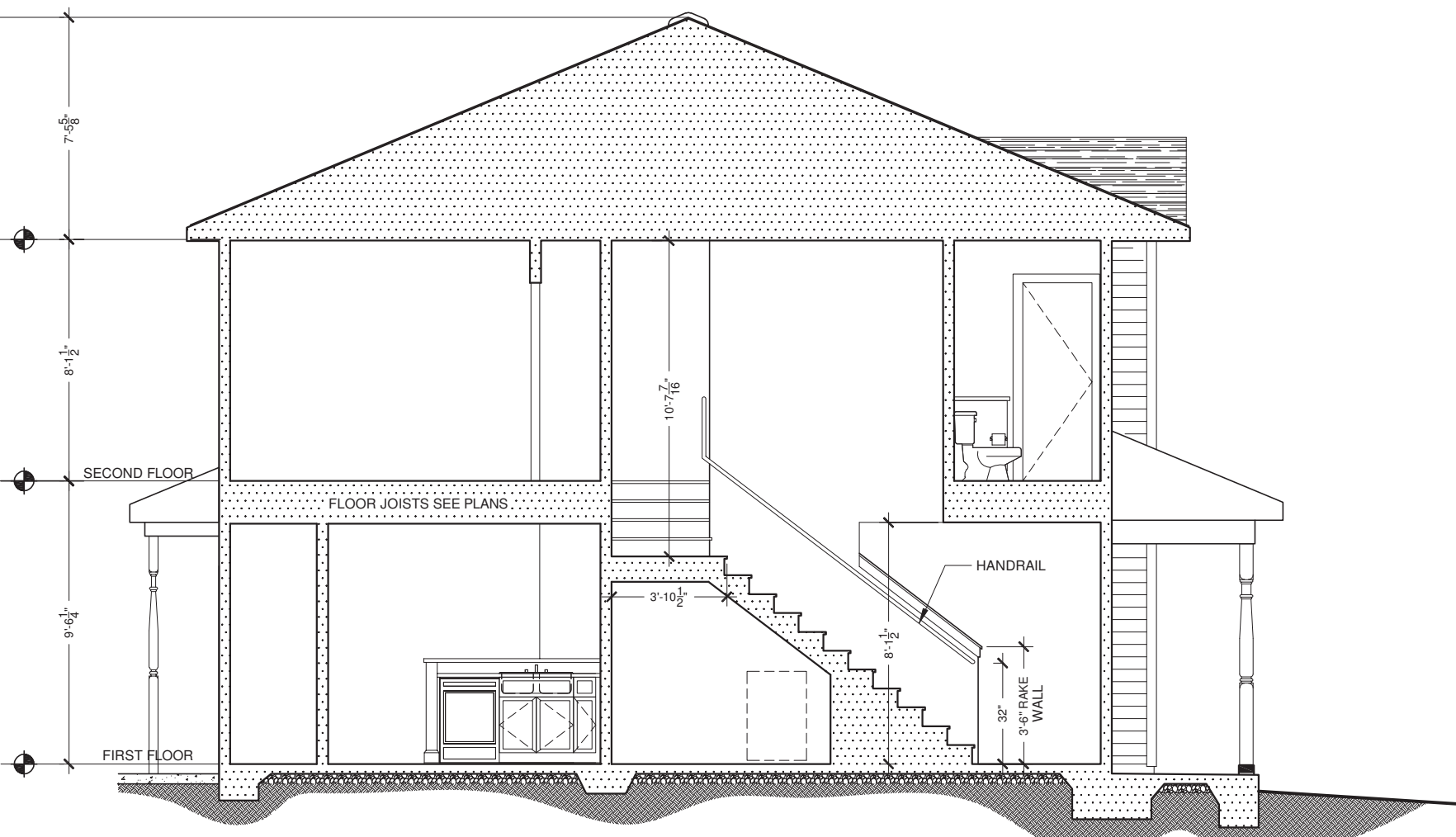
See notes on cover sheet



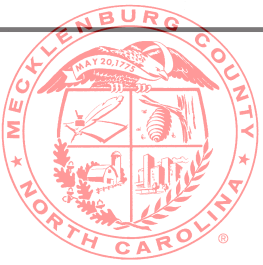
3 STAIR DETAIL SCALE: 3/8" = 1'-0"



1 BUILDING SECTION SCALE: 3/16" = 1'-0"



2 BUILDING SECTION SCALE: 3/16" = 1'-0"



MECKLENBURG COUNTY CODE ENFORCEMENT

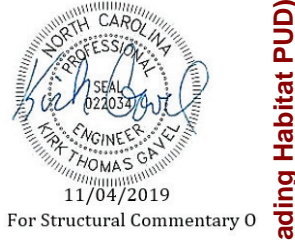
Residential Plan Review Disclaimer: A limited plan review for compliance with the NC State Residential Code was performed on these plans. It is the Responsibility Of The Contractor to construct this project using good engineering practice and in full compliance with the North Carolina Residential Code, local ordinances, and State regulations.

3815 LATROBE DRIVE
CHARLOTTE, NC 28211

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For Structural Commentary 0

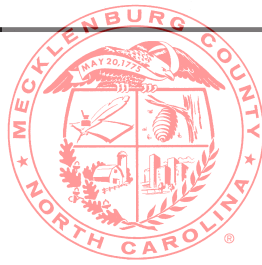
HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITESIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

DATE:
NOVEMBER 4, 201

SHEET #:

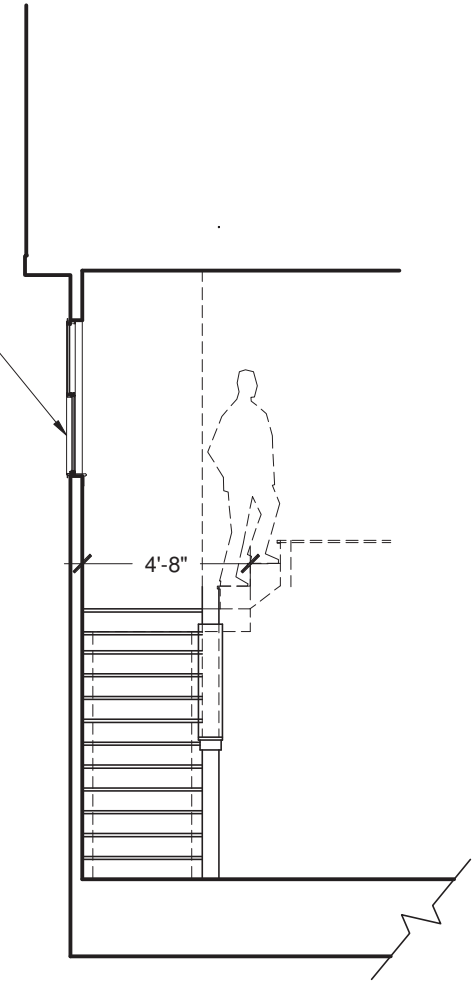
S.05



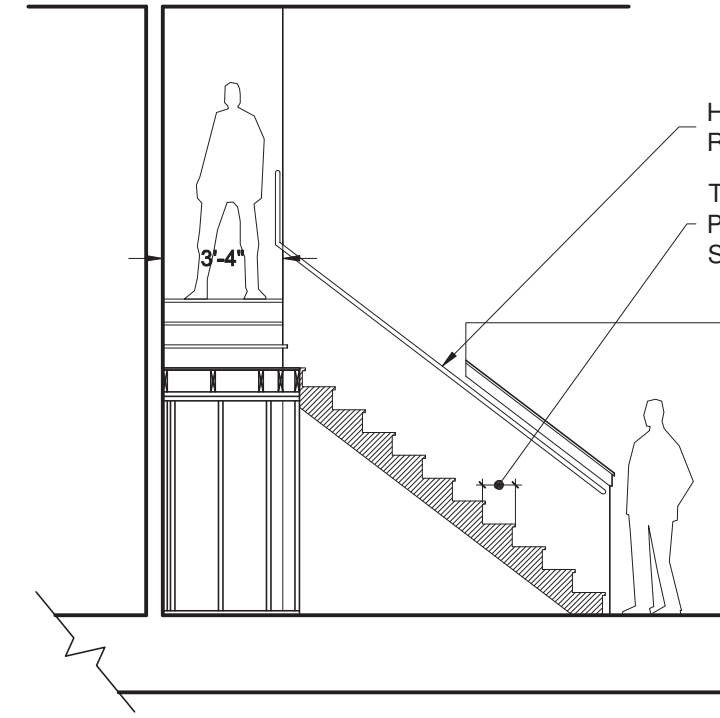
MECKLENBURG COUNTY
CODE ENFORCEMENT

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Carolina Residential Code, local
ordinances, and State regulations.

WINDOW HEIGHT
LOCATION IN
STAIRWELL, NOT AT
LANDING HEIGHT

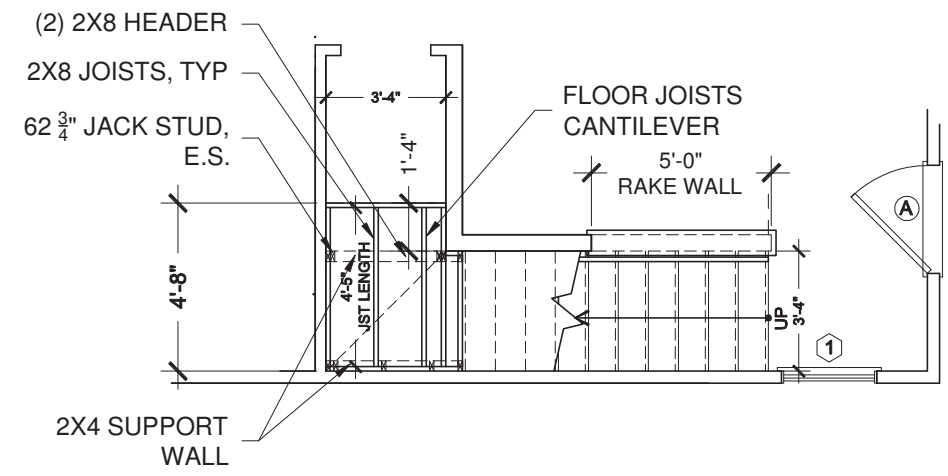


① STAIR ELEVATION
SCALE: 3/16"=1'-0"



② STAIR SECTION
SCALE: 3/16"=1'-0"

HANDRAIL,
RETURNED TO WALL
TREAD AND NOSING
PER NCRC 2018
SECTION R311.7.5



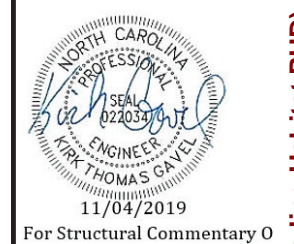
② STAIR LANDING FRAMING
SCALE: 3/16"=1'-0"

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For Structural Commentary 0

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

DATE:
NOVEMBER 4, 201

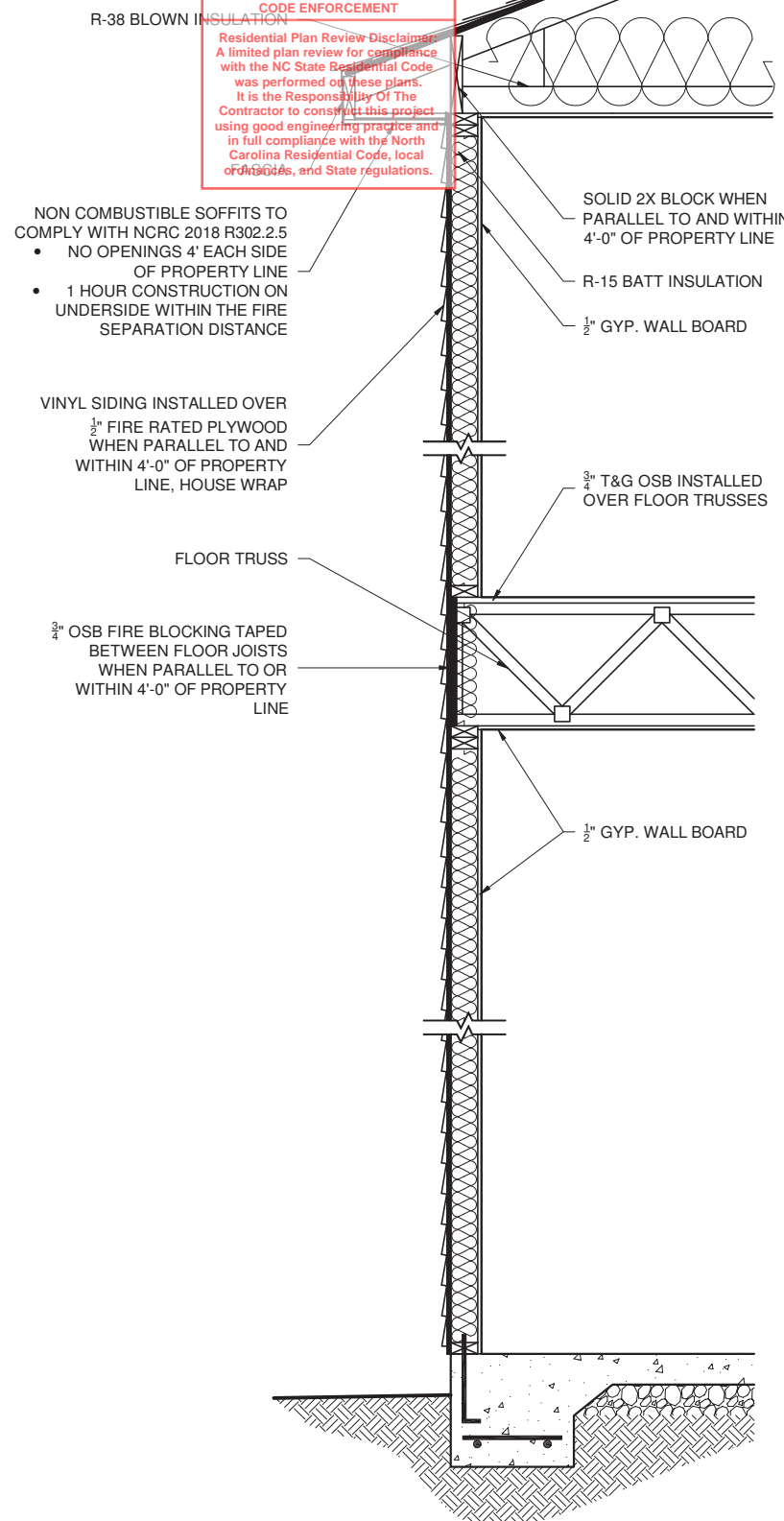
SHEET #:

S.06

TYPICAL ROOF CONSTRUCTION:
ASPHALT/FIBER GLASS SHINGLES, #15 ROOFING
FELT, $\frac{7}{16}$ " APA RATED ROOF SHEATHING WITH
METAL H-CLIPS. TIE EACH TRUSS/RAFTER END
TO STUD WALL TOP PLATES WITH SIMPSON H25
TIE (OR EQUIVALENT)

USE FIRE RATED PLYWOOD ROOF SHEATHING
WHEN PARALLEL TO AND WITHIN 4'-0" OF
PROPERTY LINE ONLY

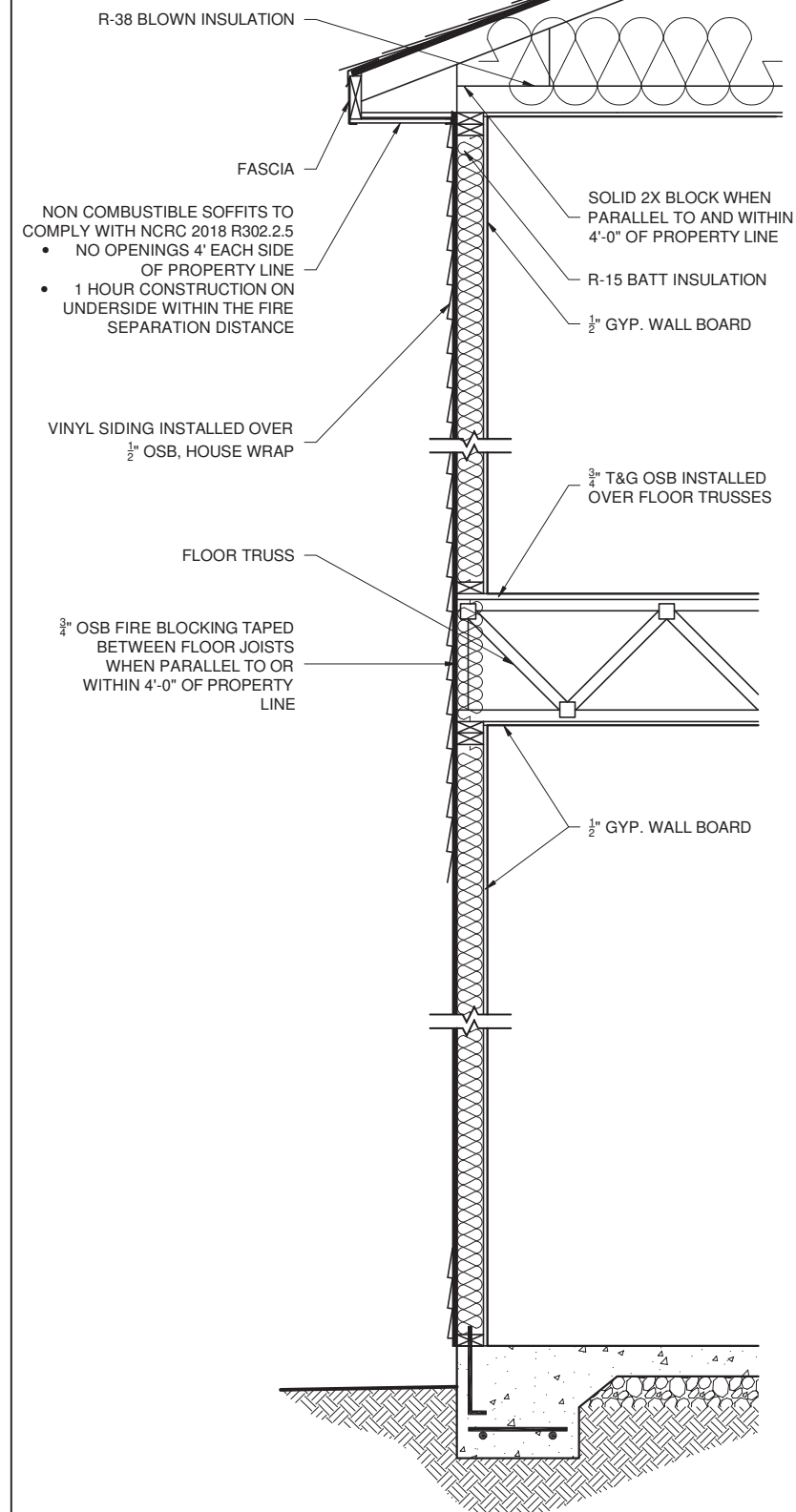
MECKLENBURG COUNTY
CODE ENFORCEMENT
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in full compliance with the North
Carolina Residential Code, local
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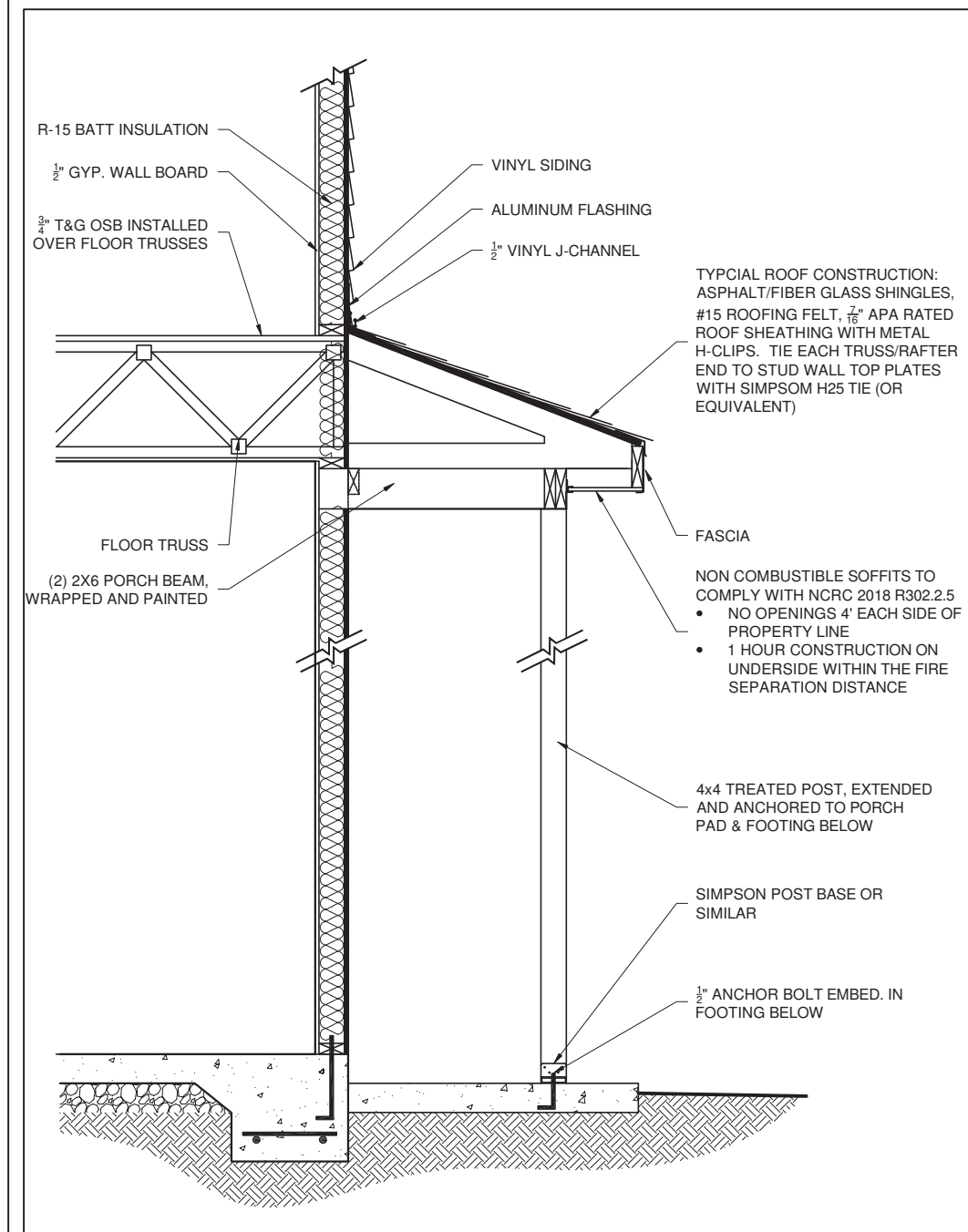
① TYP. SECTION (PROTECTED)
SCALE: $\frac{1}{2}$ "=1'-0"

TYPICAL ROOF CONSTRUCTION:
ASPHALT/FIBER GLASS SHINGLES, #15 ROOFING
FELT, $\frac{7}{16}$ " APA RATED ROOF SHEATHING WITH
METAL H-CLIPS. TIE EACH TRUSS/RAFTER END
TO STUD WALL TOP PLATES WITH SIMPSON H25
TIE (OR EQUIVALENT)

USE FIRE RATED PLYWOOD ROOF SHEATHING
WHEN PARALLEL TO AND WITHIN 4'-0" OF
PROPERTY LINE ONLY



② TYPICAL SECTION
SCALE: $\frac{1}{2}$ "=1'-0"



③ BACK PORCH DETAIL
SCALE: $\frac{1}{2}$ "=1'-0"

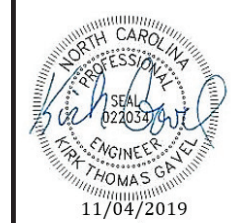


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11/04/2019
For Structural Commentary 0

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITSIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

DATE:
NOVEMBER 4, 2019

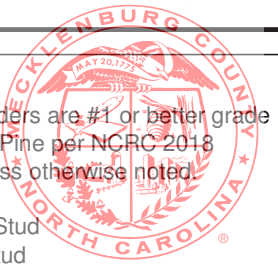
SHEET #:

S.07

See notes on cover sheet

BRACING NOTES:

- All bearing headers are #1 or better grade 2x10 Southern Pine per NCRC 2018 R602.7(1), unless otherwise noted.
- Abbreviations:
 - JK - Jack Stud
 - K - King Stud
 - ST - Stud
 - ES - Each Side
 - NB - Non-Bearing
- Bracing Method at exterior walls shall be designed to meet the requirements of 2018 R602.10.3; CS-W-100.1.1.1. It is the responsibility of the contractor to construct this project in full compliance with the North Carolina Building Code, International Building Code, and State regulations.
- Cover all exterior walls with continuous OSB sheathing fastened to studs with 8d nails @ 6" O.C. at panel edges and 12" O.C. in the field.
 - Block all seams.



MECKLENBURG COUNTY
CODE ENFORCEMENT
Residential Plan Review Disclaimer:
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WALL HEADERS

FIRST STORY	(2) 2X10 *UNLESS NOTED
SECOND STORY	(2) 2X6 *UNLESS NOTED

Headers to be #1 or better grade Southern Pine per NCRC 2018 Table R602.7(1)

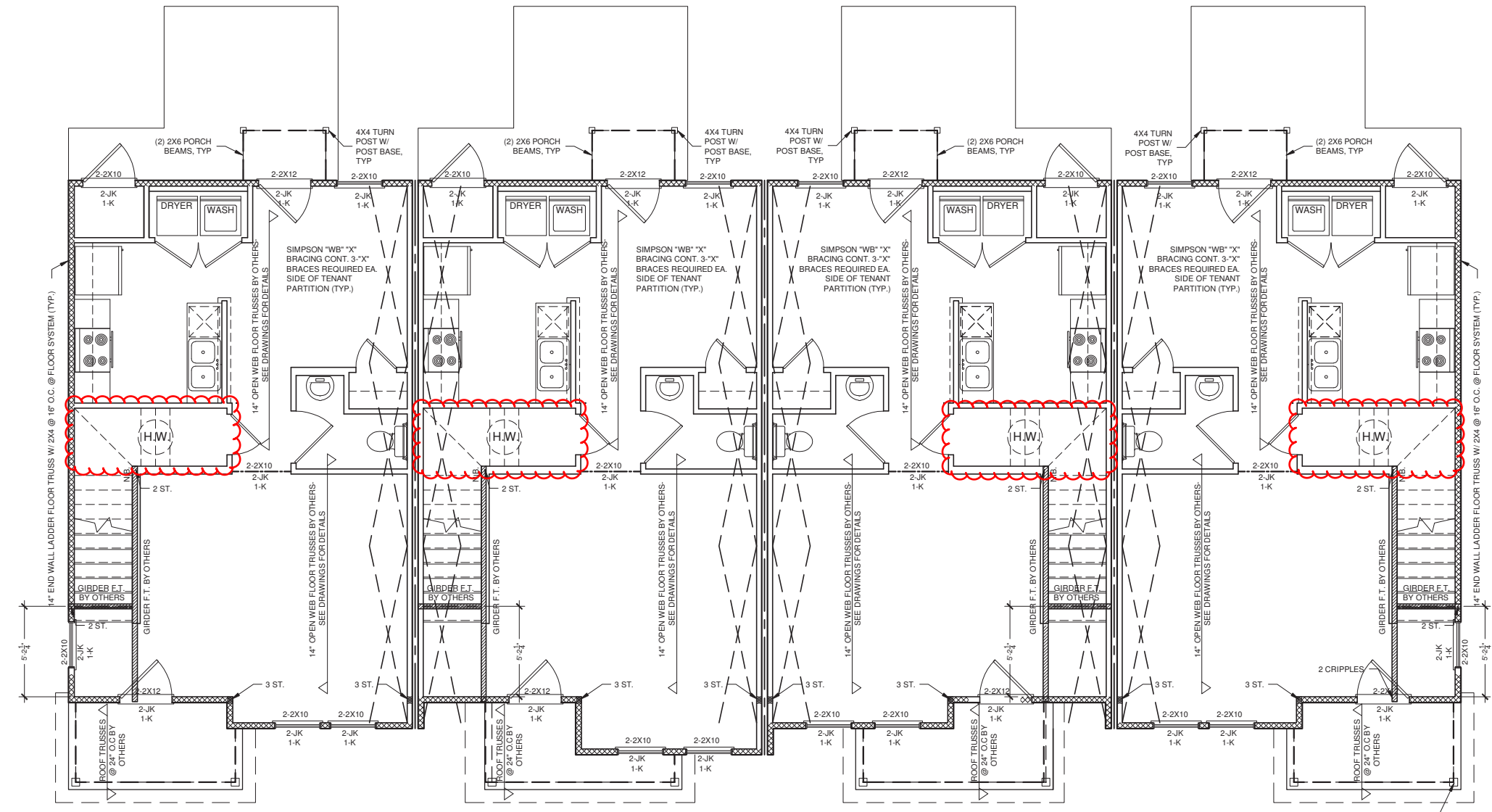
REQUIRED JACK STUDS

FIRST STORY	(2)
SECOND STORY	(1)

*Per NCRC 2018 Table R602.7(1)

SYMBOLS

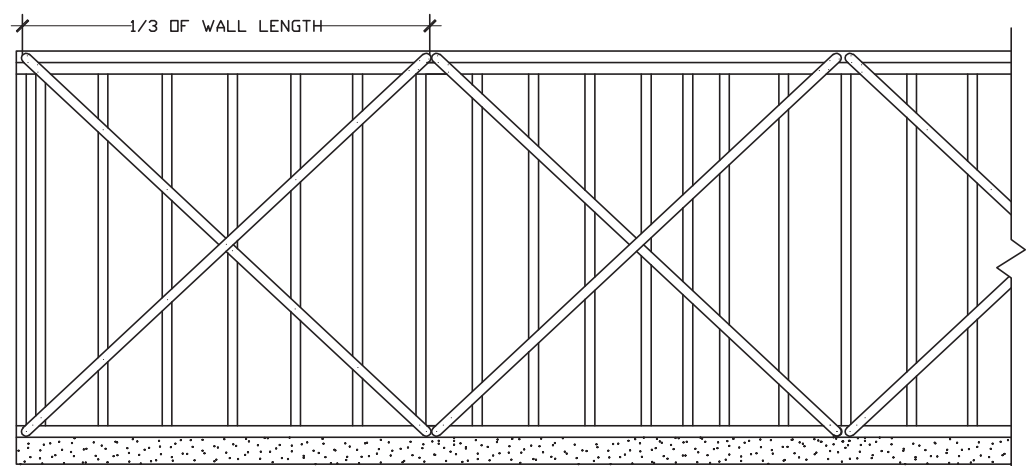
- PRE-FAB WOOD TRUSS
- GIRDER TRUSS
- 2X WOOD TRUSS
- DIMENSIONAL LUMBER (STICK FRAMING) SIZED & SPACED AS NOTED
- PORCH BEAM
- CONTINUOUSLY SHEATHED EXTERIOR WALL



1 FIRST FLOOR BRACING PLAN
SCALE: 1/8" = 1'-0"

WB & WBC MODELS	
LENGTH	14'-3"
SECTION	1 1/4"
ANGLE & WALL SIZE	8' @ 51°
PLATES	2 - 16d
STUDS	1 - 8d

*NOTE: 2-"X" BRACE SECTIONS REQ'D. ON 2ND FLOOR EA. SIDE OF TENANT PARTITION (FIRE) WALL.



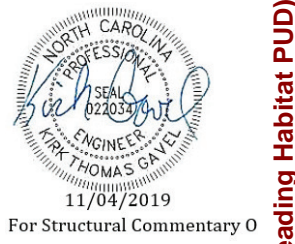


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Charlotte, NC 28214
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For Structural Commentary 0

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITESIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

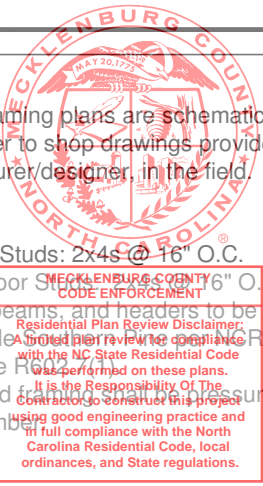
DATE:
NOVEMBER 4, 2011

SHEET #:

S.08

FRAMING NOTES:

1. Architectural framing plans are schematic diagrams. Refer to shop drawings provided by truss manufacturer/designer, in the field.
2. FRAMING:
 - 2.1. First Floor Studs: 2x4s @ 16" O.C.
 - 2.2. Second Floor Studs: 2x4s @ 16" O.C.
 - 2.3. All joists, beams, and headers to be #1 or better grade Southern Pine per NCR 2018 Table R602.7(1).
 - 2.4. All exposed framing to be pressure treated lumber.



WALL HEADERS

FIRST STORY (2) 2X10 *UNLESS NOTED

SECOND STORY (2) 2X6 *UNLESS NOTED

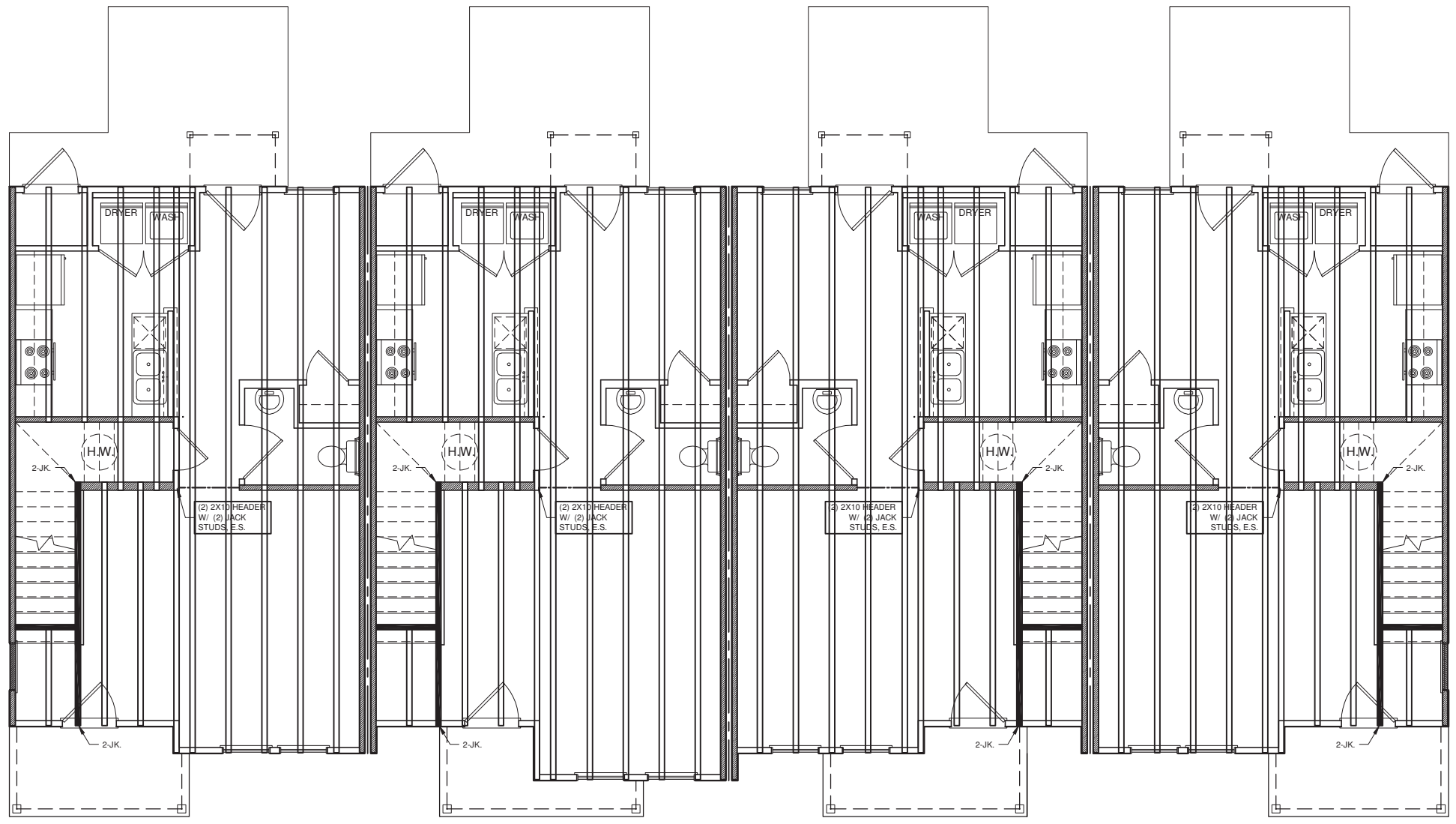
Headers to be #1 or better grade Southern Pine per NCR 2018 Table R602.7(1)

REQUIRED JACK STUDS

FIRST STORY (2)

SECOND STORY (1)

*Per NCR 2018 Table R602.7(1)



1 FLOOR FRAMING PLAN (SCHEMATIC)
SCALE: 1/8" = 1'-0"



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For Structural Commentary O

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITSIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

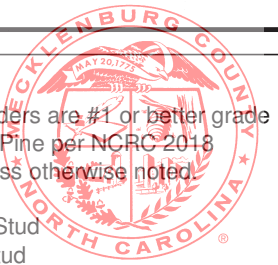
DATE:
NOVEMBER 4, 201

SHEET #:

S.09

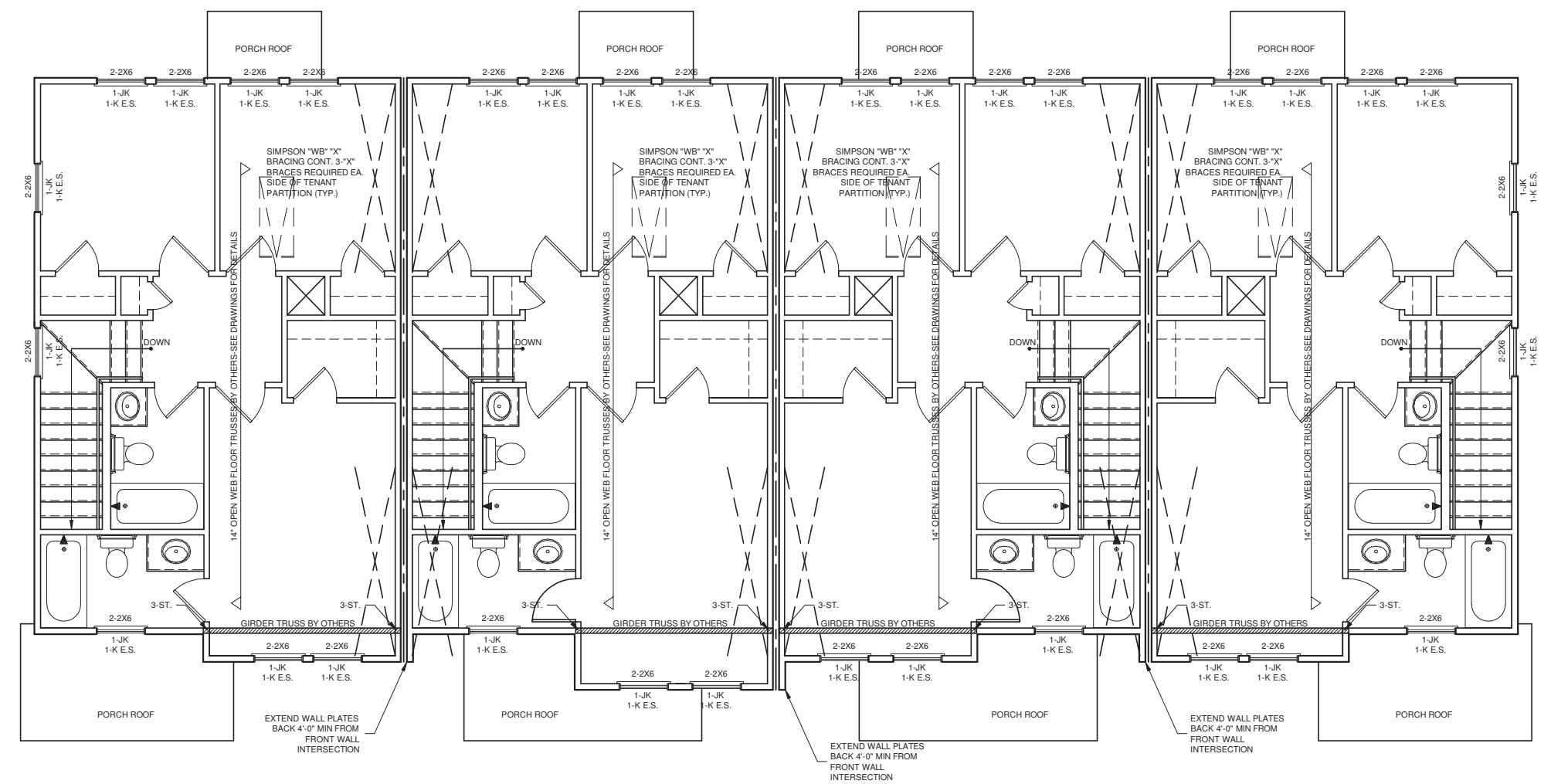
BRACING NOTES:

1. All bearing headers are #1 or better grade 2x10 Southern Pine per NCRC 2018 R602.7(1), unless otherwise noted.
2. Abbreviations:
 - JK - Jack Stud
 - K - King Stud
 - ST - Stud
 - ES - Each Side
 - NB - Non-Bearing
3. Bracing Method at exterior walls shall be designed to meet the requirements of R602.10.3; CS-Wood Joist Connections shall be designed to meet the requirements of the North Carolina Building Code, including all applicable ordinances, and State regulations.
 - 3.1. Cover all exterior walls with continuous OSB sheathing fastened to studs with 8d nails @ 6" O.C. at panel edges and 12" O.C. in the field.
 - 3.2. Block all seams.
 4. Apply fire blocking around all girders at fire separation wall.



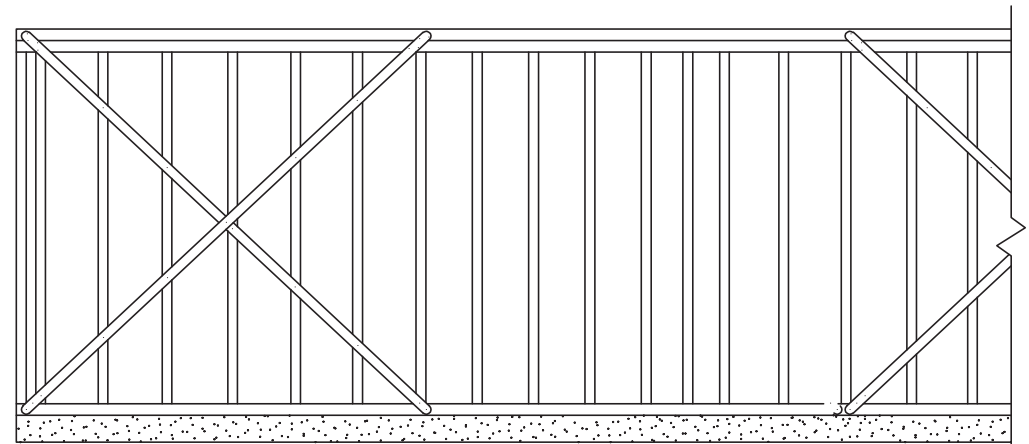
MECKLENBURG COUNTY
CODE ENFORCEMENT
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WALL HEADERS	
FIRST STORY	(2) 2X10 *UNLESS NOTED
SECOND STORY	(2) 2X6 *UNLESS NOTED
Headers to be #1 or better grade Southern Pine per NCRC 2018 Table R602.7(1)	
REQUIRED JACK STUDS	
FIRST STORY	(2)
SECOND STORY	(1)
*Per NCRC 2018 Table R602.7(1)	
SYMBOLS	
	PRE-FAB WOOD TRUSS
	GIRDER TRUSS
	2X WOOD TRUSS
	DIMENSIONAL LUMBER (STICK FRAMING) SIZED & SPACED AS NOTED
	PORCH BEAM
	CONTINUOUSLY SHEATHED EXTERIOR WALL



1 SECOND FLOOR BRACING PLAN
SCALE: 1/8" = 1'-0"

WB & WBC MODELS	
LENGTH	14'-3"
SECTION	1 1/4"
ANGLE & WALL SIZE	8' @ 51°
PLATES	2 - 16d
STUDS	1 - 8d
*NOTE: 2-"X" BRACE SECTIONS REQ'D. ON 2ND FLOOR EA. SIDE OF TENANT PARTITION (FIRE) WALL.	





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CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

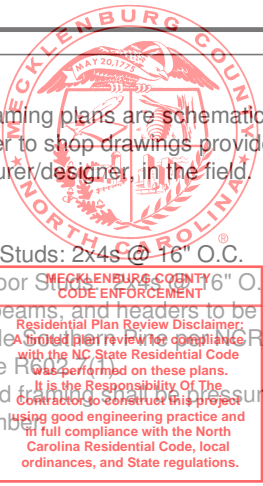
DATE:
NOVEMBER 4, 201

SHEET #:

S.1C

FRAMING NOTES:

1. Architectural framing plans are schematic diagrams. Refer to shop drawings provided by truss manufacturer/designer, in the field.
2. FRAMING:
 - 2.1. First Floor Studs: 2x4s @ 16" O.C.
 - 2.2. Second Floor Studs: 2x6s @ 16" O.C.
 - 2.3. All joists, beams, and headers to be #1 or better grade Southern Pine per NCR 2018 Table R602.7(1).
 - 2.4. All exposed framing to be pressure treated lumber.



WALL HEADERS

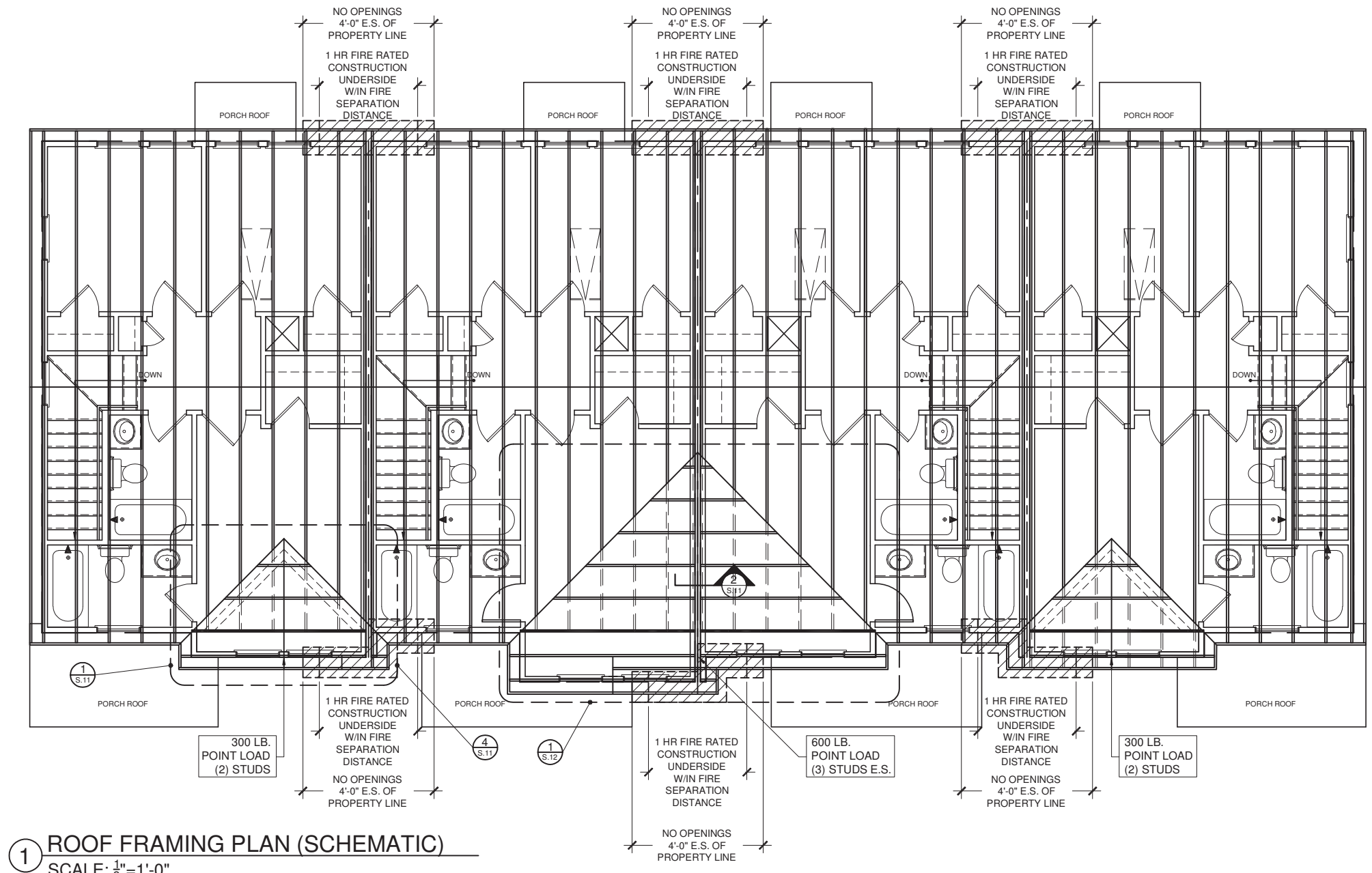
FIRST STORY	(2) 2X10 *UNLESS NOTED
SECOND STORY	(2) 2X6 *UNLESS NOTED

Headers to be #1 or better grade Southern Pine per NCR 2018 Table R602.7(1)

REQUIRED JACK STUDS

FIRST STORY	(2)
SECOND STORY	(1)

*Per NCR 2018 Table R602.7(1)



1 ROOF FRAMING PLAN (SCHEMATIC)
SCALE: 1/8" = 1'-0"

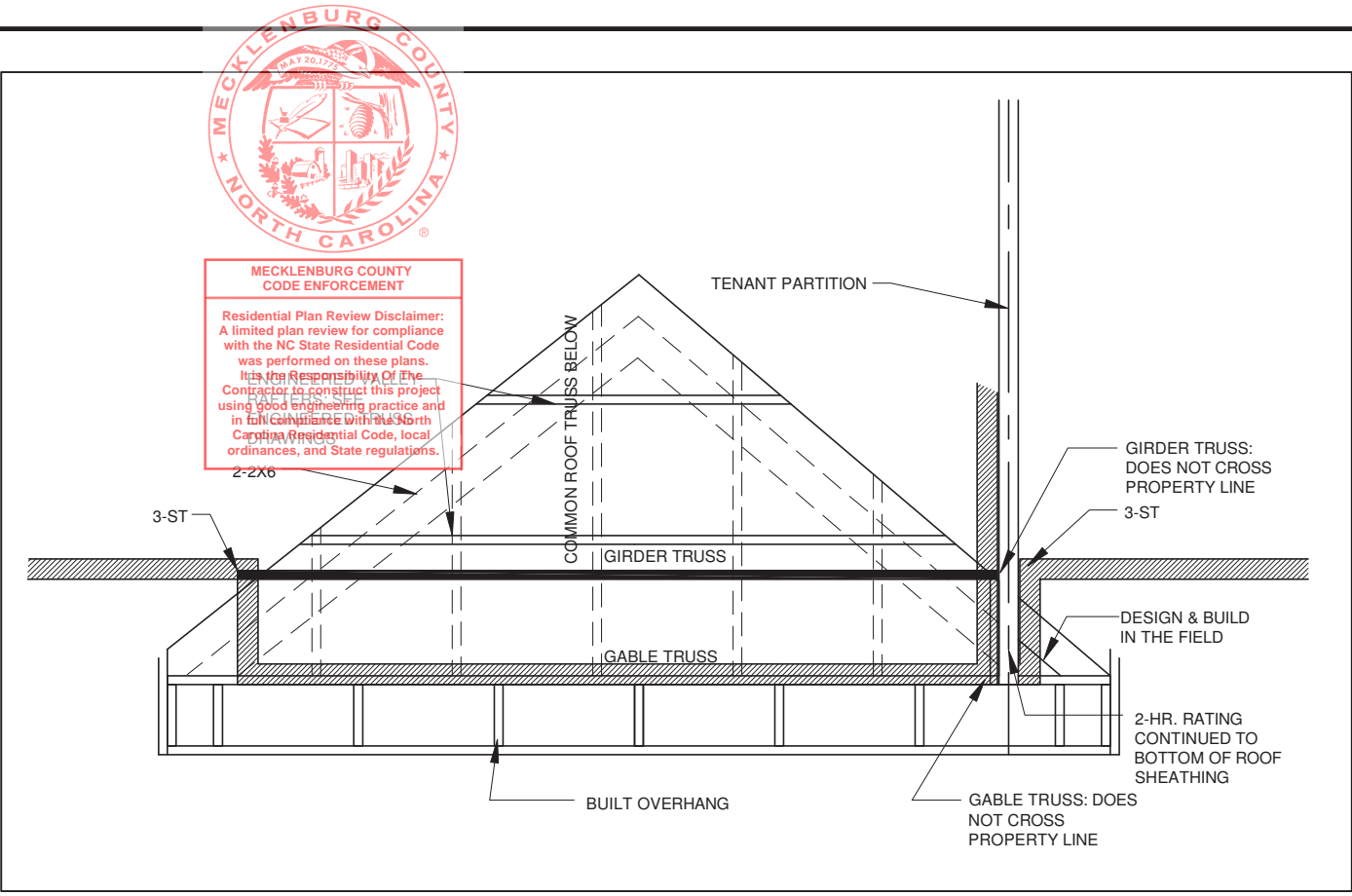
HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITIESIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

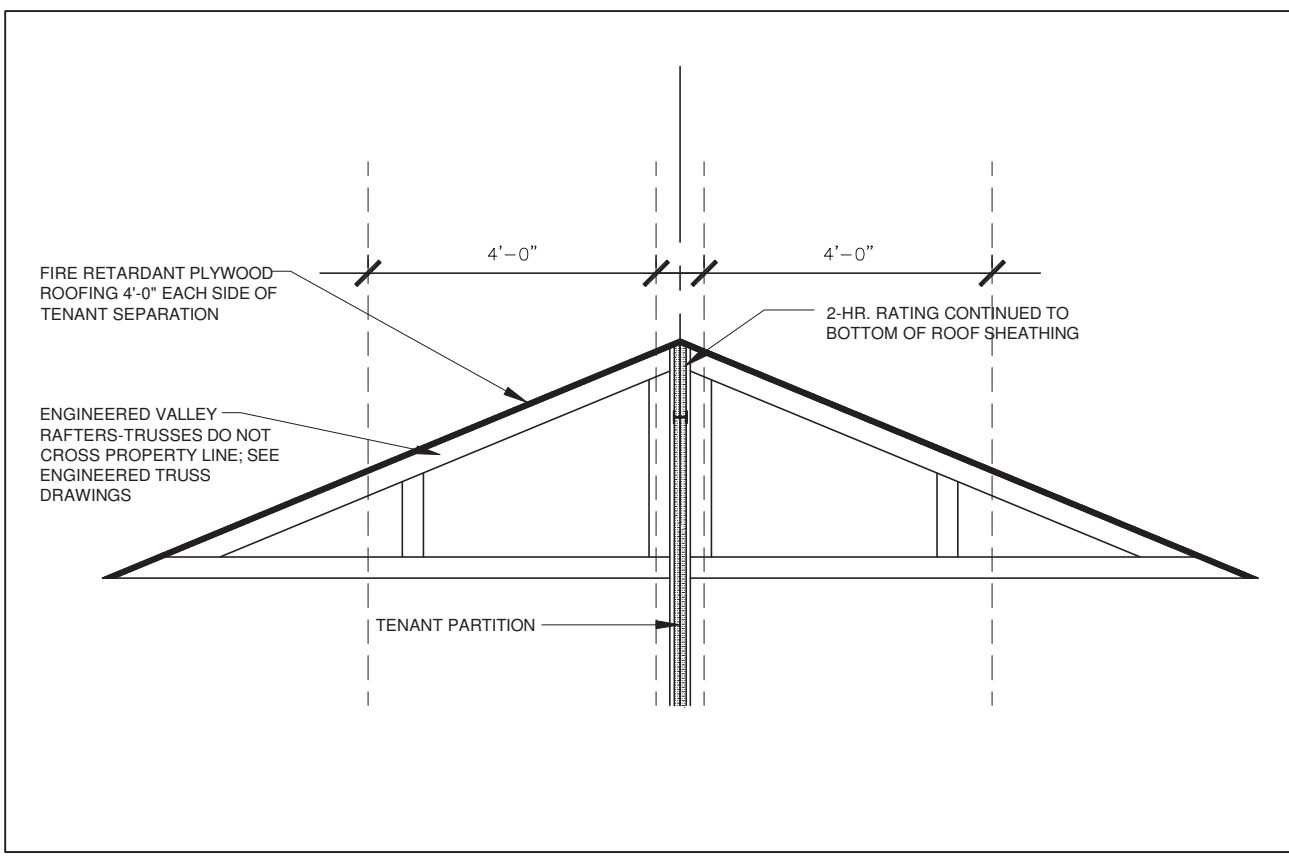
DATE:
NOVEMBER 4, 2019

SHEET #:

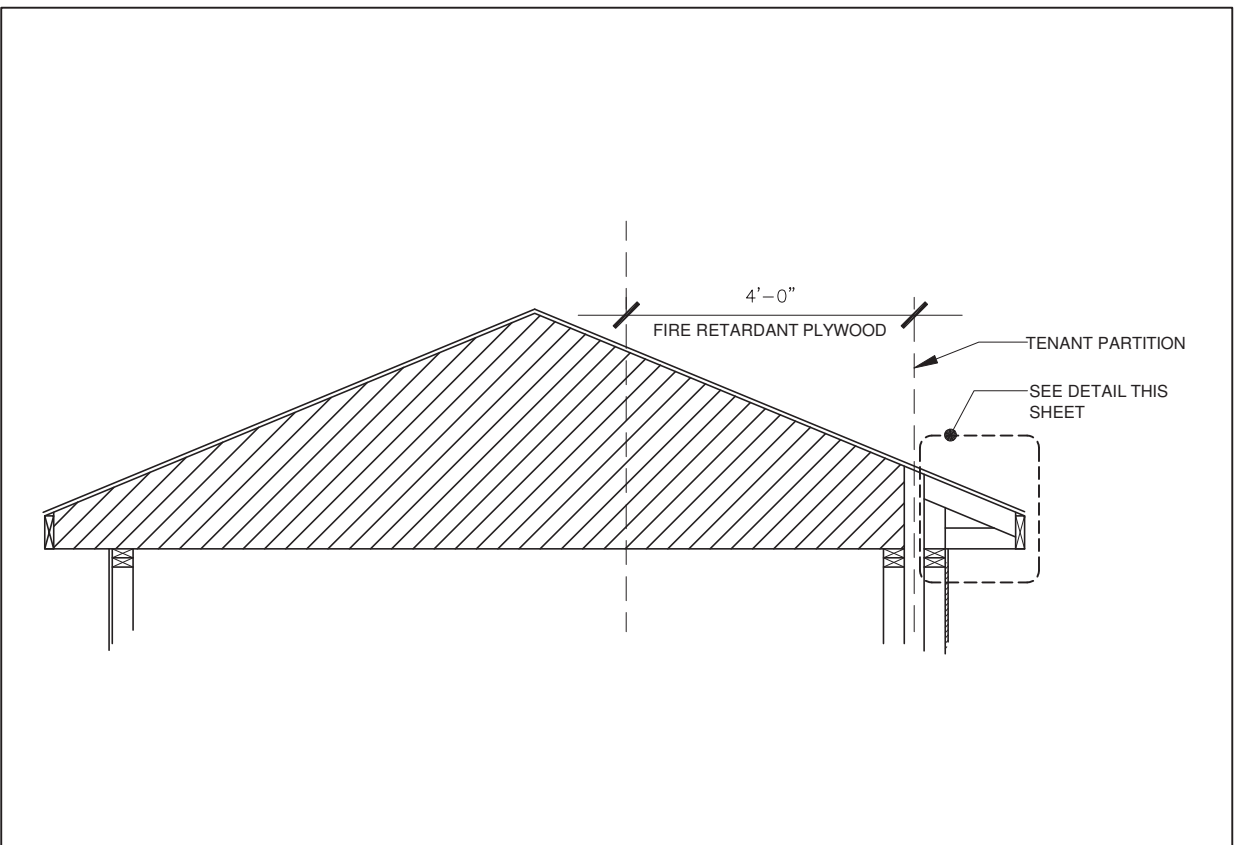
S.11



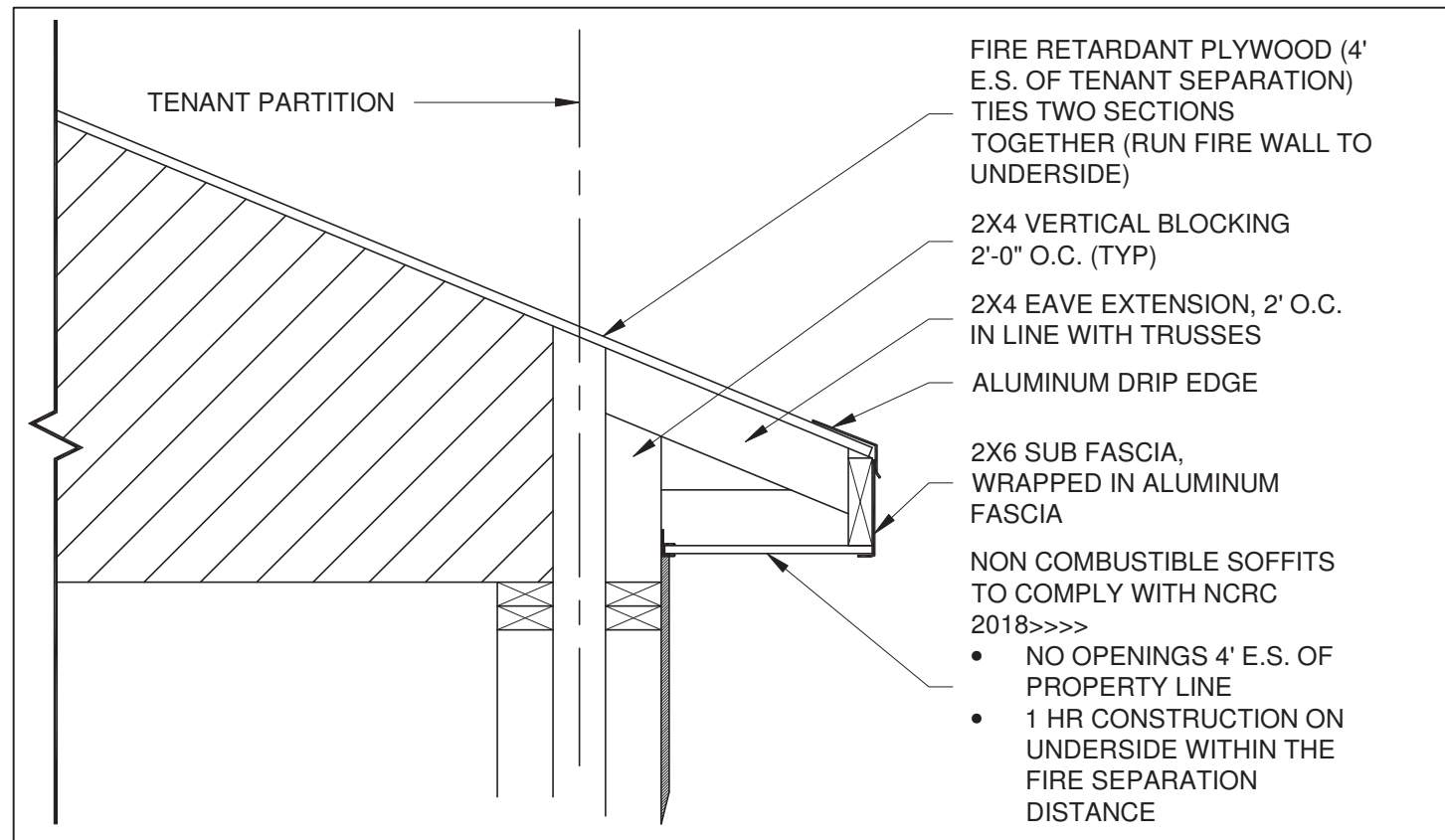
1 GABLE FRAMING-@ END UNITS
SCALE: 3/8"=1'-0"



2 SECTION-@ BUILDING CENTER
SCALE: 3/8"=1'-0"



3 GABLE END DETAIL-@ END UNITS
SCALE: 3/8"=1'-0"



4 EAVE DETAIL
SCALE: 1"=1'-0"



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

TELEPHONE: 704-376-2011
FAX: 704-342-1797

DWN. BY: CARRIE MAST
cmasto@habitatcharlotte.org

ENGINEER:
Gavel and Dorn Engineering
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900



For Structural Commentary 0

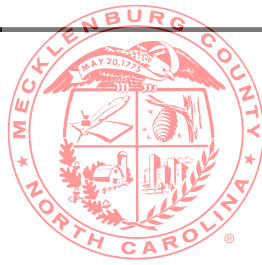
HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITIESIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

Attachment: 4_Plex_Townhomes (2973 : 2nd Reading Habitat PUD)

DATE:
NOVEMBER 4, 2019

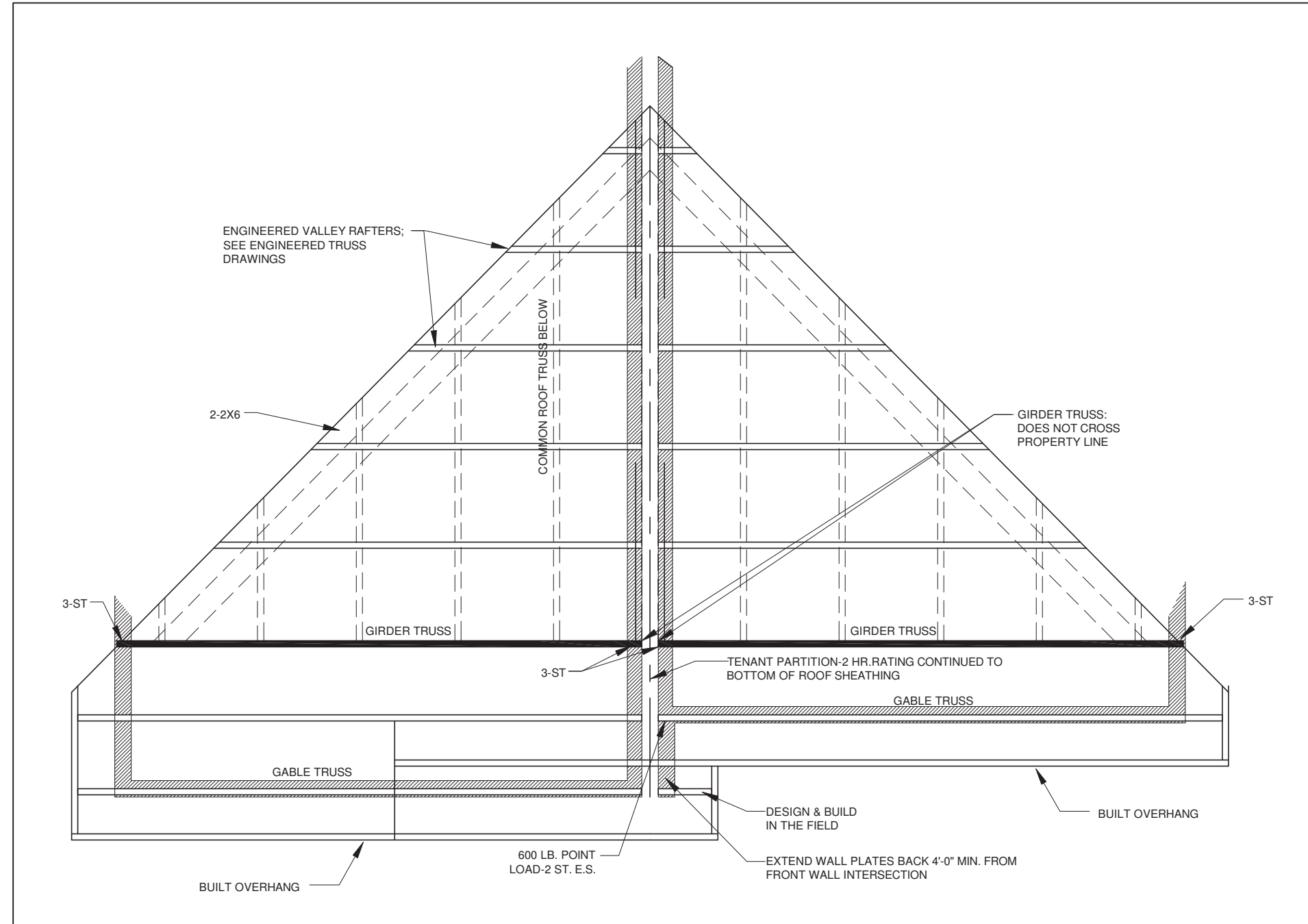
SHEET #:

S.12

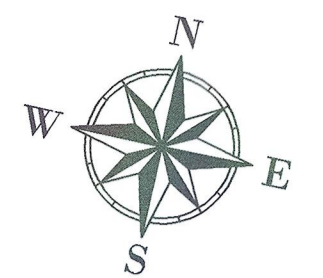


MECKLENBURG COUNTY
CODE ENFORCEMENT

Residential Plan Review Disclaimer:
A limited plan review for compliance
with the NC State Residential Code
was performed on these plans.
It is the Responsibility Of The
Contractor to construct this project
using good engineering practice and
in full compliance with the North
Carolina Residential Code, local
ordinances, and State regulations.

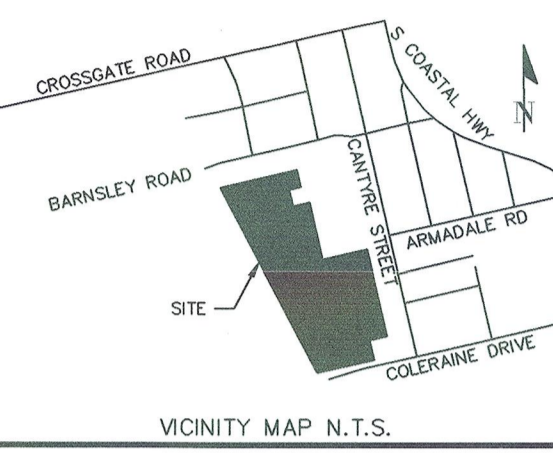


1 GABLE FRAMING-@ MIDDLE UNITS
SCALE: 3/8" = 1'-0"



GEORGIA STATE PLANE
NAD 83, US SURVEY FEET

THIS BLOCK IS RESERVED FOR THE OFFICE
OF THE CLERK OF SUPERIOR COURT



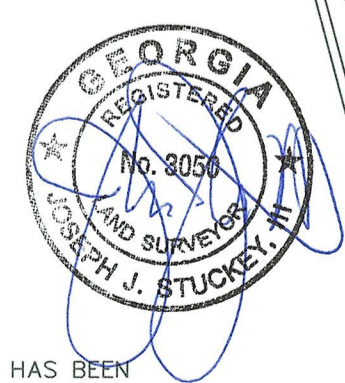
- NOTE:
1. WATER AND SEWER SHALL BE CONNECTED TO CITY OF PORT WENTWORTH
 2. THE PROPERTY IS ZONED R-1 RESIDENTIAL
 3. HORIZONTAL CONTROL WAS ESTABLISHED USING RTK GPS. COORDINATES ESTABLISHED WITH EGPS SERVICES ON GEORGIA EAST ZONE (NAD 83).

N/F
LRE CROSSGATE SOUTH, LLC
PARCEL # 70033 01004

N/F
GEORGIA PORTS AUTHORITY
PARCEL # 10729 01002

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS PLAT FOR FILING.
APPROVED BY THE CITY OF PORT WENTWORTH CITY MANAGER

CITY MANAGER _____ DATE _____



SURVEYOR CERTIFICATION

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HERON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY AND PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEY IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

JOSEPH J. STUCKEY, III GA REG. L.S. LIC. NO. 3050 DATE 9-11-2023

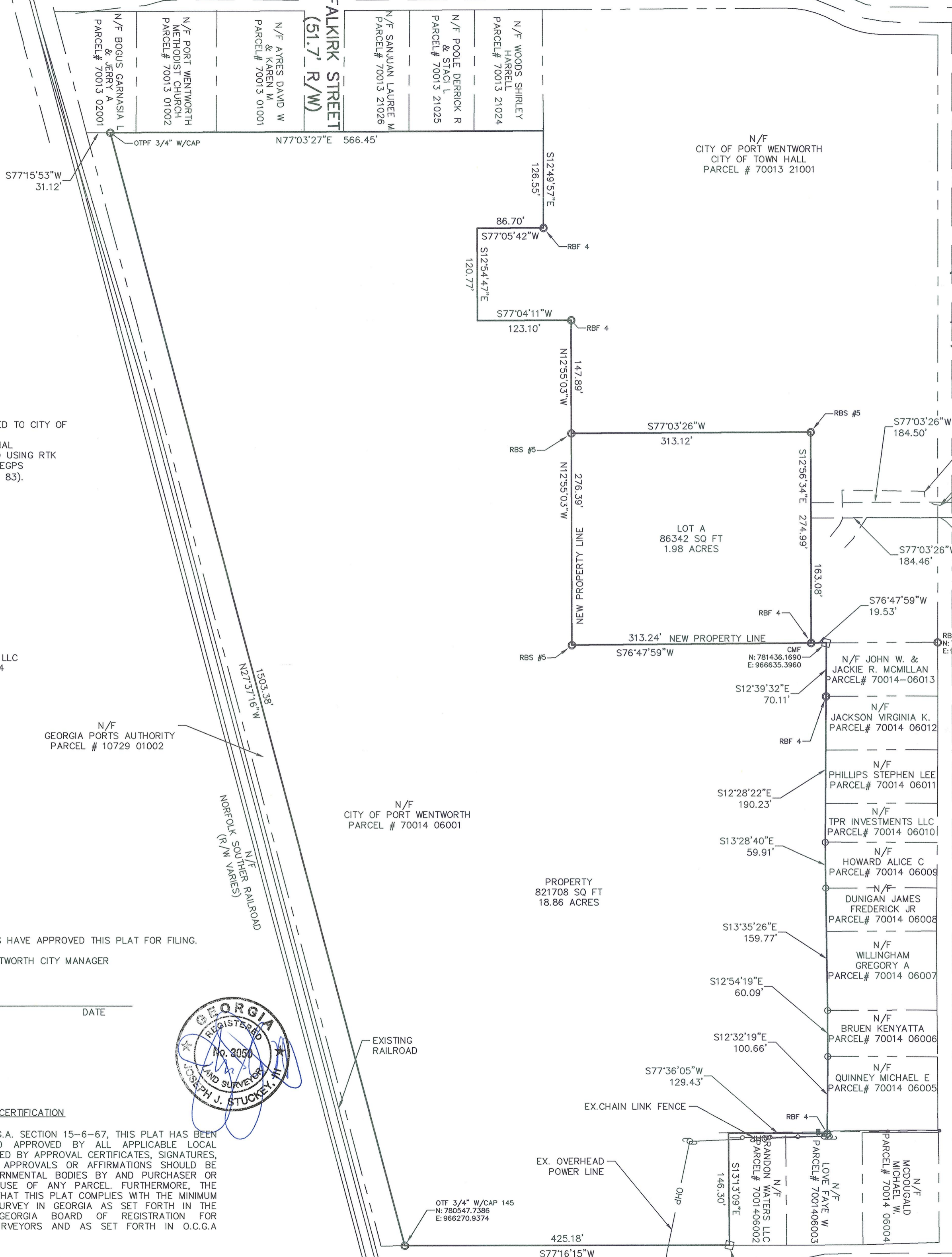
BARNSELY ROAD

**FALKIRK STREET
(51.7' R/W)**

CANTYRE STREET (60' R/W)

ARMADALE RD (60' R/W)

COLERAINE DRIVE (80' R/W)



EXISTING ASPHALT
20' INGRESS/EGRESS &
UTILITY EASEMENT

LOT A
86342 SQ FT
1.98 ACRES

PROPERTY
821708 SQ FT
18.86 ACRES

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,759 FEET, AND AN ANGULAR ERROR OF 02" PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARES.

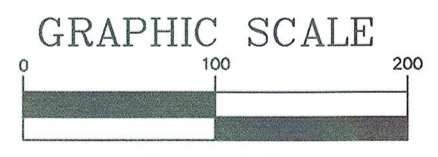
THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 185,127 FEET.

EQUIPMENT: 1" TOPCON TOTAL STATION & RANGER DATA COLLECTOR

LEGEND:

- RBS IRON ROD SET
- RBF IRON ROD FOUND
- CMF CONCRETE MONUMENT FOUND
- PKNS "PK" NAIL SET
- OTF/OTPF OPEN TOP PIPE FOUND

REFERENCE:
PLAT BOOK T, PG 248
PLAT BOOK R, PG 231
PLAT BOOK 17P, PG 33
DEED BOOK 2325, PG 498-500
DEED BOOK 163U, PG 243-246



(IN FEET)
1 inch = 100 ft.

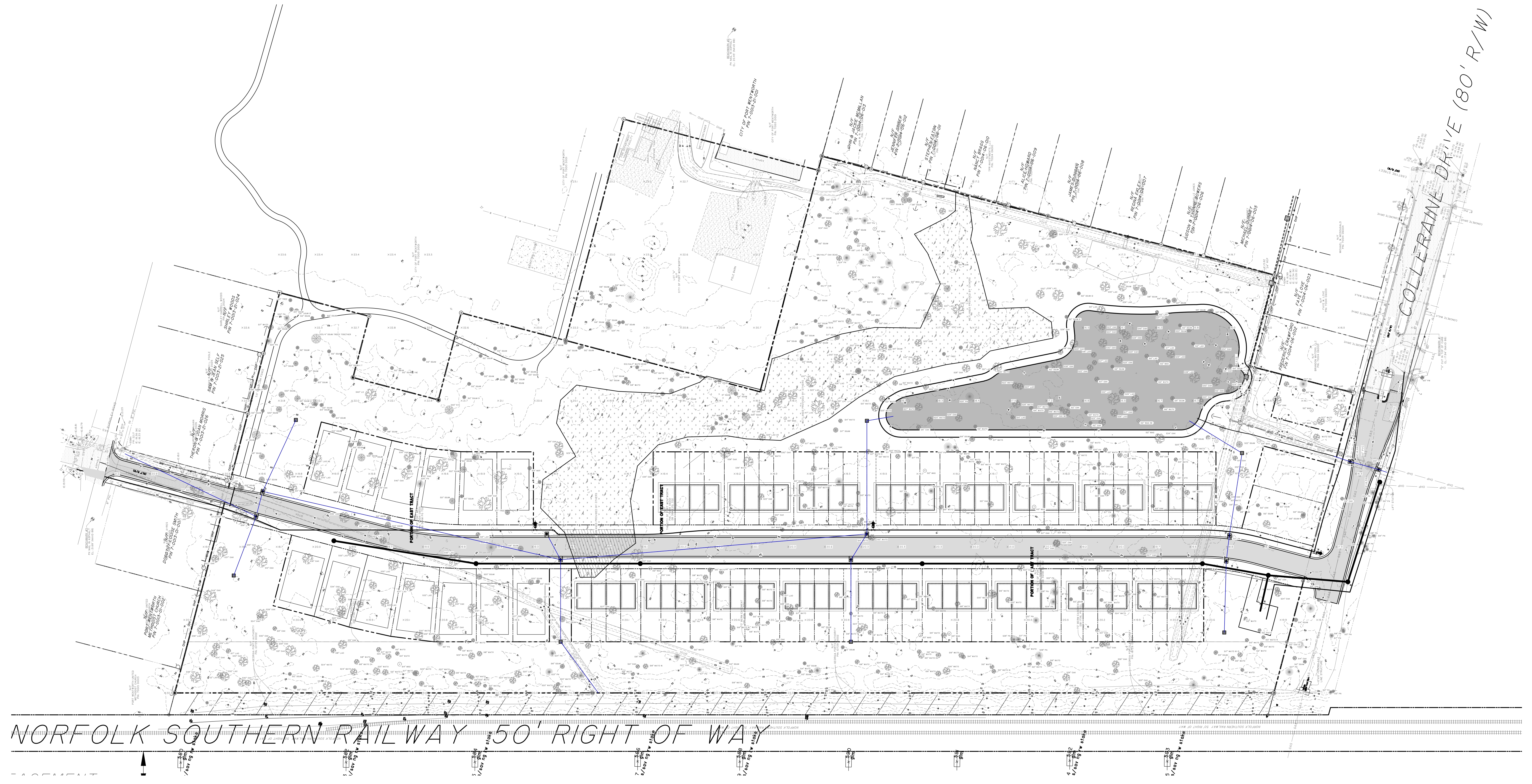
NOTE:
THIS PLAT IS SUBJECT TO ALL RECORDED EASEMENTS AND RESTRICTIONS AND IS VALID ONLY FOR THE PERSON OR PERSONS NAMED IN THE TITLE.
ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR CHATHAM COUNTY (MAP NUMBER 13051C0045G) THIS PROPERTY IS IN A FLOOD ZONE "X".

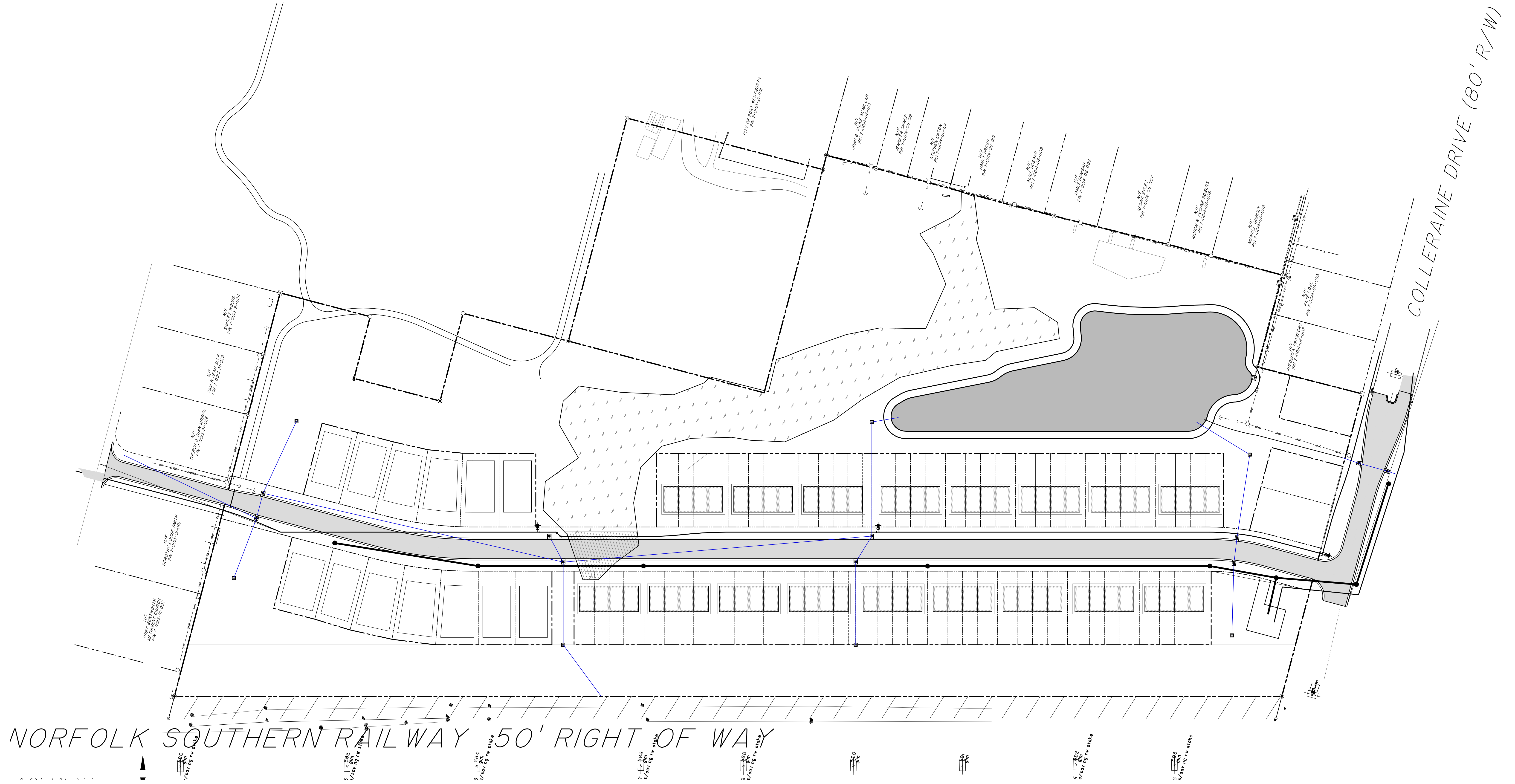
T. R. Long Engineering, P.C.
114 North Commerce Street
Hinesville, Georgia 31313
(912) 368-5664
(912) 368-7206 Fax

**MINOR SUBDIVISION
SHOWING LOT A
FOR THE CITY OF PORT WENTWORTH
COLERAINE DR.
PORT WENTWORTH, GEORGIA**

A MINOR SUBDIVISION OF LOT A CONTAINING 1.98 ACRES BEING A PORTION OF THE GRANGE TRACT 8TH G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA
PARENT OF TAX PARCEL: 70014 06001
PLAT DATE: AUGUST 30, 2023
FILE NUMBER: 2023-161
PAGE 1 OF 1

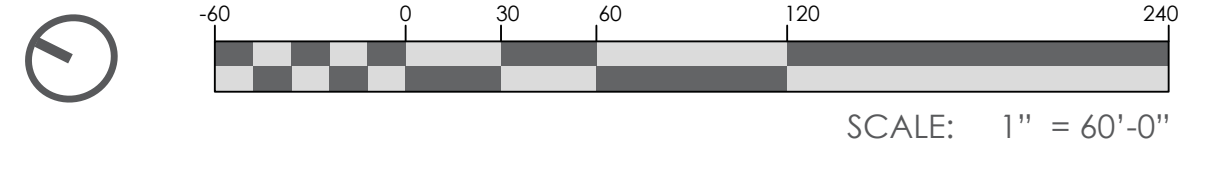
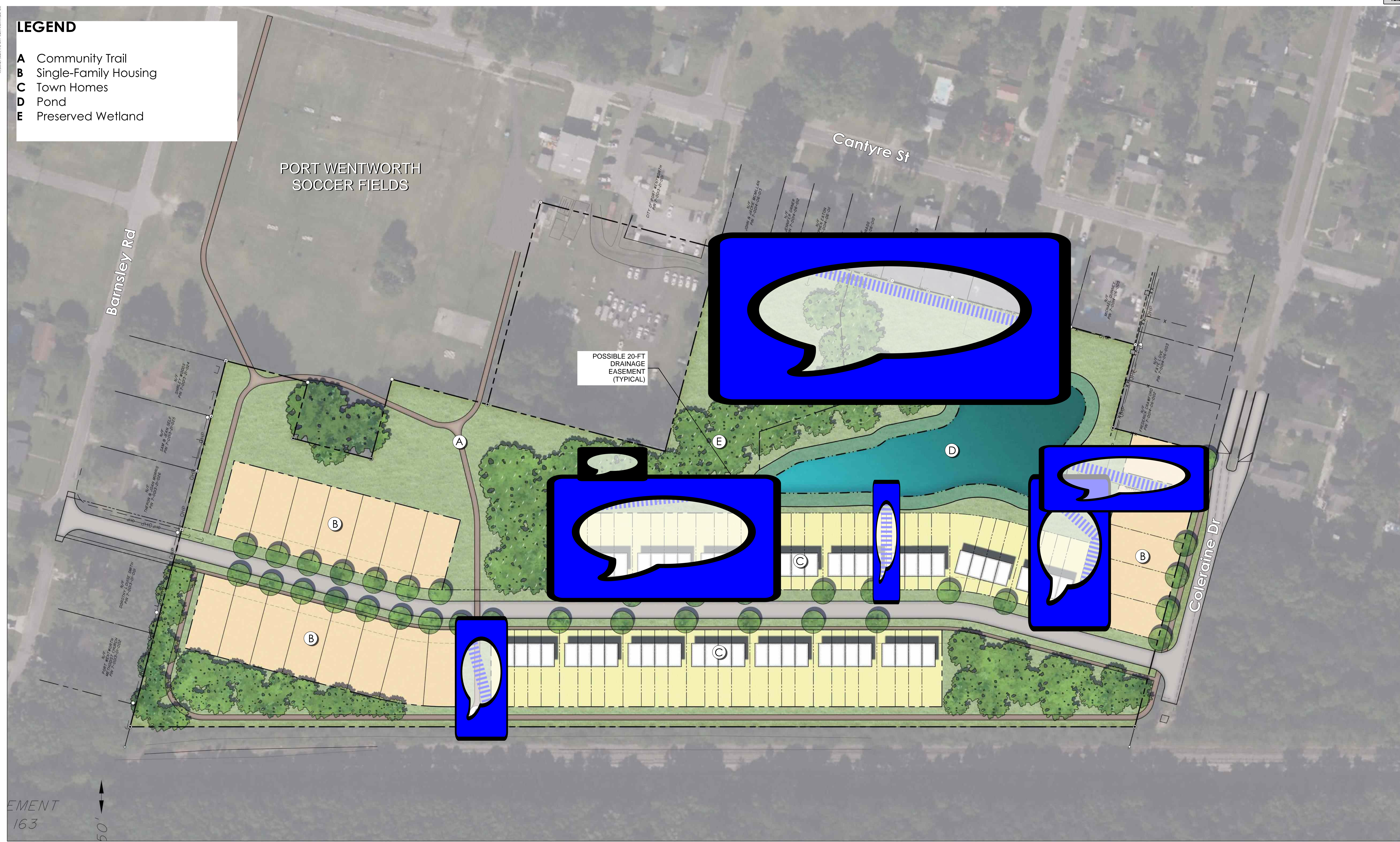
Attachment: 2023-161 plat signed (2973 : 2nd Reading Habitat PUD)





LEGEND

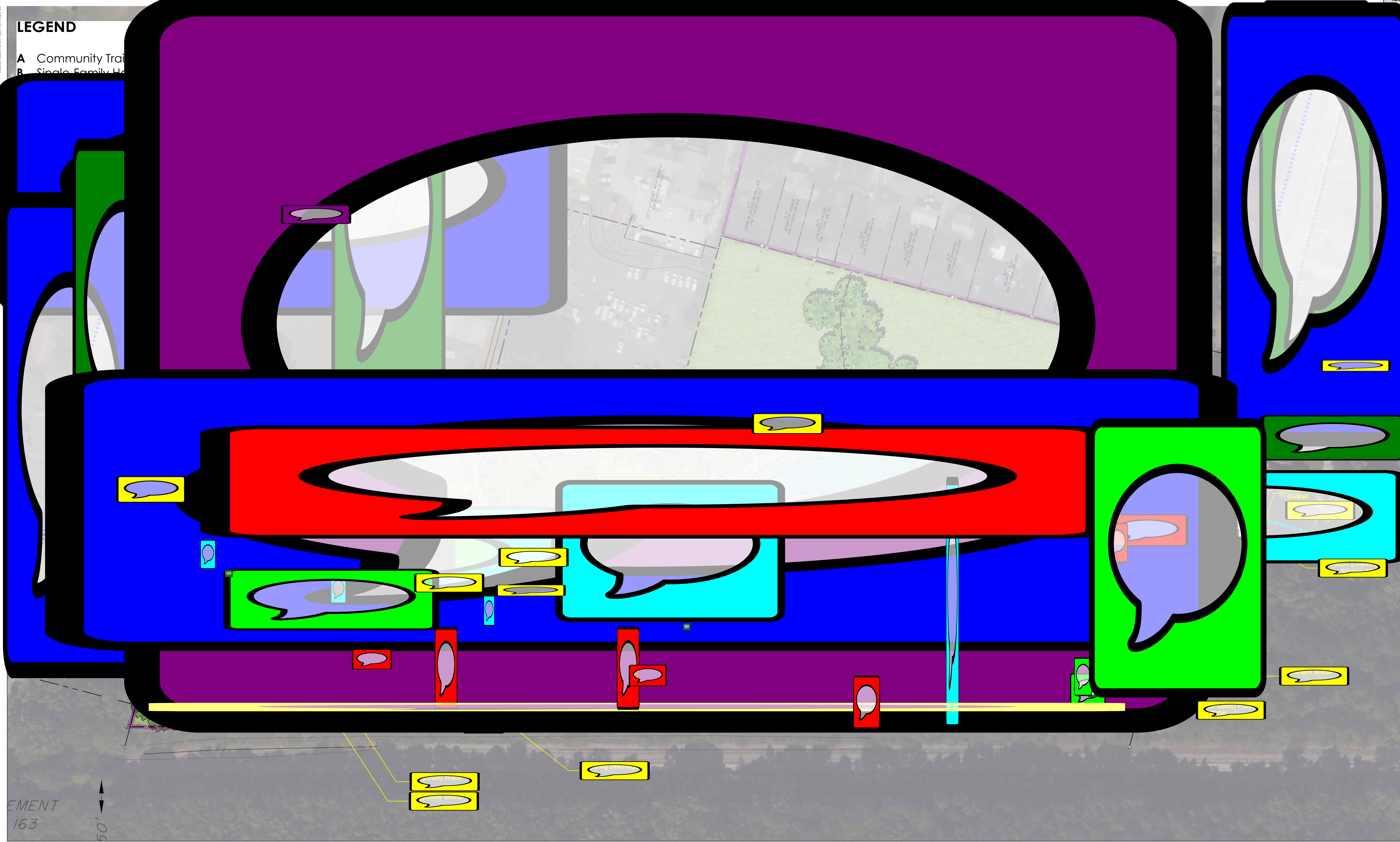
- A** Community Trail
- B** Single-Family Housing
- C** Town Homes
- D** Pond
- E** Preserved Wetland



LEGEND

- A Community Trail
- B Single-Family Home

W:\Mileky\CEH\Port Wentworth\Landscape Architecture\Illustrative\Inda\BDEV\Habitat for Humanity - LA Exhibit
 11/15/2017 10:54:57 AM



EMENT
163
50'

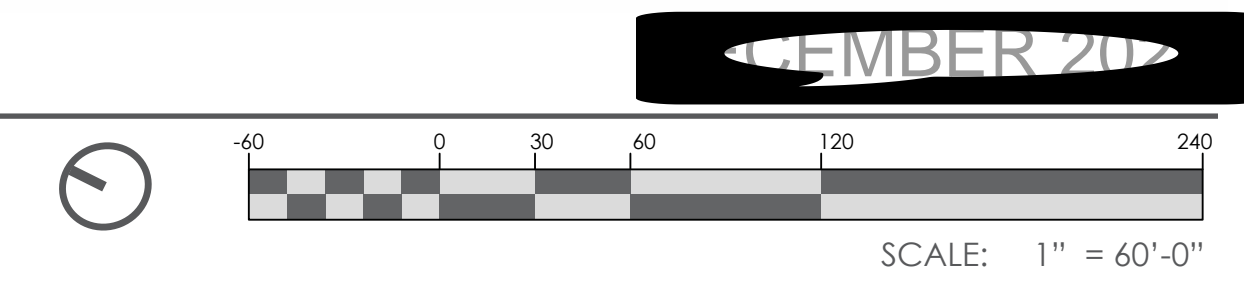
HABITAT FOR HUMANITY

THOMAS & HUTTON
This map illustrates a general plan of the development which is for discussion purposes only, does not limit or bind the owner/developer, and is subject to change and revision without prior written notice to the holder. Dimensions, boundaries, and position locations are for illustrative purposes only and are subject to an accurate survey and proper description.

HABITAT FOR HUMANITY HOUSING DEVELOPMENT

PORT WENTWORTH, GA

UTILITIES



Attachment: Draft Utility Layout (2017.3 - 2nd Reading Habitat POD)



Attachment: Existing-Utilities (2973 : 2nd Reading Habitat PUD)

Existing Utilities

02/15/2024

- Parcels
- Water Lines
- Detention Ponds
- Fire Hydrants
- Stormwater Points
- Reuse Line
- MS4 Outfall
- Reuse Valves
- Stormwater Lines
- Valve Manholes
- Force Mains
- Valves
- Force Main Valves
- Wells
- Manholes
- Pump Stations
- Sewer Lines





2201 Rowland Avenue
Savannah, GA 31404

P (912) 629-4000

F (912) 629-4001

Terracon.com

December 27, 2023

The Coastal Empire Habitat for Humanity Inc.
701 Martin Luther King Jr. Blvd.
Savannah, GA 31401

Attn: Mr. Zerik Samples
E: zsamples@habitatsavannah.org

Re: Habitat for Humanity – Coleraine Drive
Chatham County, GA
Client Verification Letter
Terracon Project No. ES237137
SAS-2023-00796

Dear Mr. Samples:

Attached is a copy of the U.S. Army Corps of Engineers (USACE) letter, dated 12 December 2023, regarding the Aquatic Resource Delineation Review (ADRDR) associated with the ±18.8-acre site located east of Jimmy Deloach Parkway, west of GA 25 North, and immediately north of Coleraine Drive, in Savannah, Chatham County, Georgia. The project has been assigned the regulatory branch number **SAS-2023-00796**. It is important that you use this number in any communication with the USACE concerning this project.

The attached USACE letter states that the exhibits entitled, "Habitat for Humanity – Coleraine Drive, Sub-Meter GPS Wetland Delineation Exhibit," dated November 2023, accurately identifies the delineated limits of all aquatic resources located within the review area.

All wetlands and ditches as depicted in the above-mentioned figure are waters of the United States, and therefore are within the jurisdiction of Section 404 of the Clean Water Act (CWA). Any placement of fill or mechanized land clearing of any of the aquatic resources depicted in the above-mentioned figure (including wetlands and ditches) may require a Department of the Army Permit prior to beginning work. The delineation associated with these wetlands does not have a set expiration date and will remain valid until the USACE exercises its discretion to review the delineation at a future time.

Attachment: Final Client Ver Letter - Habitat for Humanity.PPDF (1) (2973 : 2nd Reading Habitat PUD)



Should you have any questions regarding this information, please do not hesitate to contact us. As always, Terracon Consultants, Inc. thanks you for the opportunity to assist you with this project.

Sincerely,
Terracon Consultants, Inc.

for
Aaron Valenti
Staff Scientist

Kristen Deason
Group Manager

Mike DeMell
Department Manager II

**Attachments: U.S. Army Corps of Engineers Verification Letter,
Dated December 12, 2023**

**CC: Mr. Steve Davis
City of Port Wentworth**

KD/av
N/Projects/ES237137/ARDR Client Ver. Letter
December 2023

Attachment: Final Client Ver Letter - Habitat for Humanity.PPDF (1) (2973 : 2nd Reading Habitat PUD)



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, SAVANNAH DISTRICT
100 W. OGLETHORPE AVENUE
SAVANNAH, GEORGIA 31401-3604

December 12, 2023

Regulatory Division
SAS-2023-00796

Mr. Steve Davis
City of Port Wentworth
7224 Georgia Highway 21
Port Wentworth, Georgia 31407

Dear Mr. Davis:

I refer to a letter submitted on your behalf by Terracon Consultants, Inc., requesting a delineation of aquatic resources for an 18.8 acre site located at the cul-de-sac of Coleraine Drive, Parcel Number: 70014 06001, Port Wentworth, Chatham County, Georgia, (Latitude 32.1438, Longitude -81.1649). This project has been assigned number SAS-2023-00796 and it is important that you refer to this number in all communication concerning this matter.

The enclosed exhibit entitled, "Habitat For Humanity – Coleraine Drive, Sub-Meter GPS Wetland Delineation Exhibit, Project No.: ES237137", dated November 2023, identifies the delineation limits of all aquatic resources within the project area. The wetlands were delineated in accordance with criteria contained in the 1987 "Corps of Engineers Wetland Delineation Manual," as amended by the most recent regional supplements to the manual.

If you intend to sell property that is part of a project that requires Department of the Army Authorization, it may be subject to the Interstate Land Sales Full Disclosure Act. The Property Report required by Housing and Urban Development Regulation must state whether, or not a permit for the development has been applied for, issued or denied by the U.S. Army Corps of Engineers (Part 320.3(h) of Title 33 of the Code of Federal Regulations).

The delineation included herein has been conducted to identify the location and extent of the aquatic resource boundaries and/or the jurisdictional status of aquatic resources for purposes of the Clean Water Act for the particular site identified in this request. This delineation and/or jurisdictional determination may not be valid for the Wetland Conservation Provisions of the Food Security Act of 1985, as amended. If you or your tenant are USDA program participants, or anticipate participation in USDA programs, you should discuss the applicability of a certified wetland determination with the local USDA service center, prior to starting work.

Attachment: Final Client Ver Letter - Habitat for Humanity.PPDF (1) (2973 : 2nd Reading Habitat PUD)


- 2 -

This communication does not relieve you of any obligation or responsibility for complying with the provisions of any other laws or regulations of other federal, state or local authorities. It does not affect your liability for any damages or claims that may arise as a result of the work. It does not convey any property rights, either in real estate or material, or any exclusive privileges. It also does not affect your liability for any interference with existing or proposed federal projects. If the information you have submitted and on which the Corps bases its determination is later found to be in error, this determination may be subject to modification, suspension, or revocation.

Thank you in advance for completing our on-line Customer Survey Form located at http://corpsmapu.usace.army.mil/cm_apex/f?p=regulatory_survey. We value your comments and appreciate your taking the time to complete a survey each time you have interaction with our office.

If you have any questions, contact Drew E. Sliger by telephone at (912) 656-0742 or email at drew.e.sliger@usace.army.mil.

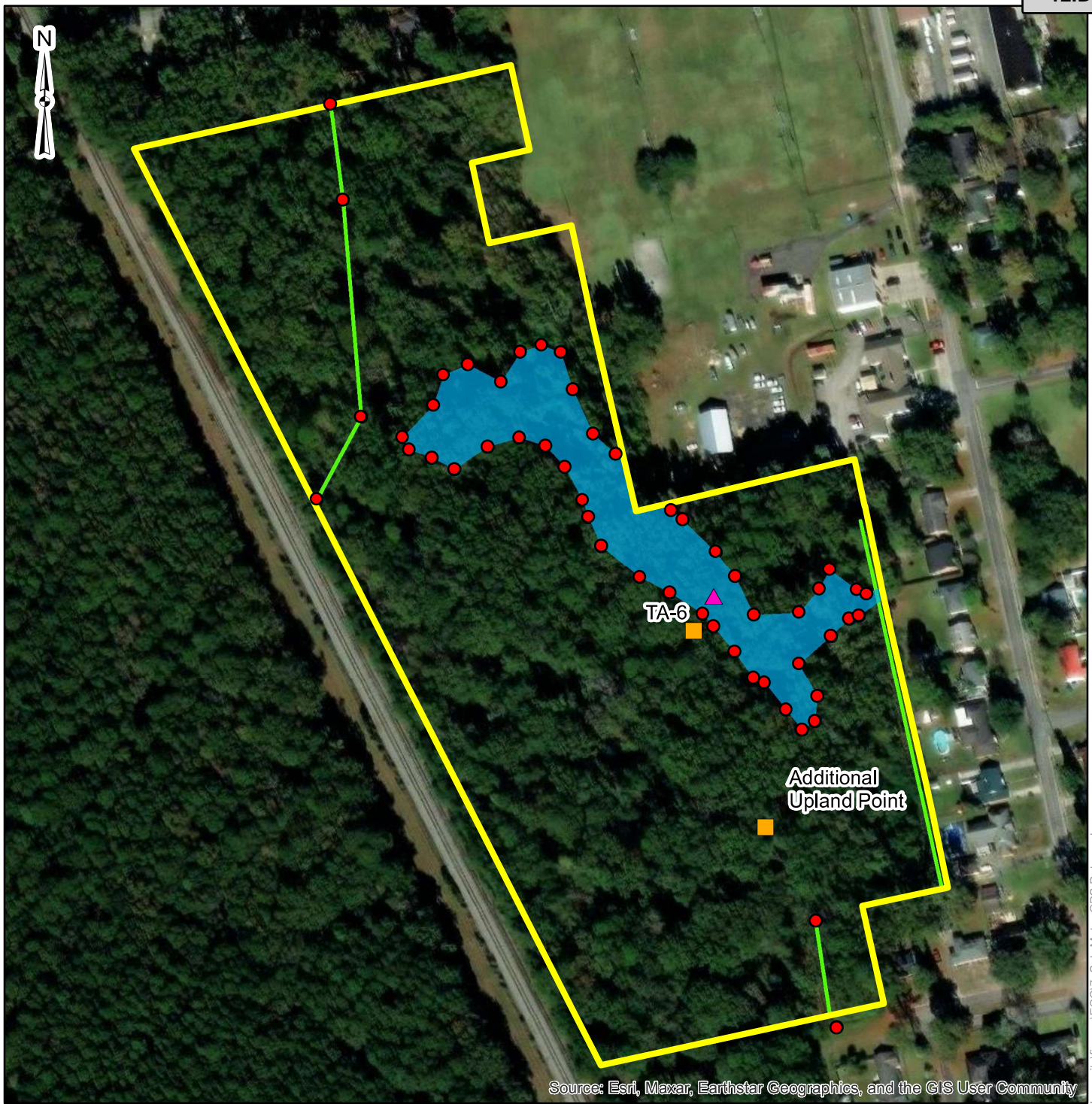
Sincerely,



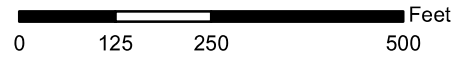
Drew E. Sliger
Regulatory Specialist, Coastal Branch

Copy Furnished: Mr. Aaron Valenti, Terracon Consultants, Inc.

Enclosures



- Project Boundary (+/- 18.8 acres)
- Freshwater Wetlands (+/- 1.7 acres)
- Ditches (+/- 1,280 ft)
- Sub-Meter GPS Data
- Upland Data Form Location
- Wetland Data Form Location



DATA SOURCES:
ESRI Aerial

Project No.:
ES237137
Date:
Nov 2023
Drawn By:
TLV
Reviewed By:
KHD

Terracon
Explore with us
2201 Rowland Avenue Savannah, GA 31404
PH. (912) 629-4000 terracon.com

Sub-Meter GPS Wetland Delineation Exhibit
Habitat for Humanity - Coleraine Drive
Chatham County, GA

Exhibit

7

Sub-Meter GPS Data

Habitat for Humanity - Coleraine Drive

Sep-23

Flag Number	Lat.	Long.
OHWM Ditches		
ditch	32.14595161	-81.16603901
ditch	32.14556643	-81.16598166
ditch	32.14469655	-81.16589377
ditch end	32.14224443	-81.16363988
ditch end	32.14436478	-81.16610424
ditch	32.14267257	-81.16373705

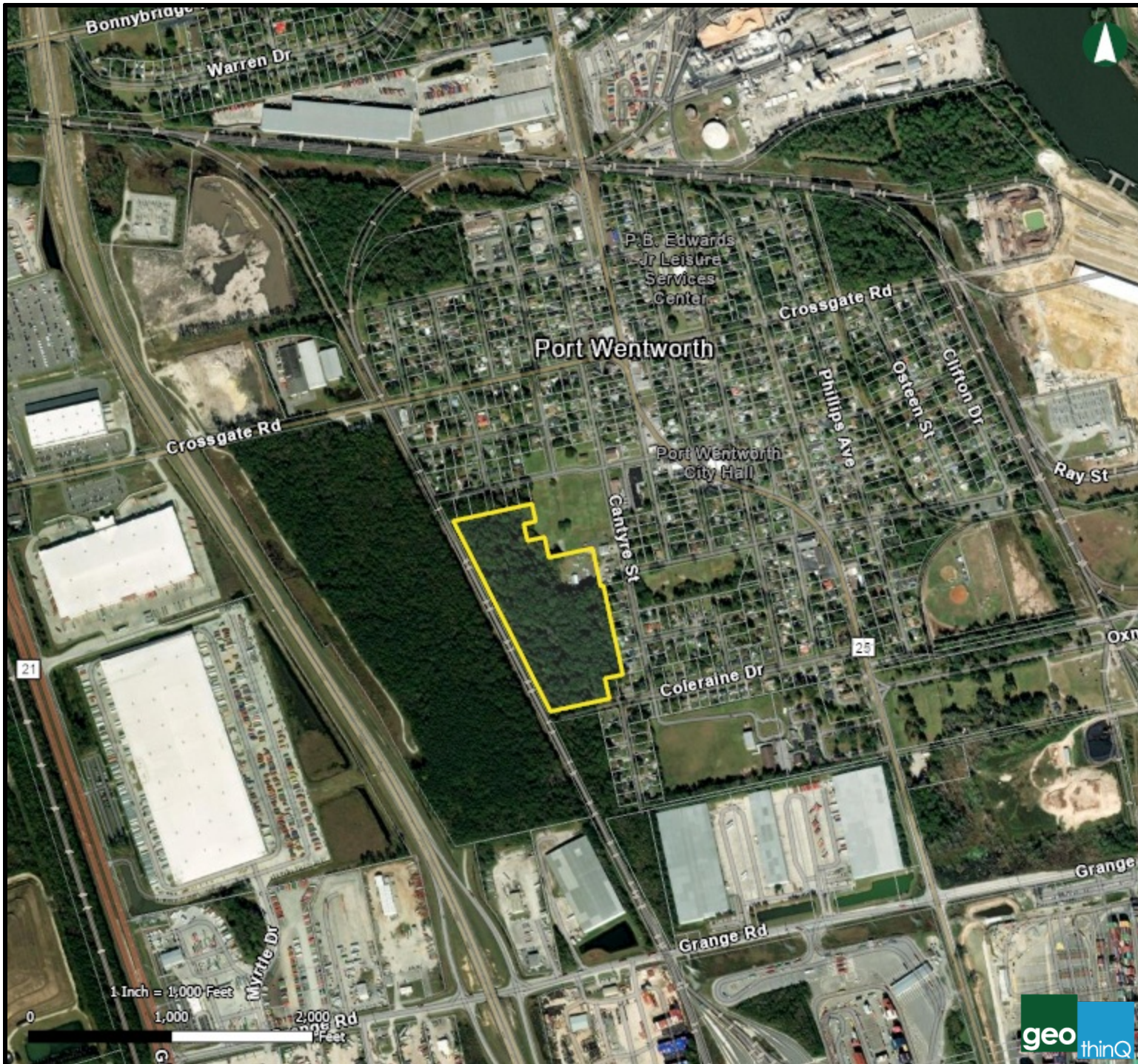
Flag Number	Lat.	Long.
Wetland TA		
ta-1 start	32.14352215	-81.16387945
ta-10	32.14429316	-81.16481689
ta-11	32.14436239	-81.16484348
ta-12	32.14449458	-81.16492817
ta-13	32.14458012	-81.1650193
ta-14	32.14461282	-81.16514384
ta-15	32.1445765	-81.16529491
ta-16	32.14448623	-81.16545117
ta-17	32.14453234	-81.16555972
ta-18	32.1445636	-81.16566669
ta-19	32.14461409	-81.16569728
ta-2	32.14362935	-81.16398096
ta-20	32.14474284	-81.1655521
ta-21	32.14486472	-81.1655048
ta-22	32.14490608	-81.16538826
ta-23	32.14483596	-81.16523009
ta-24	32.14495726	-81.1651383
ta-25	32.14498314	-81.16503869
ta-26	32.14495519	-81.16494745
ta-27	32.14480563	-81.16488892
ta-28	32.1446278	-81.16479377
ta-29 end	32.14454737	-81.16468775
ta-3	32.14364853	-81.1640349
ta-4	32.14375266	-81.16412257
ta-5	32.14385497	-81.16422426
ta-6	32.14390519	-81.16427354
ta-7	32.14399044	-81.16443065
ta-8	32.14405159	-81.16457178
ta-9	32.14417729	-81.16475499
tb-1	32.14432198	-81.16442346
tb-10	32.14398584	-81.1634989
tb-2	32.14428342	-81.16437043
tb-3	32.14415563	-81.16421319
tb-4	32.14405568	-81.16412014
tb-5	32.14390176	-81.16403109
tb-6	32.14391086	-81.16381738
tb-7	32.14400568	-81.16372211
tb-8	32.14408283	-81.16367308
tb-9	32.14400311	-81.16354287
tc-2	32.14344075	-81.16380384
tc-3	32.14347417	-81.16374293
tc-4	32.1435753	-81.16373167
tc-5	32.14370482	-81.16381681
tc-6	32.14381605	-81.16366815
tc-7	32.14388595	-81.1635808
tc-8	32.14389742	-81.16353439



General Location Map

02/15/2024

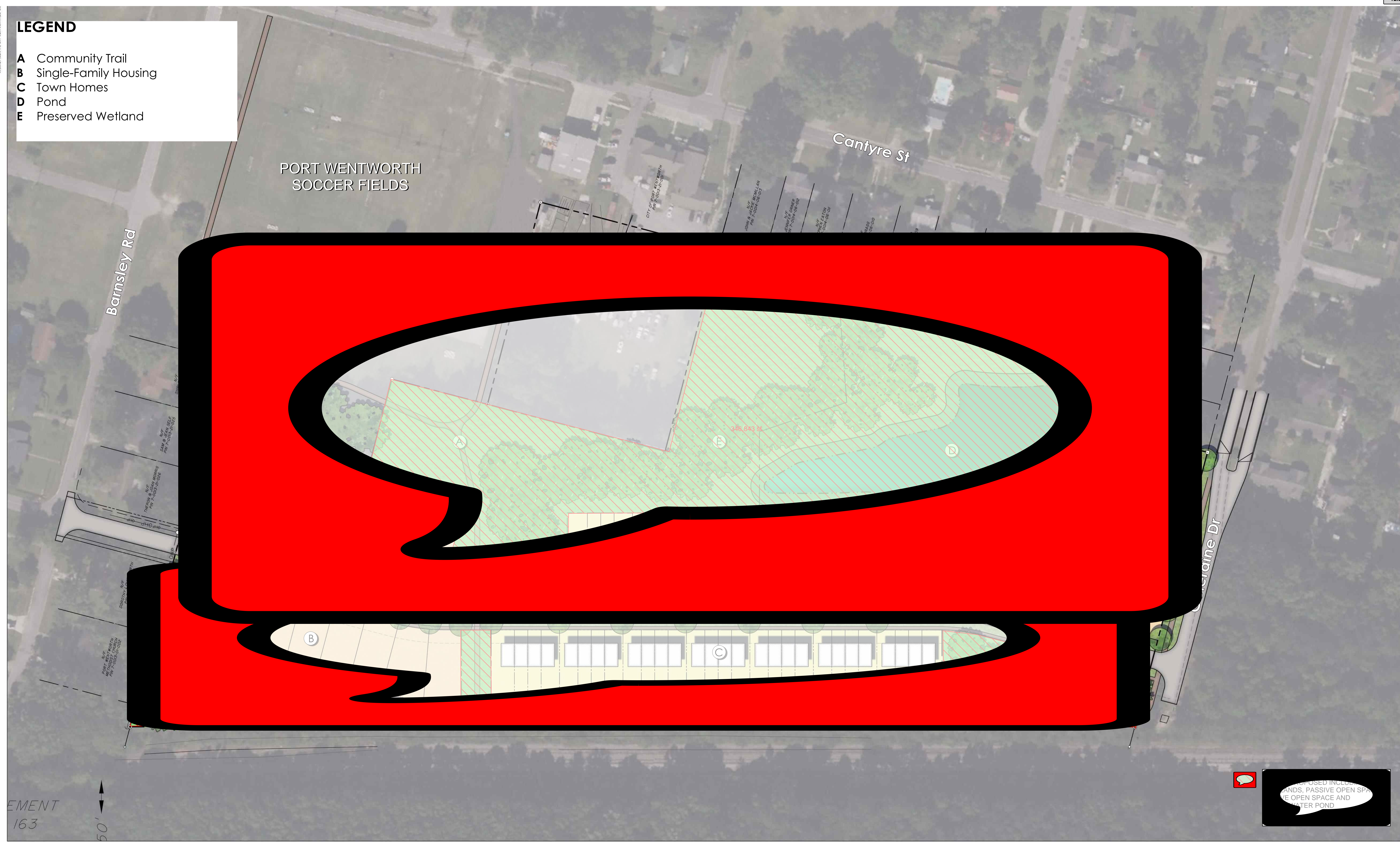
Parcels



Attachment: General-Location-Map (2973 : 2nd Reading Habitat PUD)

LEGEND

- A** Community Trail
- B** Single-Family Housing
- C** Town Homes
- D** Pond
- E** Preserved Wetland



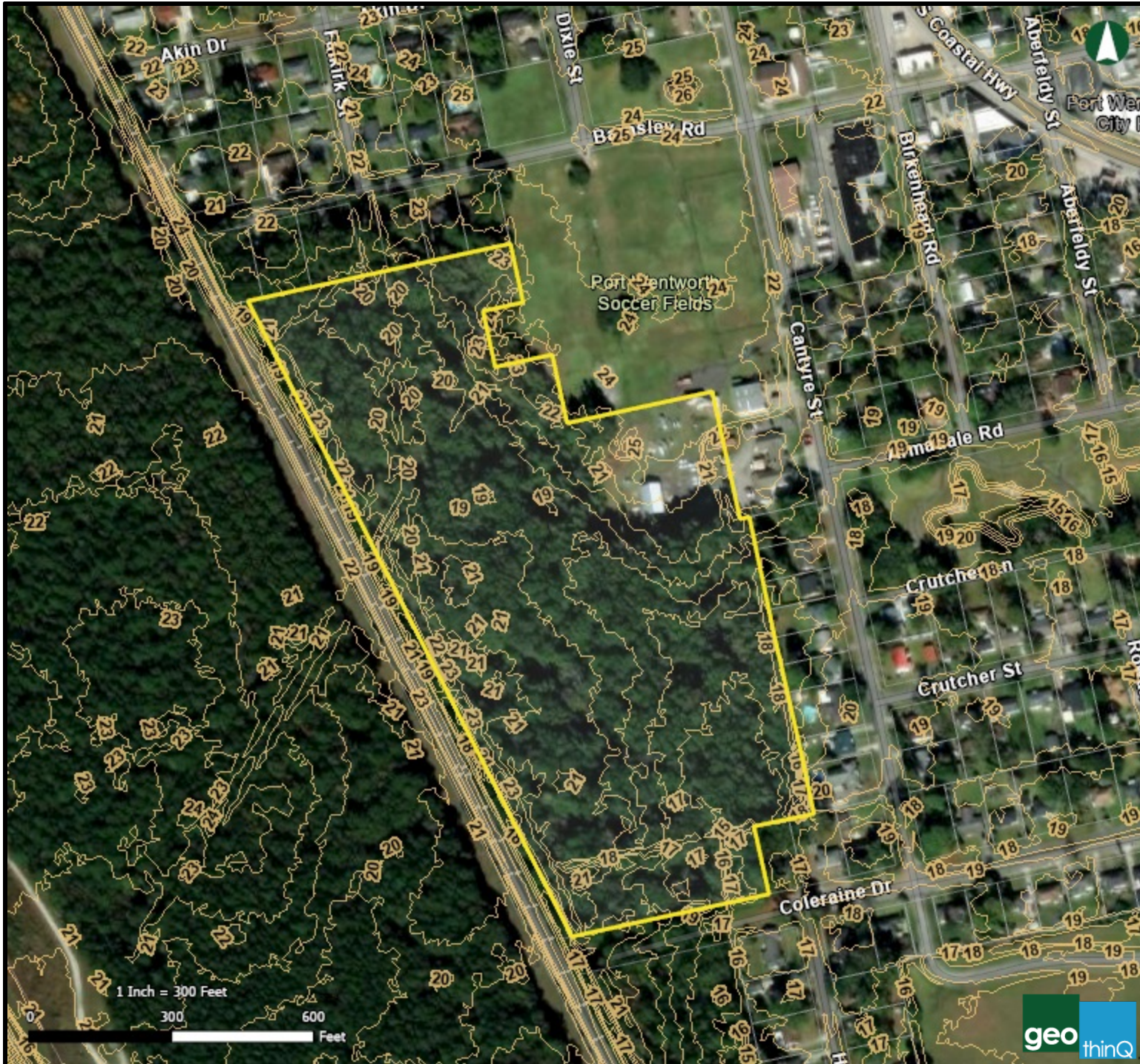
PROPOSED INCLUDES:
LANDS, PASSIVE OPEN SPACE,
OPEN SPACE AND
WATER POND



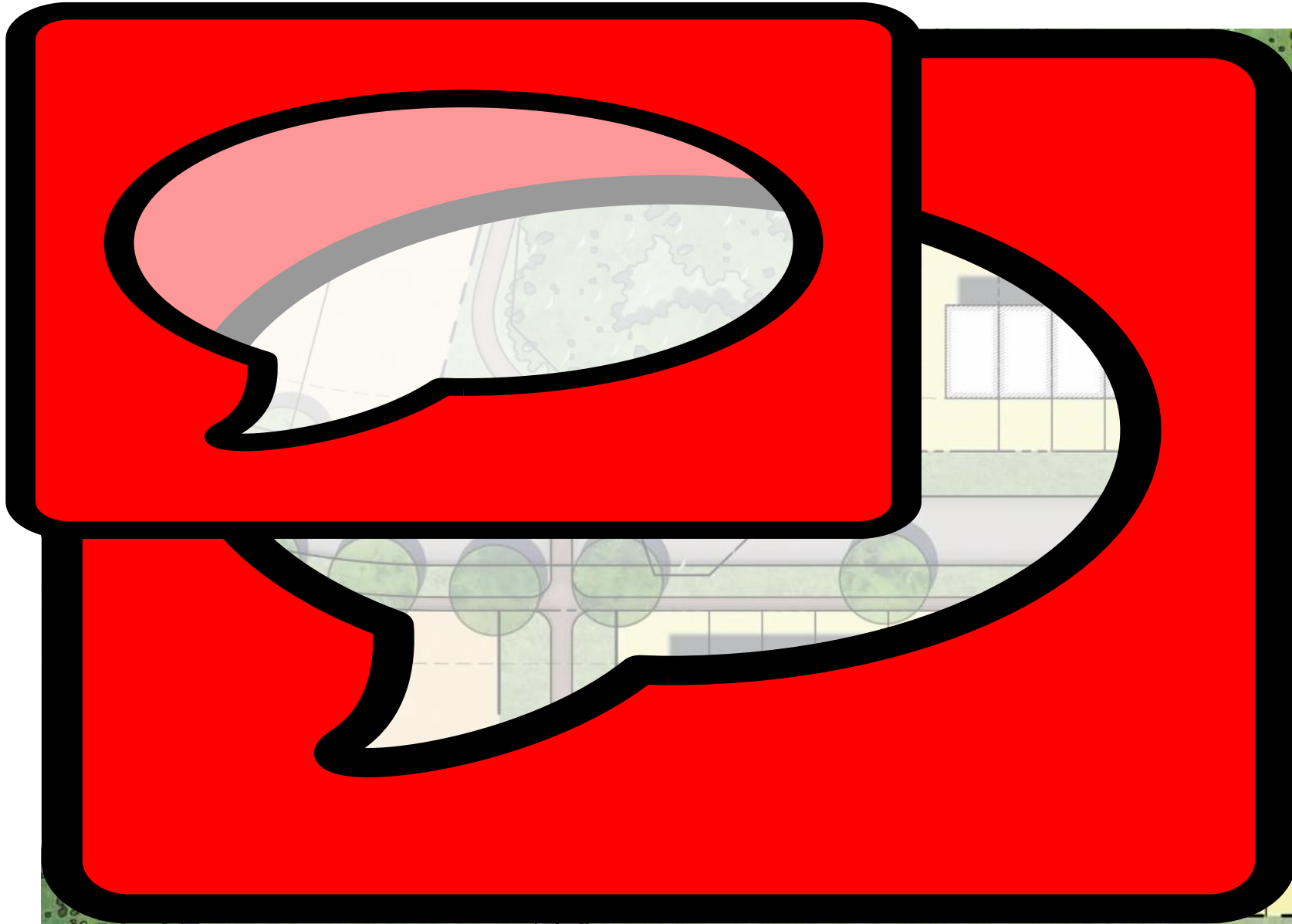
Topographic Map

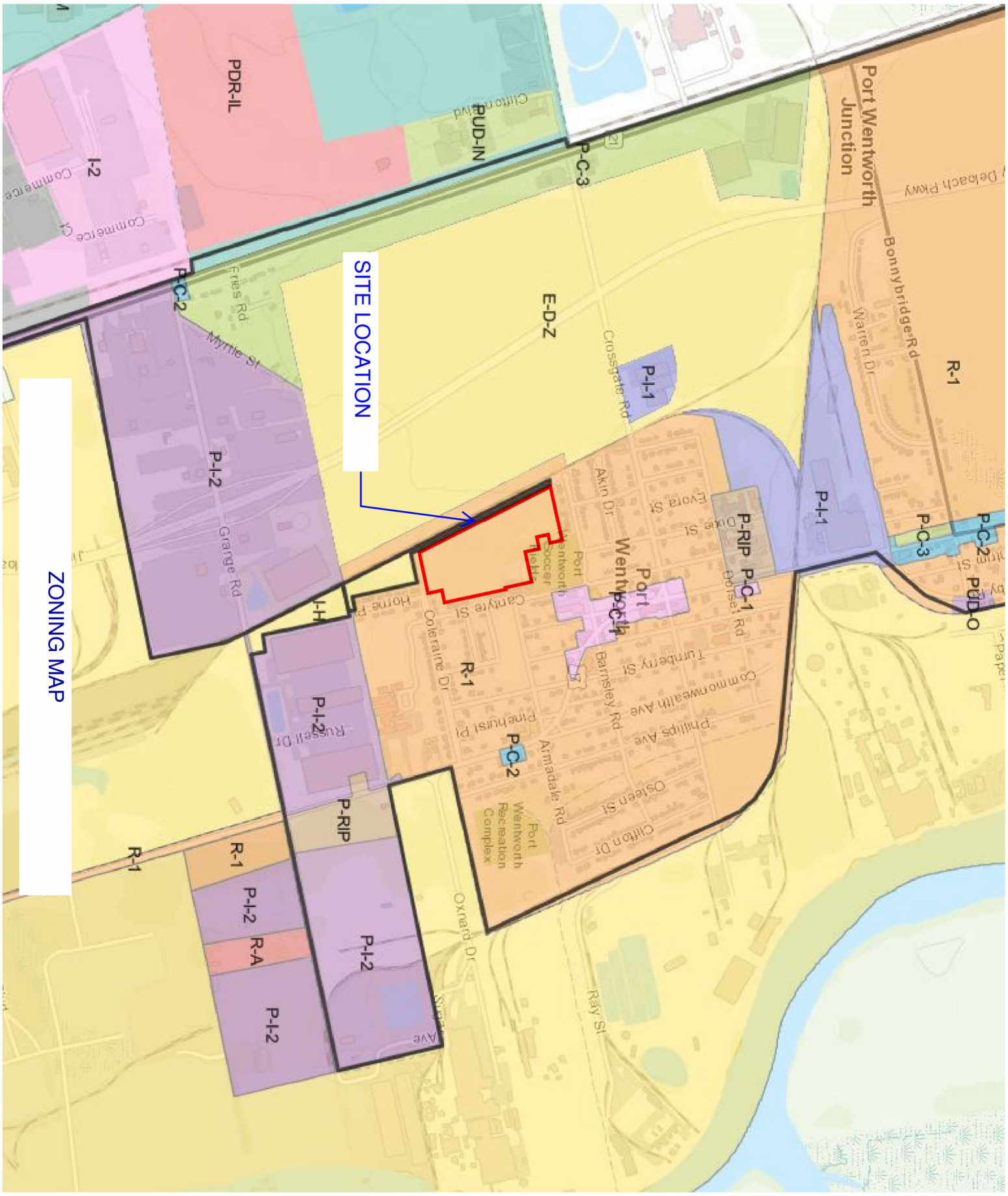
02/15/2024

Parcels



Attachment: Topographic-Map (2973 : 2nd Reading Habitat PUD)





ZONING MAP

SITE LOCATION

Attachment: zoning (1) (2973 : 2nd Reading Habitat PUD)



City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 04/18/24 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID # 2975)

DOC ID: 2975

A Zoning Map Amendment Application has been submitted by Philip R. McCorkle as Agent for SPH-21, LLC, requesting to rezone 24.952 of 45.2 acres from R-1 to R-5, to allow for multifamily residential development. PIN # 7-0976-02-035, located in the 1st Council District, on Saussy Road and Georgia Highway 21.

Issue/Item:

A Zoning Map Amendment Application has been submitted by Philip R. McCorkle as Agent for SPH-21, LLC, requesting to rezone 24.952 of 45.2 acres from R-1 to R-5, to allow for multifamily residential development. PIN # 7-0976-02-035, located in the 1st Council District, on Saussy Road and Georgia Highway 21.

Background:

The applicant requests R-5 zoning for the future development of an apartment community. The complex is proposed to have approximately 308 units.

The (+/-) 20 acres remaining R-1 include 2 acres, with frontage on both Saussy Road and Highway 21, which is the proposed site of a future fire station.

The concept plan shows two access points:

- Saussy Road via easement through the planned fire station parcel
- Highway 21 as right in/right out access

Facts and Findings:

Adjacent properties to the north, south, and west are zoned R-1 and R-5, the parcel to the west contains a profusion of wetlands. The majority of the eastern property line abuts Highway 21.

The 2021-2041 Comprehensive Plan identifies the character area for this parcel as Rural Neighborhood which is partially defined as "rural, undeveloped land with little development pressure for suburban growth". This designation should be considered against:

- Frontage on Highway 21
- Close proximity of commercial and mixed residential uses across Highway 21
- Recent R-5 approval directly across Saussy Road

Included in the Comprehensive Plan's implementation strategies for development within the Rural Neighborhood character area includes identifying "areas appropriate for development and direct(ing) future growth to those areas, while preserving rural areas and communities".

Funding:

N/A

Recommendation:

The proposed rezoning meets applicable zoning criteria, is appropriate to location and neighboring use, and addresses a need for an increase in available housing.

At the April 8, 2024 meeting, the Planning Commissions recommended approval.

ATTACHMENTS:

- ZMA Saussy Rd 70976 02035 Partial Varnedoe Tract 2024-Application (PDF)
- ZMA Saussy Rd 70976 02035 Partial Varnedoe Tract 2024-Legal Description (PDF)
- ZMA Saussy Rd 70976 02035 Partial Varnedoe Tract 2024-APO (PDF)
- ZMA Saussy Rd 70976 02035 Partial Varnedoe Tract 2024-Plat (PDF)
- ZMA Saussy Rd 70976 02035 Partial Varnedoe Tract 2024-Site Plan (PDF)

APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

Applicant: Phillip R. McCorkle Phone # 912-232-6000

Mailing Address: 319 Tattnell Street, Savannah, Georgia 31401

Property Owner: SPH-21, LLC, a Georgia limited liability company Phone # 770-828-2222

Use back if more than one owner

Owner Address: 5 Concourse Parkway, Suite 200, Atlanta, Georgia 30328

PIN #(s): Portion of 7-0976-02-035 # of Acres 24.952

Zoning Classification: Present R-1 Requested R-5

Use of Property: Present Timber Harvesting Requested Apartments

If the requested change is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

X If the requested change is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

This tract is on Highway 21. It is across 21 from a multi-family project that is under construction.

Attach the following documents:

- 1. Written legal description of the property (e.g. copy of deed) – full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of property owners within 300 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale. Submit three (3) copies of in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
4. Site Plan of proposed use of property. Submit three (3) copies in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorizations of Attorney form.
8. Filing fee of \$500.00 + \$50.00 per acre + \$75.00 Administrative Fee, payable to the City of Port Wentworth.

APPLICATION MUST BE FILED 20 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 7th day of March, 2024.

Signature of Applicant

Notary Public



Attachment: ZMA Saussy Rd 70976 02035 Partial Varnedoe Tract 2024-Application (2975 : 1st Reading - Varnadoe Rezone)

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

24.952 Acre portion of P14 7-0976-02-031-

Within the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each campaign contribution.

NONE

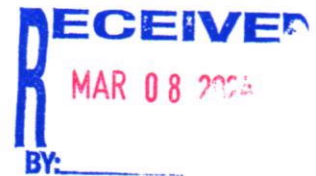
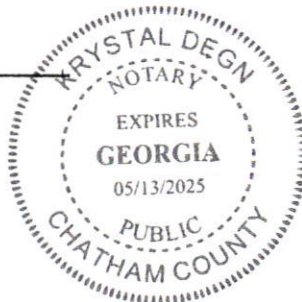
I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this 6th day of March, 2024.

[Handwritten Signature]

Signature of Applicant

[Handwritten Signature]
Notary Public



Attachment: ZMA Saussy Rd 70976 02035 Partial Varnedoe Tract 2024-Application (2975 : 1st Reading - Varnedoe Rezone)

DISCLOSURE OF FINANCIAL INTERESTS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

The undersigned official of the City of Port Wentworth has a property interest (Note 1) in said property as follows:

The undersigned official of the City of Port Wentworth has financial interest (Note 2) in a business entity (Note 3) which has property interest in said property, which financial interests as follows:

The undersigned official of the City of Port Wentworth has a member of the family (Note 4) having a property interest in said property or a financial interest in a business entity which has a property interest in said property, which family member and property interest or financial interest are as follows:

Note 1: Property Interest – Direct ownership of real property, including any percentage of ownership less than total ownership

Note 2: Financial Interest – All direct ownership interest of the total assets or capital stock of a business entity where such ownership interest is 10 percent or more

Note 3: business entity – Corporation, partnership, limited partnership, firm, enterprise, franchise, association or trust

Note 4: Member of family – Spouse, mother, father, brother, sister, son, or daughter

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this _____ day of _____, 20____.

Signature of Official

Notary Public

Updated 8/25/2023

Attachment: ZMA Saussy Rd 70976 02035 Partial Varnedoe Tract 2024-Application (2975 : 1st Reading - Varnadoe Rezone)

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning or Variance

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

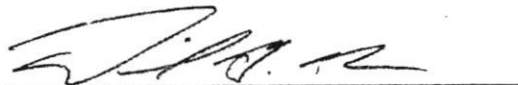
I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Phillip R. McCorkle

Address: 319 Tattnall Street, Savannah, Georgia 31401

Telephone Number: 912-232-7416

SPH 21, LLC,
a Georgia limited liability company



Signature of Owner

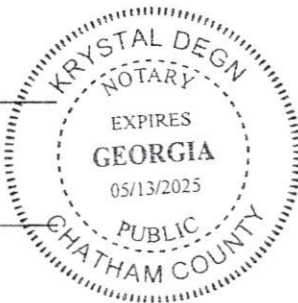
David G. Hanna
Munger

Personally appeared before me

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

Krystal DeGn
Notary Public

2/15/24
Date



Updated 7/13/2023

Attachment: ZMA Saussy Rd 70976 02035 Partial Varnadoe Tract 2024-Application (2975 : 1st Reading - Varnadoe Rezone)

BEGINNING AT A 3" X 3" CONCRETE MONUMENT FOUND ON THE SOUTHWESTERN SIDE OF GEORGIA HIGHWAY 21, BEARING THE HORIZONTAL COORDINATES OF NORTH: 803,412.73', EAST: 955,045.02' (POB 2); THENCE S 74°26'28" W A DISTANCE OF 210.97' TO A 3" X 3" CONCRETE MONUMENT FOUND; THENCE S 18°31'40" E A DISTANCE OF 108.97' TO A 5/8" IRON REBAR FOUND; THENCE S 17°55'48" E A DISTANCE OF 66.75' TO A 3" X 3" CONCRETE MONUMENT FOUND; THENCE S 74°38'59" W A DISTANCE OF 1,135.21' TO A 5/8" IRON REBAR SET; THENCE N 13°46'17" E A DISTANCE OF 1,215.85' TO A 5/8" IRON REBAR SET; THENCE N 76°23'32" E A DISTANCE OF 400.38' TO A 3" X 3" CONCRETE MONUMENT FOUND; THENCE N 13°17'58" W A DISTANCE OF 172.07' TO A 5/8" IRON REBAR SET; THENCE N 76°23'32" E A DISTANCE OF 296.24' TO A 5/8" IRON REBAR SET; THENCE WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 378.77', WITH A RADIUS OF 2,290.03', WITH A CHORD BEARING OF S 13°37'52" E, WITH A CHORD LENGTH OF 378.34', TO A 5/8" IRON REBAR FOUND; THENCE S 18°22'29" E A DISTANCE OF 79.76' TO A 5/8" IRON REBAR FOUND; THENCE N 71°48'25" E A DISTANCE OF 19.91' TO A 5/8" IRON REBAR FOUND; THENCE WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 21.05', WITH A RADIUS OF 2,048.06', WITH A CHORD BEARING OF S 18°07'35" E, WITH A CHORD LENGTH OF 21.05', TO A 6" X 6" RIGHT OF WAY MONUMENT FOUND BROKEN; THENCE S 18°20'27" E A DISTANCE OF 559.57' TO A 3" X 3" CONCRETE MONUMENT FOUND; WHICH IS THE POINT OF BEGINNING (POB 2), HAVING AN AREA OF 1,086,928 SQUARE FEET, OR 24.952 ACRES.

Attachment: ZMA Saussy Rd 70976 02035 Partial Varnedoe Tract 2024-Legal Description (2975 : 1st Reading - Varnedoe Rezone)

Property Owners Within 300 Feet

SPH 21, LLC
 PIN: 70976 02036
 Property Address: Saussy Road
 Mailing Address: 6 Concourse Parkway,
 Suite 200
 Atlanta, Georgia 30328

Joseph N. Harris
 PIN: 70976 02012A
 Property Address: Saussy Road
 Mailing Address: 1920 Arcadian Street
 Savannah, Georgia 31405

Willis H. Floyd
 PIN: 70976 02012
 Property Address: 123 Saussy Road
 Mailing Address: 123 Saussy Road
 Savannah, Georgia 31407

Anthony Foster
 Vanessa McBride
 PIN: 70975 01010
 Property Address: Saussy Road
 Mailing Address: Post Office Box 7531
 Savannah, Georgia 31418

Alexander Hicks III
 PIN: 70976A01025
 Property Address: 7423 Highway 21
 Mailing Address: 7425 Highway 21
 Port Wentworth, Georgia 31407

Bostick Jackson
 PIN: 70976A01020
 Property Address: Augusta Road
 Mailing Address: 362 Saussy Road
 Savannah, Georgia 31407

Richard Bryant
 PIN: 70976A01021
 Property Address: August Road
 Mailing Address: 40 Cottingham Way,
 Pooler, Georgia 31322

Edward Johnson
 David Wilson
 PIN: 70975 02011
 Property Address: 7500 Highway 21
 Mailing Address: 2119 Biscayne Drive
 Savannah, Georgia 31406

Edward Johnson
 PIN: 70975 02012
 Property Address: Highway 21
 Mailing Address: 2127 Mason Drive
 Savannah, Georgia 31404

Fieldstone Group LLC
 PINs: 70975 02015; 70975 02014; 70975
 02013
 Property Address: Highway 21
 Mailing Address: 204 Wiley Bottom Road
 Savannah, Georgia 31411

Port Wentworth Apartment Residences, LLLP
 PIN: 70907 01003
 Property Address: 7450 Highway 21
 Mailing Address: 1545 Peachtree Street NE,
 Suite 245
 Atlanta, Georgia 30303

Alexander Hicks
 PIN: 70976A01019
 Property Address: 7425 Highway 21
 Mailing Address: 7425 Highway 21
 Port Wentworth, Georgia 31407

Glenn A. Steele
 Anthony Steele
 PIN: 70976A01006
 Property Address: Berrien Avenue
 Mailing Address: 207 Stephanie Avenue
 Rincon, Georgia 31326

Viola Hicks, Et al.
PINs: 70976A01024
70976A 01023
Property Address: Augusta Road
Mailing Address: c/o Dwight Douglas Hicks
8613 Gateshead Road
Alexandria, Virginia 22309

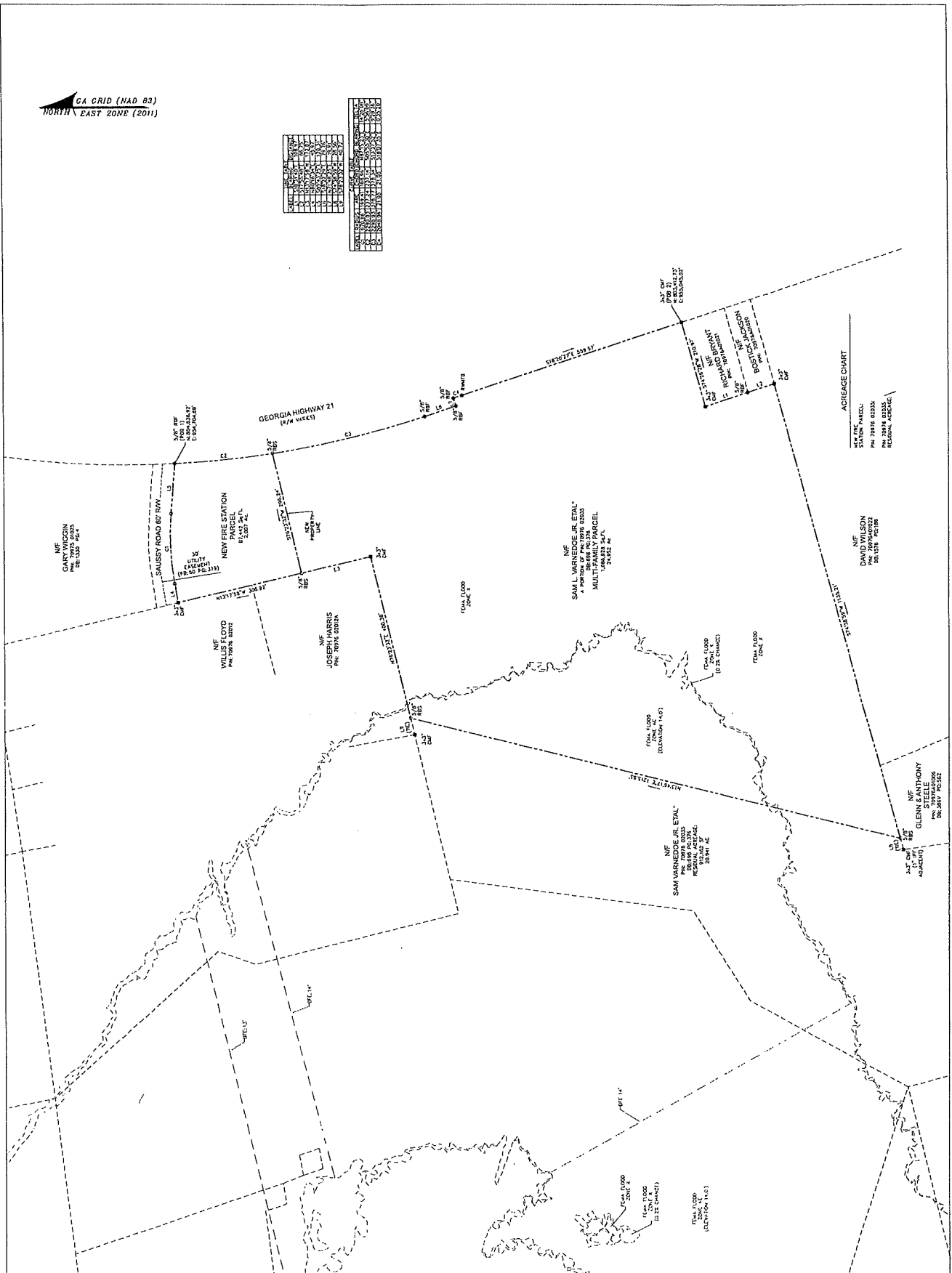
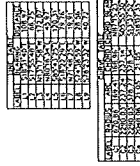
Priscilla Harden
Angela Reed
PIN: 70976A01016
Property Address: 7413 Highway 21
Mailing Address: 7411 US Highway 21
Port Wentworth, Georgia 31407

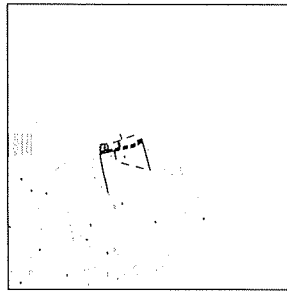
Tonya Yevette Brown
Taneka Beasley
PIN: 70976A01009
Property Address: Berrien Ave
Mailing Address: 503 Belleview Circle N
Beaufort, South Carolina 29902

Edward Johnson
David Wilson
PIN: 70976A01022
Property Address: Augusta Road
Mailing Address: 2119 Biscayne Drive
Savannah, Georgia 31406

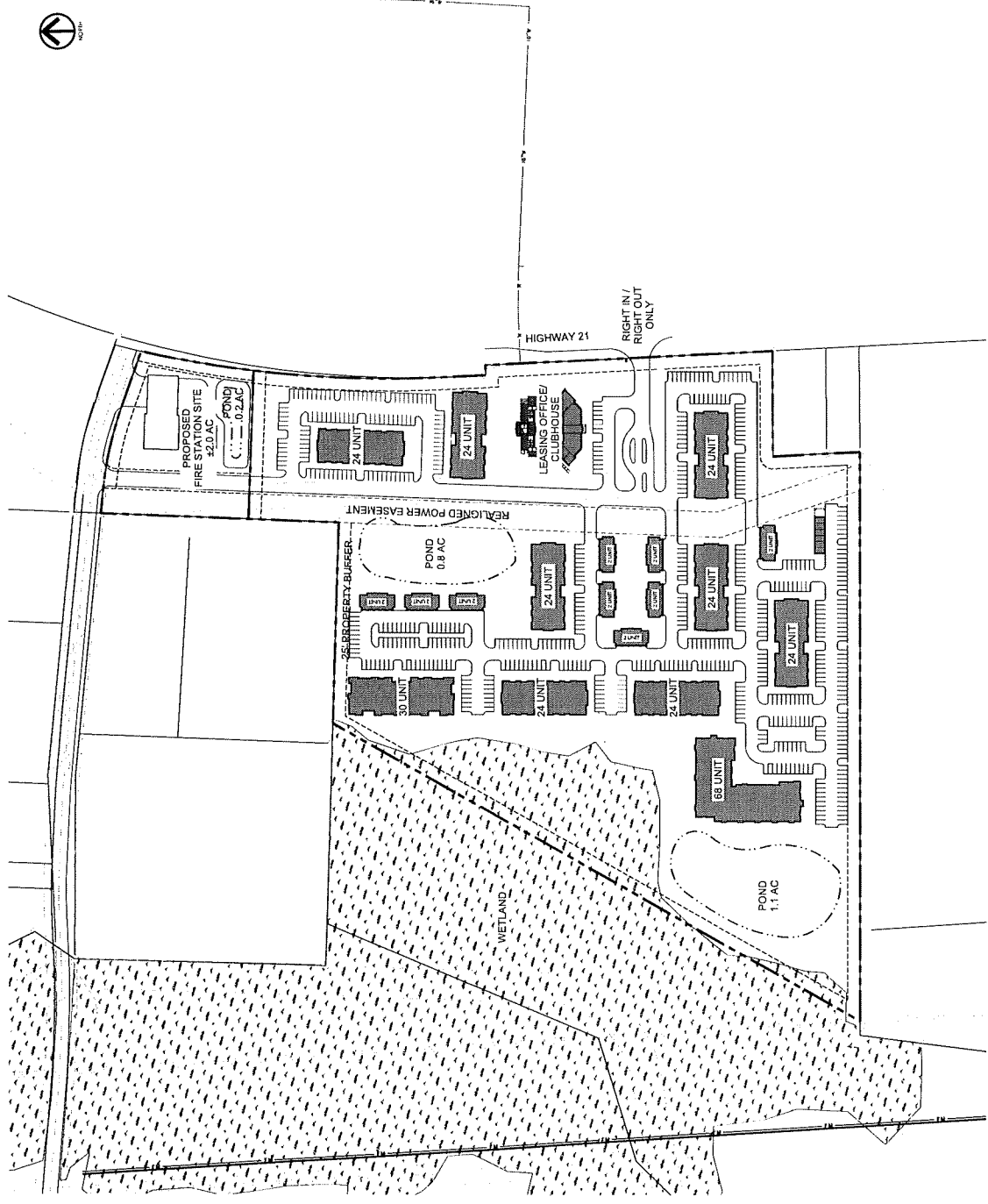
Georgia W. Benton
PIN: 70976 02013
Property Address: 135 Saussy Road
Mailing Address: 135 Saussy Road
Port Wentworth, Georgia 31407

GA CRID (NAD 83)
NORTH EAST ZONE (2011)





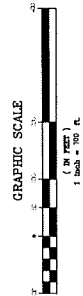
LOCATION MAP
1-2024



DEVELOPMENT SUMMARY:

MULTIFAMILY SITE	TOTAL
308 DU	
APARTMENTS	542 PARKS
PARKING (1.8 PER UNIT)	

	ACREAGE
FIRE STATION	2.0
MULTI FAMILY SITE	235.0
TOTAL	237.0



30 Park of Commerce Way
Savannah, GA 31405 • 912.334.1300
www.thomasdutton.com

As shown, this plan is prepared for informational purposes only. It is not intended to be used for any legal or regulatory purposes. The information herein is provided for informational purposes only and does not constitute an offer of any financial product or service. The information herein is provided for informational purposes only and does not constitute an offer of any financial product or service. The information herein is provided for informational purposes only and does not constitute an offer of any financial product or service.

MULTIFAMILY AND FIRE STATION LAYOUT
VARNEDOE TRACT

PORT WENTWORTH, GEORGIA
MARCH 7, 2024

REPAID FCP
SPH 21, LLC



City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 04/18/24 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID # 2976)

DOC ID: 2976

A Zoning Map Amendment Application has been submitted by Yash Development, LLC as Agent for William Grainger and Yash Desai Development, LLC, requesting to rezone 11.87 acres from R-1 to C-1, to allow for multifamily development with retail. PINs # 7-0976-01-004, 7-0976-01-005, located in the 1st Council District at 920 and 924 Highway 30.

Issue/Item:

A Zoning Map Amendment Application has been submitted by Yash Development, LLC as Agent for William Grainger and Yash Desai Development, LLC, requesting to rezone 11.87 acres from R-1 to C-1, to allow for multifamily development with retail. PINs # 7-0976-01-004, 7-0976-01-005, located in the 1st Council District at 920 and 924 Highway 30.

Background:

- The applicant requests C-1 zoning for a proposed development featuring approximately 264 apartments varying in size from 1-3-bedroom units.
- The three buildings with frontage on Highway 30 will be multi-use, with a combined 12,000 sq. ft. of commercial space on the ground floor and apartment units above.
- There are two proposed access points to Highway 30 on each side of the development.
- There is a 100' x 100' cell tower located at the north of the property. This, plus a 30' access on the eastern property boundary, are part of a 2014 Verizon lease agreement. There are no buildings proposed within the immediate vicinity of the tower.
- Adjacent properties to the north, east, and west are within the R-1 zoning district. The southern boundary is adjacent to Highway 30, with R-4 zoning on the other side of the ROW (Lakeshore Subdivision).

Facts and Findings:

- The City of Port Wentworth Code of Ordinances describes the intent of the C-1 zoning district as: *"intended to encourage and accommodate a walkable downtown area with storefronts on the ground story and upper story residential, local market retail, personal services, restaurants, entertainment, offices, and professional services. Sites are located near the established commercial core of the Old Town area of the City of Port Wentworth. Characteristics of uses and land in C-1 include daytime and early evening operations, smaller-scale and mixed-use buildings, sidewalk sales, and on-street parking."*
 - C-1 zoning is the lowest intensity commercial designation, which is preferable for proximity to existing residential.
 - The majority of the proposed use is residential, commercial use will be limited to the southern-most area of the property, which is adjacent to Highway 30.
- The 2021-2041 Comprehensive Plan identifies the character area for this parcel as Suburban which is partially defined as "where typical types of suburban residential subdivision have occurred or will occur in the future."
 - The Character Area Map identifies a majority of the western portion of Port Wentworth

as "Suburban".

- Staff observation is that this amount of suburban development benefits from the support of accessible neighborhood service type commercial activity.
- The Comprehensive Plan's implementation strategies for development within the Suburban character area include:
 - The allowance for "neighborhood scale mixed uses"
 - Preservation of trees
 - Varying housing types and residential densities

Funding:

N/A

Recommendation:

The proposed rezoning meets applicable zoning criteria and is consistent with intended use as described in the Comprehensive Plan.

ATTACHMENTS:

- ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-App(Incomplete) (PDF)
- ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Limited Warranty Deed (PDF)
- ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Warranty Deed (PDF)
- ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-APO(CSV)
- ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Sagis Map Views (PDF)
- ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Plat (PDF)
- ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Site Plan (PDF)



APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

Applicant: Grainger William L & Yash Development LLC Phone # 912-272-5857
Mailing Address: 12 Shady Grove Court, Savannah GA 31419
Property Owner: Grainger William & Yash Development LLC Phone #
Use back if more than one owner
Owner Address: 12 Shady Grove Court, Savannah GA 31419
PIN #'s): 70976 01004 & 70976 01005 # of Acres 2.64 + 9.23 = 11.87 Acres

Zoning Classification: Present R-A Requested C-1
Use of Property: Present Requested

If the requested change is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

If the requested change is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

Attach the following documents:

- 1. Written legal description of the property (e.g. copy of deed) - full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of property owners within 300 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale. Submit three (3) copies of in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
4. Site Plan of proposed use of property. Submit three (3) copies in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorizations of Attorney form.
8. Filing fee of \$500.00 + \$50.00 per acre + \$75.00 Administrative Fee, payable to the City of Port Wentworth.

APPLICATION MUST BE FILED 20 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 15 day of March, 2024

Signature of Applicant

Notary Public signature



Notary Public

Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-App(Incomplete) (2976 : 1st Reading - Yash Dev. Rezoning)

DISCLOSURE OF FINANCIAL INTERESTS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

N/A

The undersigned official of the City of Port Wentworth has a property interest (Note 1) in said property as follows:

N/A

The undersigned official of the City of Port Wentworth has financial interest (Note 2) in a business entity (Note 3) which has property interest in said property, which financial interests as follows:

N/A

The undersigned official of the City of Port Wentworth has a member of the family (Note 4) having a property interest in said property or a financial interest in a business entity which has a property interest in said property, which family member and property interest or financial interest are as follows:

Note 1: Property Interest – Direct ownership of real property, including any percentage of ownership less than total ownership

Note 2: Financial Interest – All direct ownership interest of the total assets or capital stock of a business entity where such ownership interest is 10 percent or more

Note 3: business entity – Corporation, partnership, limited partnership, firm, enterprise, franchise, association or trust

Note 4: Member of family – Spouse, mother, father, brother, sister, son, or daughter

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this 1st day of March, 2024

[Handwritten Signature]

Signature of Official



Notary Public

Updated 8/25/2023

Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-App(Incomplete) (2976 : 1st Reading - Yash Dev. Rezone)

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

Within the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each campaign contribution.

N/A

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this
1st day of March, 2024.

[Signature]
Signature of Applicant

[Signature]
Notary Public



Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-App(Incomplete) (2976 : 1st Reading - Yash Dev. Rezone)

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning or Variance

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Annette Hickney

Address: P. O. Box 7267 Garden City GA 31418

Telephone Number: 912-272-5857

Annette Hickney
Signature of Owner

Personally appeared before me

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

[Signature]
Notary Public

March 1, 2024
Date



Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-App(Incomplete) (2976 : 1st Reading - Yash Dev. Rezone)

Type: WD
Kind: WARRANTY DEED
Recorded: 9/10/2021 1:37:00 PM
Fee Amt: \$360.00 Page 1 of 4
Transfer Tax: \$335.00
Chatham, Ga. Clerk Superior Court
Tammie Mosley Clerk Superior Court

Participant ID(s): 6244704200,
7067927936

BK 2525 PG 173 - 176

AFTER RECORDING RETURN TO:
Hunter, Maclean, Exley & Dunn, P.C.
200 E. St. Julian Street, P.O. Box 9848
Savannah, GA 31401
Attn: Joshua Yellin
File No.: 24178-1

STATE OF GEORGIA

COUNTY OF CHATHAM

LIMITED WARRANTY DEED

THIS INDENTURE, made this 10th day of September, 2021, between Arthur E. Sheffield (hereinafter referred to as "Grantor"), and Yash Development, LLC, a Georgia limited liability company (hereinafter referred to as "Grantee"),

WITNESSETH:

For and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration delivered to Grantor by Grantee at and before the execution, sealing and delivery hereof, the receipt and sufficiency of which are hereby acknowledged, Grantor has and hereby does grant, bargain, sell, alien, convey and confirm unto Grantee, and the heirs, legal representatives, successors, successors-in-title and assigns of Grantee, all that tract or parcel of land lying and being in Chatham County, Georgia, as more particularly described on Exhibit A attached hereto and hereby made a part hereof.

To have and to hold said tract or parcel of land, together with any and all improvements located thereon, and any and all of the rights, members and appurtenances thereof to the same being, belonging or in anywise appertaining to the only proper use, benefit and behoof of Grantee and the heirs, legal representatives, successors-in-title and assigns of Grantee, forever, in fee simple.

Grantor shall warrant and forever defend the right and title to said tract or parcel of land unto Grantee and the heirs, legal representatives, successors-in-title and assigns of Grantee, against the claims of all persons whomsoever claiming by, through or under Grantor, excepting those matters listed as permitted title exceptions as set forth on Exhibit B attached hereto and hereby made a part hereof.

[SIGNATURE PAGE TO FOLLOW]

Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Limited Warranty Deed (2976 : 1st Reading - Yash Dev. Rezone)

GRANTOR'S SIGNATURE PAGE TO LIMITED WARRANTY DEED

IN WITNESS WHEREOF, Grantor has signed, sealed and delivered this deed the day and year first above written.

GRANTOR:

Signed, sealed and delivered in the presence of: Arthur E. Sheffield:

[Signature]
Unofficial Witness

Arthur E. Sheffield (L.S.)

[Signature]
Notary Public
My Commission Expires: 7/1/2022

(AFFIX NOTARIAL SEAL)



Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Limited Warranty Deed (2976 : 1st Reading - Yash Dev. Rezone)

**EXHIBIT A
LEGAL DESCRIPTION OF PROPERTY**

All those certain lots, tracts or parcels of land situate, lying and being in the 8th G. M. District of Chatham County, Georgia, on the Northern side of the Monteith-Pineora Road comprising fifteen (15) acres, more or less, and known as all of Lot Number Two (2) and the western two hundred and thirty (230) feet of Lot Number Three (3) of a subdivision of the Northern portion of the Lamar Keller Tract as shown upon that certain map made by Robert D. Gignilliat dated August 13, 1934, and recorded in the office of the Clerk of the Superior Court of Chatham County, Georgia, in Map Book 2, Folio 300, said lot and portion of lot being contiguous and, as a whole, having a frontage of seven hundred and sixty-six (766) feet on the Northern side of said Monteith-Pineora Road and being bounded Northwardly by lands of Lafayette McLaws, Eastwardly by the remaining portion of said lot Number Three (3), Southwardly by the Monteith-Pineora Road and Westwardly by Lot Number One (1) in said subdivision.

TOGETHER WITH

A 30-foot wide ingress-egress and utility easement lying and being in the 8th G. M. District of the City of Port Wentworth, Chatham County, Georgia, being more particularly described as follows:

To find the point of beginning, commence at the centerline intersection of Springwater Drive and Georgia State Highway 30; thence leaving said Intersection and running along a tie line, North 53°52'30" West, 185.39 feet to a concrete monument found in the northerly right-of-way line of Georgia State Highway 30; thence along said northerly right-of-way line of Georgia State Highway 30, North 72°22'43" West, 30.00 feet to a point and the true POINT OF BEGINNING; Thence leaving said northerly right-of-way line of Georgia State Highway 30 and running, North 17°36'19" East, 574.99 feet to a point: Thence, North 35°40'48" West, 149.70 feet to The ENDING at a point.

AND

The 2.64 acre tract conveyed to Milton Exley Rahn and Udell Wells Rahn by Warranty Deed dated December 26, 1969, and recorded in the Office of the Clerk of Superior Court of Chatham County, Georgia in Record Book 97 D, Folio 92.

As shown in a survey prepared for Verizon Wireless by Point to Point Land Surveyors, Inc., dated April 17, 2013 and last revised May 7, 2013.

LESS AND EXCEPT

The Three (3) acre tract conveyed to Franklin Douglas Ledbetter, Sr., by Warranty Deed dated December 12, 1965, and recorded in the Office of the Clerk of Superior Court of, Chatham County, Georgia in record book 89 Z, Folio 392 .

Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Limited Warranty Deed (2976 : 1st Reading - Yash Dev. Rezone)

**EXHIBIT B
PERMITTED EXCEPTIONS**

1. Matters as shown on that certain plat recorded in Map Book 2, Page 300, Chatham County, Georgia records.
2. Terms and conditions of that certain lease by and between Arthur E. Sheffield as lessor and Verizon Wireless of the East LP as lessee as referenced in that certain Memorandum of Land Lease Agreement dated October 8, 2013 and recorded in Deed Book 417, Page 373, Chatham County, Georgia records. NOTE: Lease contains a first right of refusal and an easement.
3. Underground easement to Georgia Power Company dated November 5, 2014 and recorded in Deed Book 405, Page 672, Chatham County, Georgia records.

Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Limited Warranty Deed (2976 : 1st Reading - Yash Dev. Rezone)

Clock#: 286844
FILED FOR RECORD

7/10/2002 03:23

PAID: 12.00

Susan D. Frouse, Clerk
Superior Court of Chatham County
Chatham County, Georgia

Real Estate Transfer Tax

PAID \$461.00

[Signature]
For Clerk of Superior Court

Prepared by:
ROBERT W. GALLOWAY & ASSOCIATES, P.C.
842 West Highway 80 - Post Office Box 874
Pooler, Georgia 31322
RWG File: 02-117-R

STATE OF GEORGIA
COUNTY OF CHATHAM

237 p BOOK
425 PAGE

WARRANTY DEED

This indenture is made on June 13th, 2002, between **Joe Robert Wells, Nadine Wells Sims and Diane Wexel, as Executor of the Estate of James Fitts Wells**, as Parties of the First Part, hereinafter called Grantors; and **William L. Grainger**, as Party of the Second Part, hereinafter called Grantee, (the words Grantors and Grantee to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH:

Grantors, for and in consideration of the sum of Ten and no/100ths Dollars, and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, have granted, bargained, sold, aliened, conveyed and confirmed, and by these presents do grant, bargain, sell, alien, convey and confirm unto the said Grantee, the following described property, to-wit:

All that certain lot, tract or parcel of land situate, lying and being in the 8th G.M. District of CHATHAM County, Georgia, located on the Northern side of the Monteith-Pineora Road and being known as **A 2.64 ACRE PORTION OF THE REMAINING EASTERN PART OF LOT TWO (2) OF THE NORTHERN PART OF THE LAMAR KELLER TRACT**, as recorded in Map Book 2, Folio 300, in the Office of the Clerk of Superior Court of Chatham County, Georgia; all as shown on that certain map or plat of said 2.64 Acre Portion made by Leigh Gignilliat, Registered Survey, for Milton Exley Rahn and Udell Wells Rahn on January 27, 1970, a copy of which is recorded in the Office of the Clerk of Superior Court of CHATHAM County, Georgia in Plat Record Book T, Folio 257.

For a more particular description, reference is hereby made to the aforesaid map or plat, which is specifically incorporated herein and made a part hereof. This conveyance is made subject to all zoning ordinances, easements, restrictions and rights-of-way of record affecting said described property.

Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Warranty Deed (2976 : 1st Reading - Yash Dev. Rezone)

To Have and To Hold the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining to the only proper use, benefit and behoof of the said Grantee forever in Fee Simple.

The Grantors expressly covenant that said Grantors are seized of said property in good fee simple title and that Grantors have the full right, power and authority to convey the same; that the said property and the Grantors thereof are free and clear of any liens, claims or encumbrances whatever whereby the title to said described property may in anywise be charged, changed, impaired or defeated and the Grantors will forever Warrant and Defend the said premises against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantors have hereunto set their hands and seals on the day and year first above written.

BOOK PAGE
237 P 426

Signed, Sealed and Delivered in the presence of:

Deborah L. Brook
Witness

Joe R Wells
Joe Robert Wells

Nadine Wells Sims
Nadine Wells Sims



Signed, Sealed and Delivered in the presence of:

Deborah L. Brook
Witness

Diane Wexel
Diane Wexel, as Executor of the Estate of James Fitts Wells

Lisa A. Brown
Notary Public, My Commission expires: Notary Public, Chatham County, Georgia My Commission Expires September 7, 2003

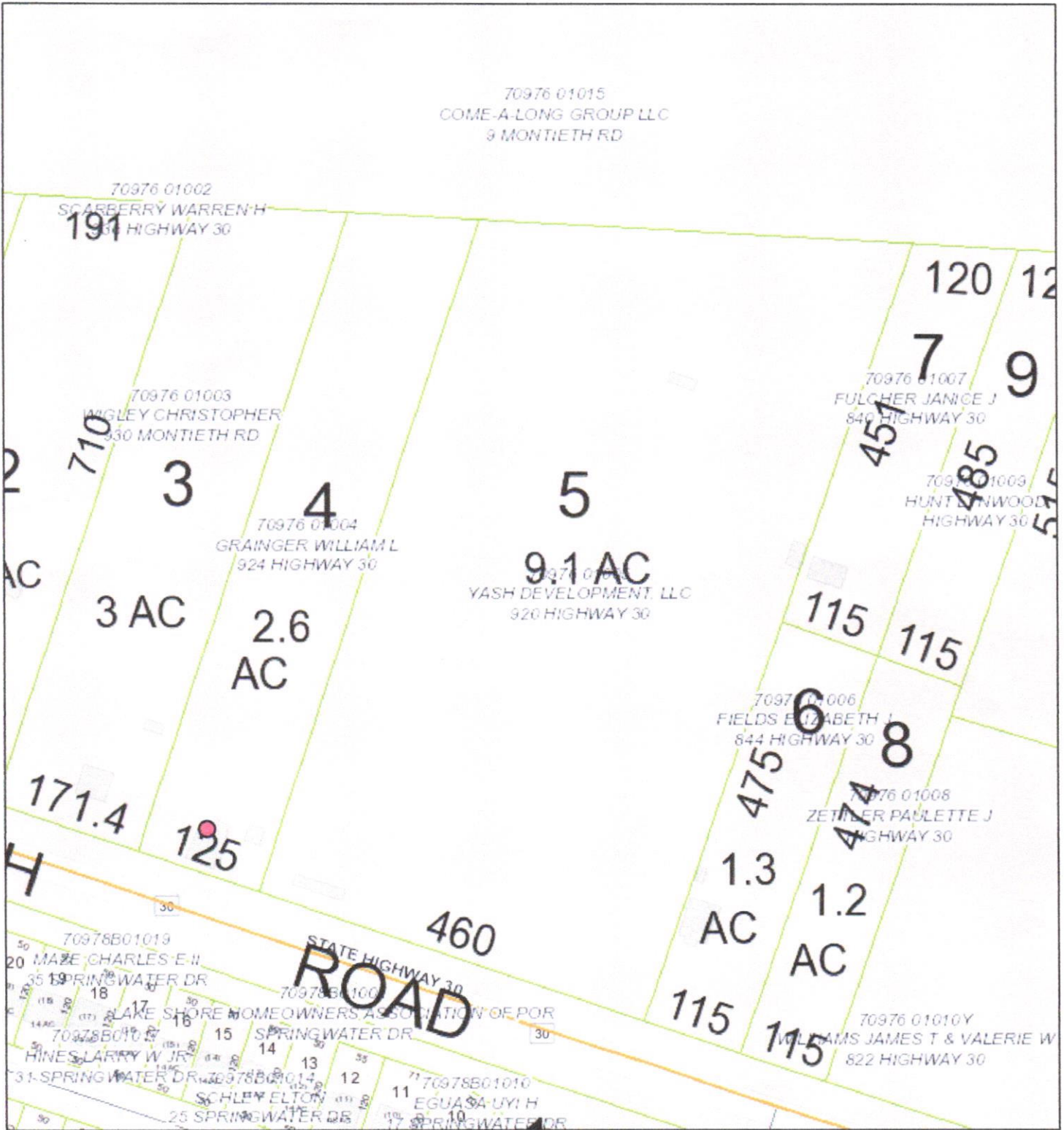


Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Warranty Deed (2976 : 1st Reading - Yash Dev. Rezone)

PIN	Owner	Mailing Add	City	State	Zip
70976 010	(WARREN H	936 HIGHW	PORT WEN	GA	31407
70976 010	(CHRISTOP	349 SPANT	POOLER	GA	31322
70976 010	(WILLIAM L	(P O BOX 72	GARDEN CI	GA	31418
70976 010	(YASH DEVE	12 SHADY	(SAVANNAH	GA	31419
70976 010	(ELIZABETH	721 LITTLE	SAVANNAH	GA	31419
70976 010	(JANICE J	FL 243 MOCK	SPRINGFIE	GA	31329
70976 010	(PAULETTE J	920 RAHN	(RINCON	GA	31326
70976 010	(LYNWOOD	C/O JANICE	GUYTON	GA	31312
70976 010	(JAMES T &	\ PO BOX 32	POOLER	GA	31322
70976 010	(COME-A-LC	120 TALL PI	GREENWO	SC	29646
70978B01C	(LAKE SHOR	2680 QUAC	POOLER	GA	31322
70978B01C	(JON L KILP	/ 9 SPRINGW	PORT WEN	GA	31407
70978B01C	(DOMINIQU	11 SPRING	PORT WEN	GA	31407
70978B01C	(RONNIE WI	1013 HEAR	SAVANNAH	GA	31415
70978B01C	(JULIE A HE	15 SPRING	PORT WEN	GA	31407
70978B01C	(UYI H EGU	/ 17 SPRING	PT WENTW	GA	31407
70978B01C	(COREY & T	/ 19 SPRING	PT WENTW	GA	31407
70978B01C	(ANTHONY /	21 SPRING	PORT WEN	GA	31407
70978B01C	(SHERI SALE	23 SPRING	PORT WEN	GA	31407
70978B01C	(ELTON SC	/ 25 SPRING	PORT WEN	GA	31407
70978B01C	(DEDRIC A	& 27 SPRING	PORT WEN	GA	31407
70978B01C	(ALEXANDE	29 SPRING	PORT WEN	GA	31407
70978B01C	(LARRY W J	F 31 SPRING	PORT WEN	GA	31407
70978B01C	(QUINCY PU	33 SPRING	PT WENTW	GA	31407
70978B01C	(CHARLES E	35 SPRING	PT WENTW	GA	31407
70978B01C	(AH4R PROF	23975 PARI	CALABASA	CA	91302
70978B01C	(STEPHAN	D 320 ARCH	IIGOOSE	CRISC	29445
70978B01C	(SHANNON	41 SPRING	PORT WEN	GA	31407
70978B01C	(DANIELLE	J 43 SPRING	PT WENTW	GA	31407
70978B01C	(NISHIKA C.	126 MCINT	SAVANNAH	GA	31405
70978B04C	(LAKE SHOR	6 LAUREL L	PORT WEN	GA	31407

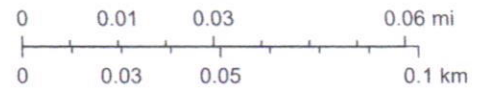
Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-APO (2976 : 1st Reading - Yash Dev. Rezone)

SAGIS Map Viewer



3/3/2024, 10:40:16 PM

1:2,257



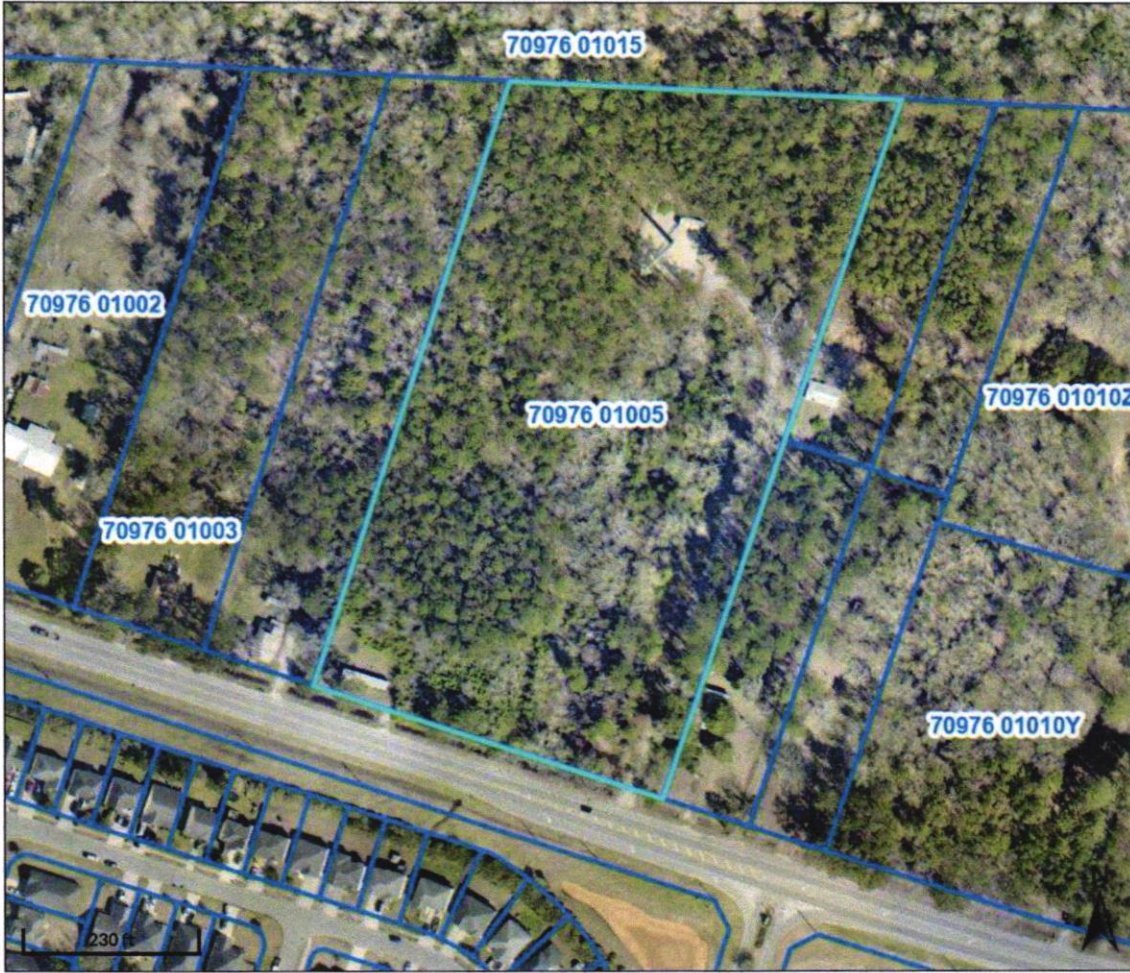
- Local Roads
- Major Roads
- Parkways
- Interstate
- Local Roads
- Major Roads
- Parkways
- Libraries
- Community Centers
- Owner, PIN and Address Labels
- Property Boundaries (Parcels)

SAGIS, Esri Community Maps Contributors, Savannah Area GIS, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Sagis Map Views (2976 : 1st Reading - Yash Dev. Rezone)



Chatham County, GA



Overview



Legend

- Parcels
- Water
- Wetlands - NWI**
- <Null>
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Riverine

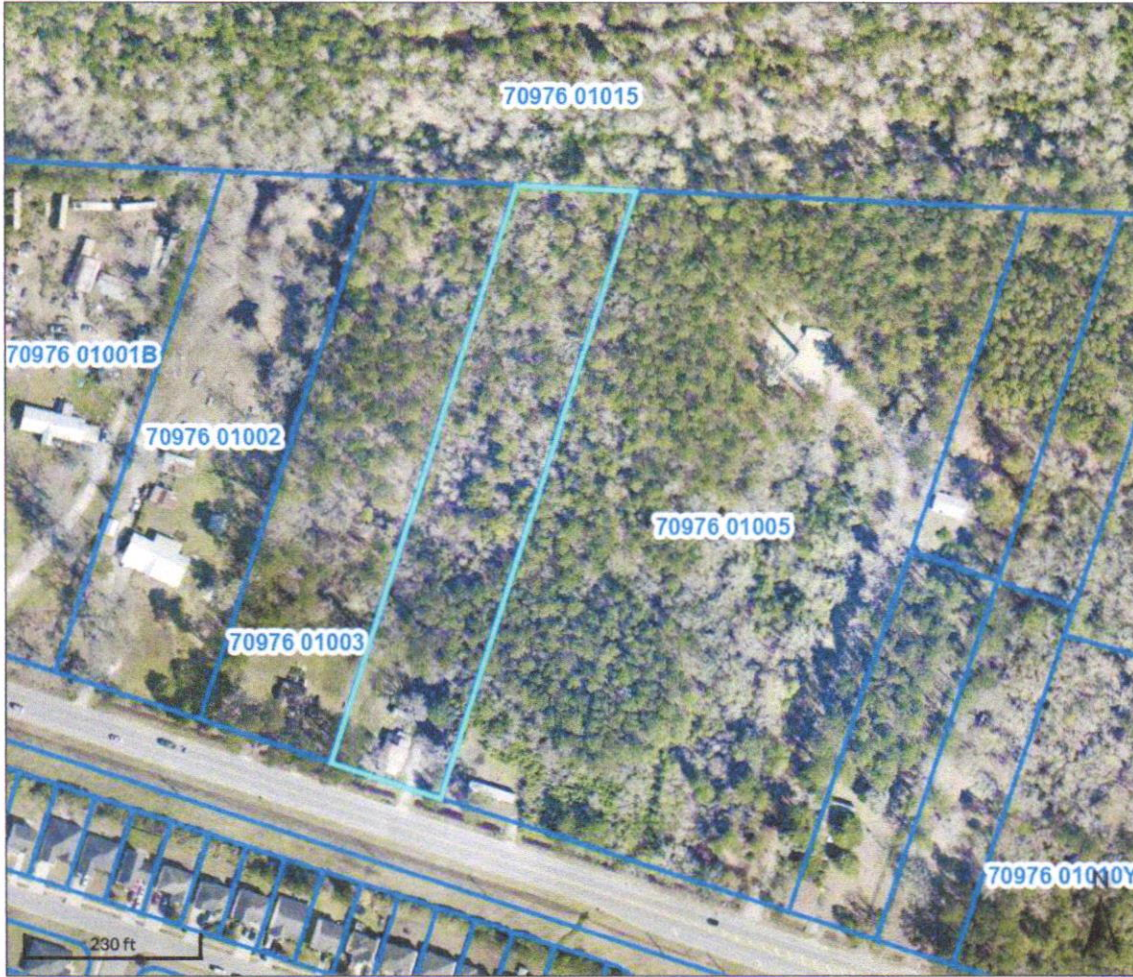
Parcel ID	70976 01005	Alternate ID	3013818	Owner Address	YASH DEVELOPMENT, LLC
Sec/Twp/Rng	0--	Class	R4 - Residential Small Tracts		12 SHADY GROVE COURT
Property Address	920 HIGHWAY 30	Acreage	9.1		SAVANNAH, GA 31419
	PORT WENTWORTH				
District	(070) PORT WENTWORTH				
Brief Tax Description	PT OF E PT OF LOT 2 PT OF LOT 3 N PT OF KELLER TCT				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 3/3/2024
 Last Data Uploaded: 3/3/2024 3:00:40 AM

Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Sagis Map Views (2976 : 1st Reading - Yash Dev. Rezone)



Chatham County, GA



Overview



Legend

- Parcels
- Water
- Wetlands - NWI**
- <Null>
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Riverine

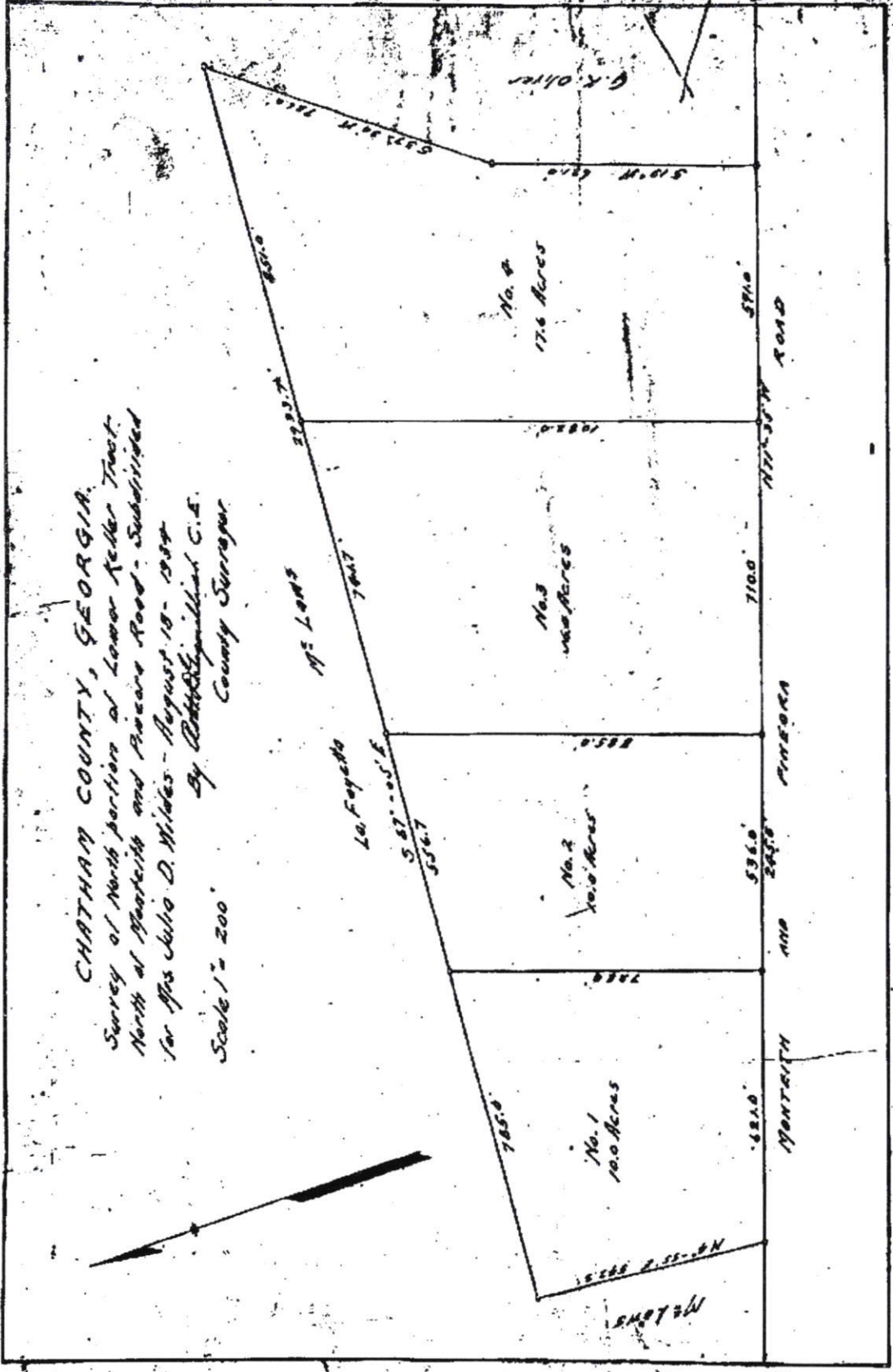
Parcel ID	70976 01004	Alternate ID	3013817	Owner Address	GRAINGER WILLIAM L
Sec/Twp/Rng	0--	Class	R3 - Residential Lots		P O BOX 7267
Property Address	924 HIGHWAY 30	Acreage	2.6		GARDEN CITY, GA 31418
	PORT WENTWORTH				
District	(070) PORT WENTWORTH				
Brief Tax Description	PORTION OF E PT OF LOT 2 OF N PT OF LAMAR KELLER T CT				
	(Note: Not to be used on legal documents)				

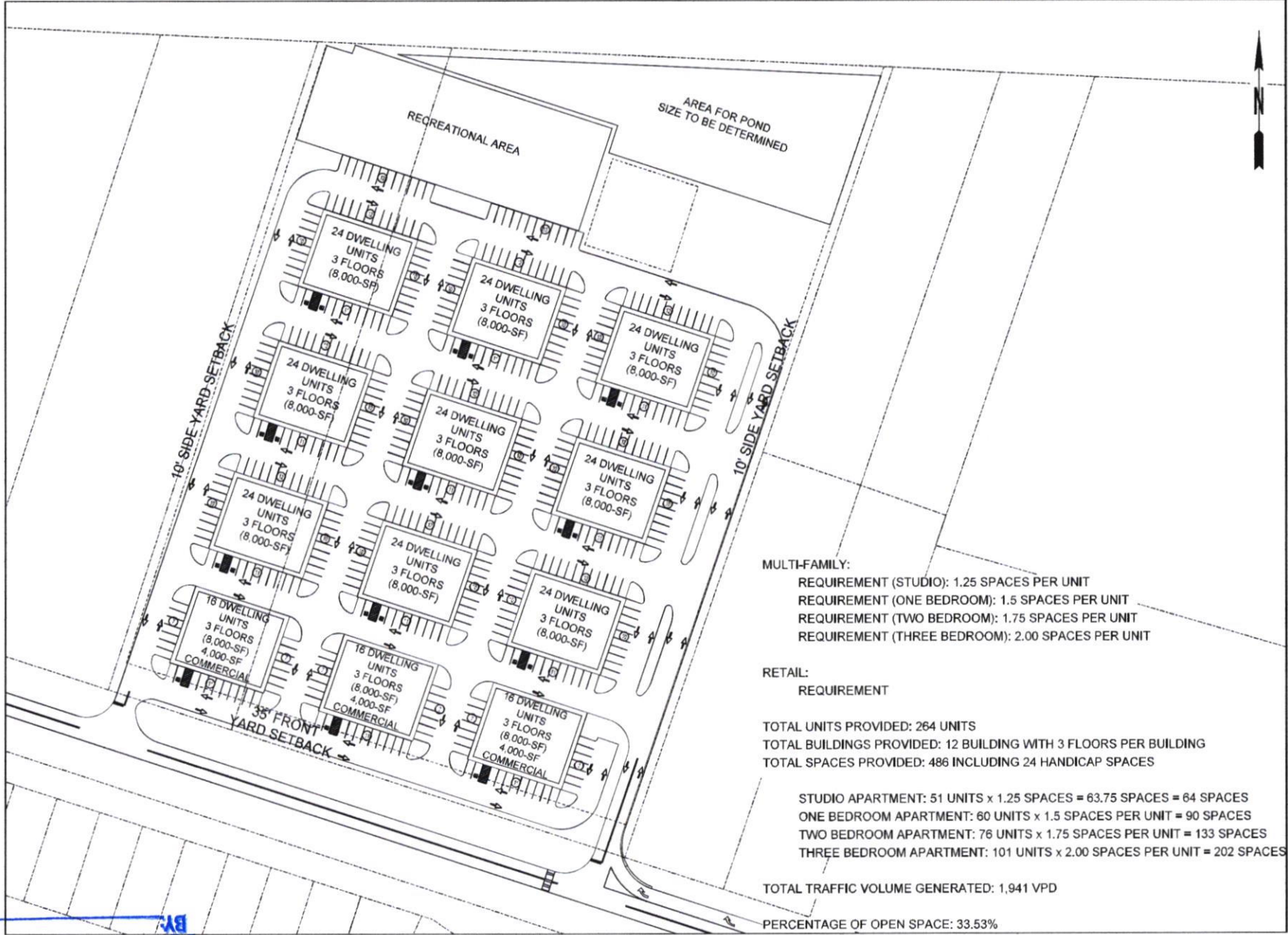
Date created: 3/3/2024
 Last Data Uploaded: 3/3/2024 3:00:40 AM

Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Sagis Map Views (2976 : 1st Reading - Yash Dev. Rezone)

BY:

70 million dollars value, giving Kuller & Thomas Williams to Julia D. Widener 30 to 236





MULTI-FAMILY:
 REQUIREMENT (STUDIO): 1.25 SPACES PER UNIT
 REQUIREMENT (ONE BEDROOM): 1.5 SPACES PER UNIT
 REQUIREMENT (TWO BEDROOM): 1.75 SPACES PER UNIT
 REQUIREMENT (THREE BEDROOM): 2.00 SPACES PER UNIT

RETAIL:
 REQUIREMENT

TOTAL UNITS PROVIDED: 264 UNITS
 TOTAL BUILDINGS PROVIDED: 12 BUILDING WITH 3 FLOORS PER BUILDING
 TOTAL SPACES PROVIDED: 486 INCLUDING 24 HANDICAP SPACES

STUDIO APARTMENT: 51 UNITS x 1.25 SPACES = 63.75 SPACES = 64 SPACES
 ONE BEDROOM APARTMENT: 60 UNITS x 1.5 SPACES PER UNIT = 90 SPACES
 TWO BEDROOM APARTMENT: 76 UNITS x 1.75 SPACES PER UNIT = 133 SPACES
 THREE BEDROOM APARTMENT: 101 UNITS x 2.00 SPACES PER UNIT = 202 SPACES

TOTAL TRAFFIC VOLUME GENERATED: 1,941 VPD

PERCENTAGE OF OPEN SPACE: 33.53%

COASTAL ENGINEERING AND CONSULTING
 6605 ABERCORN STREET, SUITE 210D
 SAVANNAH, GA 31405

920 GEORGIA HIGHWAY 30
 PORT WENTWORTH, GEORGIA 31407
 YASH DEVELOPMENT, LLC.

SHEET NO.

EX A

Attachment: ZMA 924 & 920 HWY 30 70976 01004 & 01005 2024-Site Plan (2976 : 1st Reading - Yash Dev.

RECEIVED
MAR 04 2024